

HABITAT FOR HUMANITY MULTI-FAMILY RESIDENTIAL AFFORDABLE HOUSING DEVELOPMENT PER C.G.S §8-30g

LOTS 8, 9 & 11 COLBY DRIVE AND COLBY DRIVE ROADBED
EASEMENTS ON 5 & 6 COLBY DRIVE AND 16 HIGHVIEW TERRACE
LEDYARD, CONNECTICUT

SUBMITTED FOR: PLANNING & ZONING APPLICATION

MAY 19, 2025
REVISED AUGUST 27, 2025

OWNER (PREPARED FOR)



CONSULTANTS (PREPARED BY)

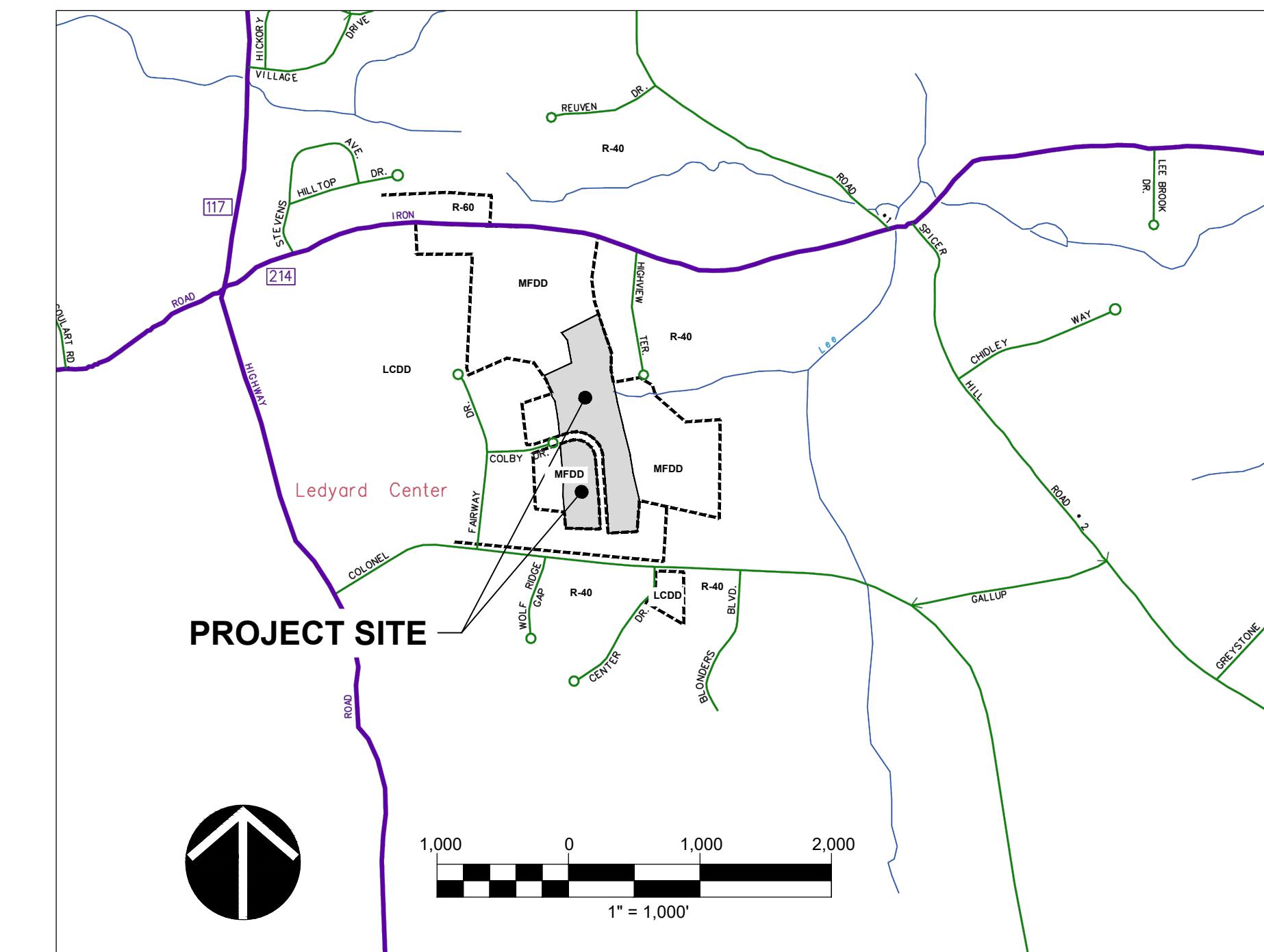


Alfred Benesch & Company
200 Glastonbury Boulevard, Suite 201
Glastonbury, Connecticut 06033
860-633-8341

LIST OF DRAWINGS

-----	TITLE SHEET
SV.01	BOUNDARY SURVEY
SV.02	TOPOGRAPHIC SURVEY
SV.03	TOPOGRAPHIC SURVEY
C1.0	SITE PREPARATION & EROSION CONTROL PLAN
C1.1	EROSION & SEDIMENTATION CONTROL DETAILS
C1.2	EROSION & SEDIMENTATION CONTROL DETAILS
C2.0	SITE PLAN
C3.0	OVERALL GRADING & DRAINAGE PLAN
C3.1	DRAINAGE PLAN
C3.2	EXISTING BASIN REHABILITATION PLAN
C3.3	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	PLANTING PLAN
C5.1	PLANTING DETAILS & SCHEDULE
C6.0	SITE DETAILS
C6.1	SITE DETAILS
C6.2	SITE DETAILS

LOCUS



PARCEL ID'S:
LOT 8 (68-520-8)
LOT 9 (68-520-9)
LOT 11 (68-520-11)
COLBY DRIVE (68-530-680)

EASEMENT ONLY:
16 HIGHVIEW TERRACE (68-960-16)
5 COLBY DRIVE (68-520-5)
6 COLBY DRIVE (68-520-6)

FOR PERMITTING PURPOSES ONLY
NOT FOR CONSTRUCTION

LEDYARD PLANNING & ZONING APPROVAL
APPLICATION PZ#25-4

APPROVAL DATE: _____ DATE _____

EXPIRATION DATE: _____ DATE _____

PLANNING & ZONING CHAIRMAN _____ DATE _____

EROSION & SEDIMENT CONTROL PLAN APPROVED BY: _____ DATE _____

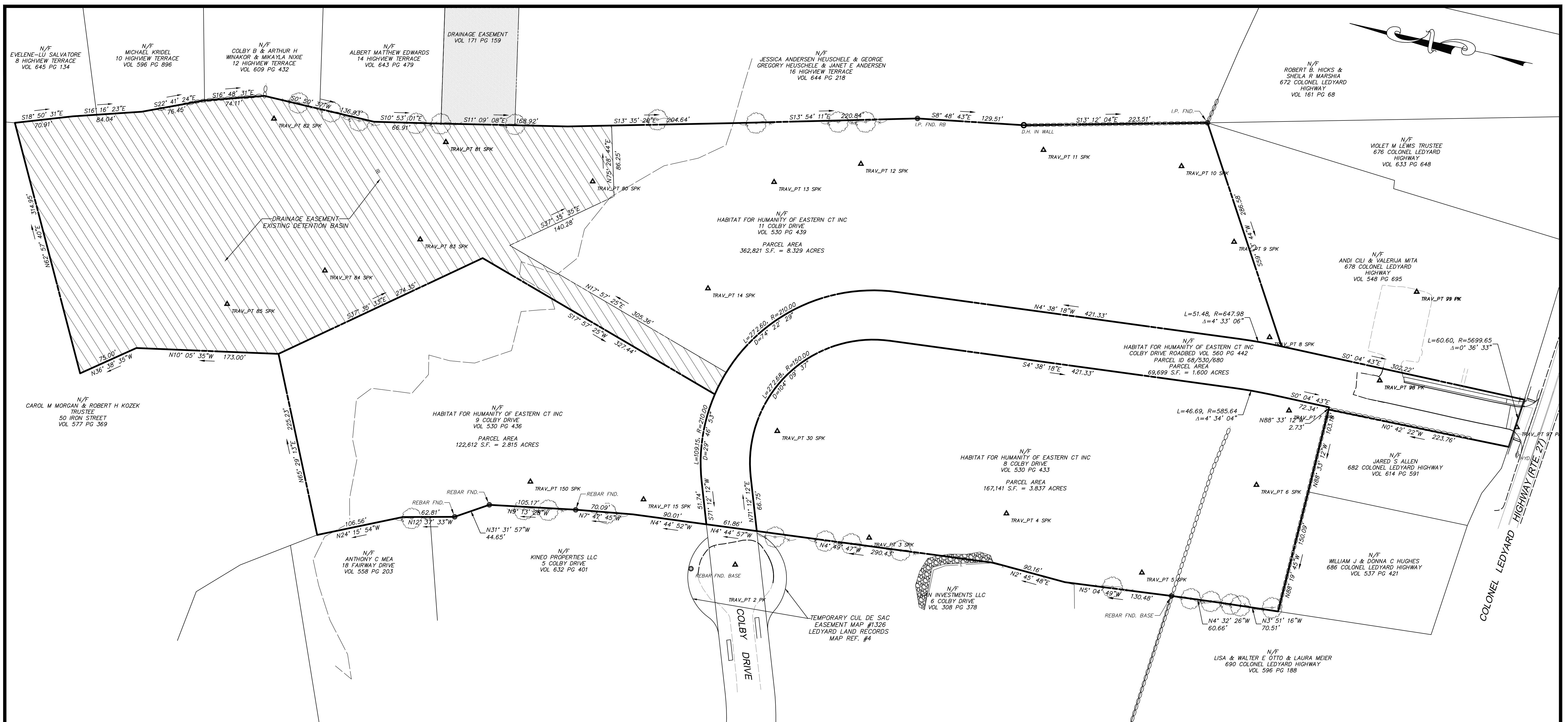
CHAIRMAN/VICE CHAIRMAN OF THE PLANNING & ZONING COMMISSION OR ITS AGENT _____ DATE _____

LEDYARD INLAND WETLANDS AND WATERCOURSES COMMISSION APPROVAL
APPLICATION IWWC#25-11

APPROVAL DATE: JULY 1, 2025 DATE

EXPIRATION DATE: JULY 1, 2030 DATE

INLAND WETLANDS AND WATERCOURSES CHAIRMAN _____ DATE _____



LEGEND

UTILITY SERVICES (UNDERGROUND OR OVERHEAD)		SYMBOL LEGEND		ABBREVIATIONS	
E	ELECTRIC SERVICE	CATCH BASIN	AC	AIR CONDITIONER	
G	GAS PIPES	ROUND DRAIN	AT&T	AMERICAN TELEPHONE & TELEGRAPH COMPANY	
SAN	SANITARY SEWER PIPES	SQUARE DRAIN	BIT.	BITUMINOUS	
---	STORM WATER PIPES (LESS THAN 12")	STORM DRAIN MANHOLE	BLK.	BLACK	
=====	STORM WATER PIPES (12" OR LARGER)	STORM DRAIN MANHOLE	CB	CAT. BASIN	
STM	STEAM PIPES (SUPPLY & COND.)	ELECTRIC MANHOLE	COM	COMMUNICATION	
T	TELEPHONE SERVICE	SANITARY MANHOLE	CONC.	CONCRETE	
W	WATER PIPES	STEAM MANHOLE	CNG	CONNECTICUT NATURAL GAS	
COM	COMMUNICATION/FIBER OPTIC SERVICE	TELEPHONE MANHOLE	DL	DL	
FP	FIRE PROTECTION PIPES	WATER MANHOLE	CLE	CHAIN LINK FENCE	
UG	UNKNOWN UTILITY SERVICE	MANHOLE (OF UNKNOWN TYPE)	CL&P	CONNECTICUT LIGHT & POWER COMPANY	
OH	OVERHEAD WIRES	HAND HOLE (SQ. / REC.)	CP	CONTROL POINT	
PROPERTY/BOUNDARY LINES		WATER VALVE	DEC.	DECIDUOUS	
PROPERTY/BOUNDARY LINES (CLASS A-2)		COMBO STANDPIPE	DMH	DEMONSTRATION MANHOLE	
PROPERTY/BOUNDARY LINES (CLASS D)		GUY WIRE	E	EAST OR ELECTRIC	
EASEMENT LINES		SIGN (SINGLE POST)	EL	ELEVATION	
FEATURE LINES		SIGN (DOUBLE POST)	ELEV.	EMERGING MANHOLE	
CURBED ROADWAY		BORING (AS DRILLED)	F.L.	FLOW LINE	
EDGE OF PAVED ROAD/DRIVE		BORING (AS STAKED)	FND.	FOUND	
BUILDING ROOFLINE (AERIAL PHOTOS)		SPOT ELEVATION	GRAN.	GRANITE	
RETAINING WALL		WETLANDS FLAG	GSTC	GRAN. STONE CURB	
STOCKADE FENCE		PROPERTY MONUMENT	HELCO	HELICOPTER ELECTRIC COMPANY	
CHAIN LIN/WIRE FENCE		UTILITY MONUMENT (SET AS 2' OFFSET)	HYD.	HYDRANT	
TREE/VEGETATION LINE		IRON PIPE OR REBAR FOUND	H.H.	HAND HOLE	
STONE WALL		IRRIGATION CONTROL BOX	L.P.	LIGHT POLE	
SURFACE WATER (WATERCOURSE)		EMERGENCY PHONE	M.	METER	
WETLANDS LIMIT		TRAFFIC CONTROLLER CABINET	M.W.	MONITOR WELL	
EDGE OF LANDSCAPING		UTILITY POLE	N.	NORTH	
INTERMEDIATE CONTOUR		W/L	NAD	NORTH AMERICAN DATUM	
INDEX CONTOUR		STREET LIGHT	NAD	NORTH AMERICAN DATUM	
DECIDUOUS TREE		LIGHT POST	NAD	NORTH	
CONIFER TREE		BOLLARD LIGHT	N.F.	NOW OR FORMERLY	
DECIDUOUS SHRUB		BOULDER / ROCK	N.W.	NORTHWEST	
DECIDUOUS TREE (SAPLING)		CONIFER SHRUB	PAC.	PACIFIC	
DECIDUOUS TREE		DECIDUOUS SHRUB	P.I.V.	POLYCHLORIDE	
CONIFER TREE		DECIDUOUS TREE (SAPLING)	RET.	POST INDICATOR VALVE	

MAP REFERENCES

- SUBDIVISION PLAN PREPARED FOR KONOVER INVESTMENTS CORPORATION & REALCOM, LLC COLBY DRIVE & IRON STREET LEDYARD, CT BOUNDARY PLAN DATE 2/1/05 SHEET NO. REVISED 3/23/05, 4/26/05, & 6/08/05 SCALE 1"-80' BY CLA ENGINEER, INC
- BOUNDARY SURVEY AND DETAIL LOT LAYOUT MAP GRAY FARMS SUBDIVISION SECTION V COLONEL LEDYARD HIGHWAY & GALLUP HILL ROAD LEDYARD, CONNECTICUT PROPERTY OF & PREPARED FOR FLINTLOCK ASSOCIATES LIMITED PARTNERSHIP SCALE 1"-100' SHEET 2 OF 7 NOVEMBER 15, 1989 REV MARCH 28, 1990 REV. DECT, 1990 BY J. ROBERT PFANNERER & ASSOCIATES
- TOPOGRAPHIC MAP COMMERCIAL SUBDIVISION PREPARED FOR J. I. ENTERPRISES LEDYARD, CONN DATE 5-1686 SCALE 1"-40' SHEET 3 OF 5 REVISED 5-20-85 REV 6-10-85 BY MEGSON & HAGLE
- SUBDIVISION PLAN SECTION II COMMERCIAL RESUBDIVISION PREPARED FOR J. I. ENTERPRISES LEDYARD, CONN. DATE 9-20-86 SCALE 1"-40' SHEET 4 OF 12 AND 5 OF 12 REV 1-7-87 REV 6-17-87 BY MEGSON & HAGLE
- LOT LAYOUT GRAY FARMS RESUBDIVISION SECTION III PROPERTY OF GEORGE GOLDMAN ASSOCIATES DEVELOPER GEORGE GOLDMAN ASSOCIATES IRON STREET (CONN. ROUTE #4) GALLUP HILL ROAD LEDYARD CONNECTICUT SCALE 1"-100' JANUARY 1976 BY DICESARE-BENTLEY

SURVEY NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20 AND THE "MINIMUM STANDARDS OF ACCURACY, CONTENT & CERTIFICATION FOR SURVEYS AND MAPS, AS AMENDED OCTOBER 26, 2018.
1. THE TYPE OF SURVEY IS A PROPERTY/BOUNDARY SURVEY.
2. THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT SURVEY.
3. THE ACCURACIES ARE AS FOLLOWS:

HORIZONTAL CONTROL	CLASS "A-2"
VERTICAL CONTROL	CLASS "V-2"
BOUNDARY	CLASS "A-2"

- THE COORDINATES AND ELEVATIONS DEPICTED ON THE PLAN REPRESENT THE NAD '83 AND THE NAVD '88 DATUMS. COORDINATES WERE ESTABLISHED ON THE SITE BASED UPON GPS OBSERVATIONS TAKEN ON AUGUST 2024 USING TRIMBLE GNSS RTK R10 RECEIVERS AND SOLUTIONS PROVIDED THROUGH THE KEYNET NETWORK.
- UNDERGROUND UTILITIES (IF DEPICTED) HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND ALFRED BENESCH & COMPANY DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO ALFRED BENESCH & COMPANY. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION, CALL "CALL BEFORE YOU DIG" 1-800-442-4435.
- THE SUBJECT PROPERTY'S CURRENT DEED CAN BE FOUND IN VOLUME 530 PAGE 433-439 THE TOWN OF LEDYARD LAND RECORDS.
- THE PROPERTY IS LOCATED IN THE "MFDD" ZONE PER TOWN.
- A PORTION OF THE PROPERTY LIES WITHIN THE "SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD - ZONE "A" - NO BASE ELEVATION DETERMINED AND "OTHER AREAS" ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN. PER THE FEMA FLOOD INSURANCE RATE MAP NEW LONDON COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 359 OF 554 MAP NUMBER: 09011C0359G EFFECTIVE DATE: JULY 18, 2011

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.


No. 70036
LICENSED
AND SURVEYOR
DAVID A. CARICCHIO, P.L.S. No. 70036
ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
(not valid without original signature and embossed seal)

REVISIONS	SURVEY BOOK: 06-01		
REVISIONS	DATE	DESCRIPTION	SURVEYOR: FC
REVISIONS	9/22/2025	PER TOWN STAFF COMMENTS	DRAWN: DAC
REVISIONS			CHECKED: RS
REVISIONS			APPROVED: VN

benesch

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BOUNDARY SURVEY
PREPARED FOR
HABITAT FOR HUMANITY
COLBY DRIVE
CONNECTICUT

LEDYARD
COLONEL LEDYARD HIGHWAY

File Location Name - 0725-5000010.dwg

File Date - Sept 22, 2025

Page Number - 001

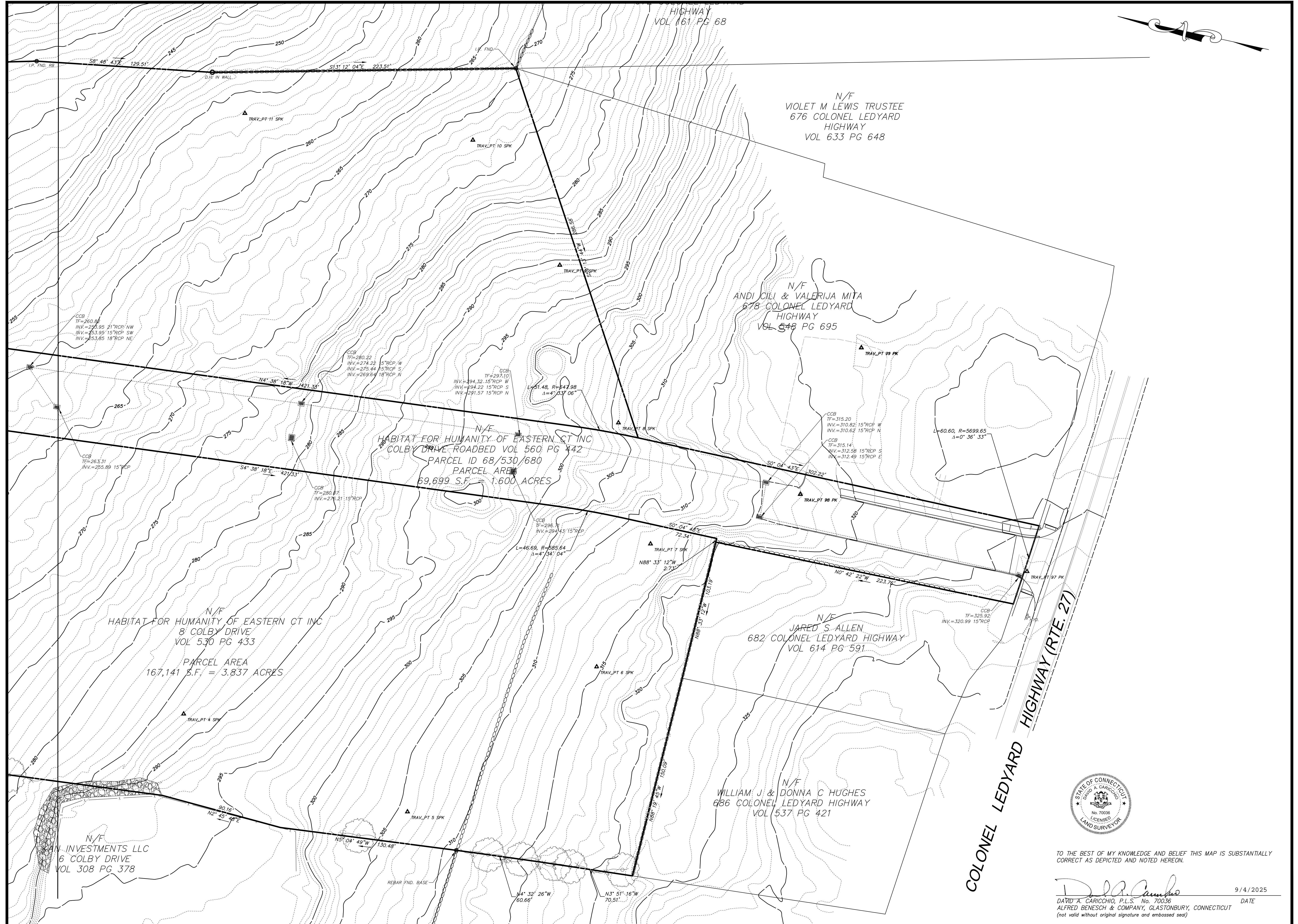
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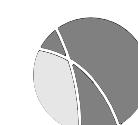
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10 of 10

PREPARED FOR
**HABITAT FOR HUMANITY
OF EASTERN CT, INC**
COLBY DRIVE
DYARD
CONN

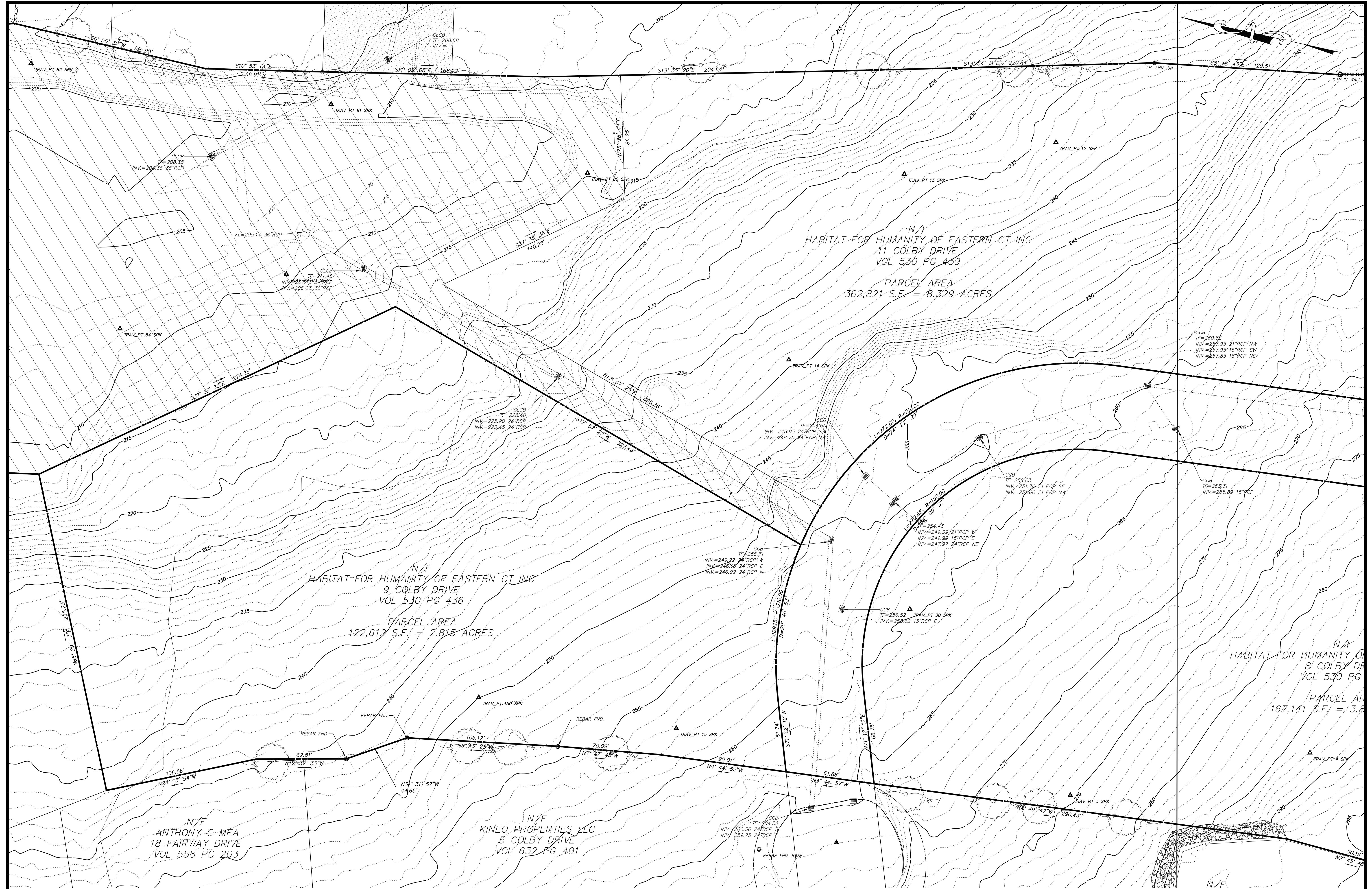


TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

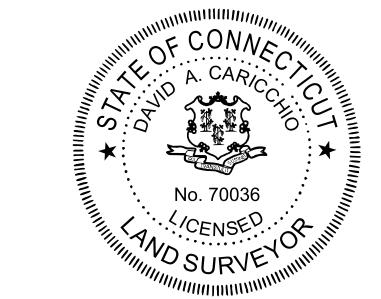
I. D. A. Caricchio 9/4/2021
DAVID A. CARICCHIO, P.L.S. No. 70036 DATE
ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
(not valid without original signature and embossed seal)

OJ. No.: 0725-500010
TE: SEPT 2024

SV.02



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.



DA
DAVID A. CARICCHIO, P.L.S. No. 70036
ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
(not valid without original signature and embossed seal)

PROJ. No.: 0725-500010
DATE: SEPT 2024

SV.03

File Location/Name - Y:\Connecticut\07XX-50S\0725-5000010.00_HFH_Ledyard_Multi_Fa\Survey\ACAD\0725-500010 SURVEY.dwg
Date of Plot: September 02, 2025 - 9:15 AM

SITE PREPARATION NOTES:

- CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
- PROTECT ALL IMPROVEMENTS NOT INCLUDED WITHIN THE LIMITS OF WORK. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
- DURING DEMOLITION, PROTECT ALL ADJACENT CURBING, SIDEWALKS, RAMPS, ABOVE-GRADE AND BELOW-GRADE UTILITIES, DRAINAGE STRUCTURES, LIGHT BASES, AND OTHER IMPROVEMENTS POTENTIALLY AFFECTED BY THE WORK. CLEARLY DELINEATE THE LIMITS OF WORK AND MARK, BARRICADE, OR OTHERWISE IDENTIFY THOSE IMPROVEMENTS THAT ARE TO BE PROTECTED AND/OR AVOID. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
- THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING APPROPRIATE FIELD CONDITIONS.
- THE DIMENSIONS DEPICTED ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS INDICATED ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS AS MAY BE APPROPRIATE TO FACILITATE THE CONDUCT OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCRENCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. ANY CHANGES SHALL BE APPROVED BY THE TOWN ENGINEER AND/OR DIRECTOR OF LAND USE.
- IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- PROVIDE PAVEMENT SAWCUT AT THE EDGE OF EACH PAVEMENT REMOVAL AREA TO ESTABLISH A CLEAN EDGE WHERE NEW WORK WILL MEET EXISTING PAVEMENT. SAWCUT SHALL BE A MINIMUM OF 12 INCHES FROM EDGE OF PAVEMENT REMOVAL.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.

EROSION AND SEDIMENT CONTROL NOTES:

- THIS PLAN IS FOR EROSION AND SEDIMENTATION (E&S) CONTROL ONLY. SEE OTHER PLANS FOR THE SCOPE OF CONSTRUCTION WORK.
- THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. ALL EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY SITE WORK. CONTROLS SHOULD BE INSPECTED WEEKLY AND AFTER EACH RAINFALL. EXCAVATED MATERIAL SHOULD NOT BE DISPOSED OF IN THE WETLAND AREA. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
- MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS.
- ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT'S 2024 "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
- ANY STOCKPILED MATERIAL SHALL BE SUBJECT TO EROSION CONTROL MEASURES THAT INCLUDE A MINIMUM OF SILT FENCE OR HAY BALE BARRIER. COVER STOCKPILES IF SIGNIFICANT RAINFALL IS PREDICTED.
- PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
- ALL TEMPORARY SLOPES IN EXCESS OF 3 (HORIZONTAL) TO 1 (VERTICAL) SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR APPROVED EQUIVALENT.
- NO RUNOFF SHALL BE ALLOWED TO EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
- FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
- SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER OR BY TOWN OF LEDYARD STAFF.
- SILT SACKS TO BE INSTALLED IN ALL PROPOSED CATCH BASINS ONCE CONSTRUCTED.
- ALL SESC CONTROLS SHALL BE PROPERLY INSTALLED, INSPECTED BY TOWN OF LEDYARD STAFF PRIOR TO THE START OF ANY WORK AND SHALL BE MAINTAINED IN PLACE IN GOOD WORKING ORDER UNTIL SUCH TIME AS THE SITE IS PERMANENTLY STABILIZED WITH VEGETATIVE OR OTHER COVER TO THE SATISFACTION OF TOWN STAFF.

TEMPORARY E&S MEASURES MAINTENANCE SCHEDULE			
E&S MEASURE	MAINTENANCE MEASURES	SCHEDULE	
FILTER INSERTS IN DRAINAGE SYSTEM	CLEAN CATCH BASIN GRATE, REMOVE SEDIMENT/DEBRIS FROM FILTER INSERTS	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE	
HAY BALES/SILT FENCE BARRIER	REPAIR/REPLACE WHEN FAILURE OBSERVED. REMOVE SILT WHEN ACCUMULATION REACHES APPROX. HALF HEIGHT OF BARRIER	WEEKLY & WITHIN 24 HOURS AFTER A STORM GENERATING A DISCHARGE	
CONSTRUCTION ENTRANCE	SWEEP PAVED ROADWAY ADJACENT TO SITE ENTRANCE AS NECESSARY. REFRESH STONE AS NECESSARY. REMOVE SITED GRAVEL	WEEKLY	
MOISTEN EXPOSED SOILS	PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS AND KEEP TRAVELWAYS DAMP	DAILY	
TEMPORARY SEDIMENT TRAP	CHECK AND REPAIR OUTLET (SNAKE IF NECESSARY), CLEAN WHEN HALF FULL OF SEDIMENT (DEWATER IF NECESSARY), RESTORE TRAP TO ORIGINAL DIMENSIONS	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE	
TEMPORARY DIVERSION SWALE	REPAIR DAMAGED AREA WITHIN 24 HOURS OF OBSERVED FAILURE	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE. INSPECT DAILY WHEN CONSTRUCTION ACTIVITIES ARE IN CLOSE PROXIMITY	

TEMPORARY SEDIMENT TRAP SIZING TABLE				
ID	CONTRIBUTING AREA	REQUIRED VOLUME	PROVIDED VOLUME	MINIMUM DIMENSIONS
1	4.3 Ac	571 CY	718 CY	AS SHOWN ON C1.0
2	1.8 Ac	237 CY	278 CY	75' x 50' x 2'
3	3.1 Ac	415 CY	422 CY	95' x 60' x 2'

SUGGESTED CONSTRUCTION SEQUENCE:

- CONDUCT A PRE-CONSTRUCTION MEETING WITH THE OWNER, ENGINEER, TOWN ENGINEER, DIRECTOR OF LAND USE, WETLANDS ENFORCEMENT OFFICER, ZONING ENFORCEMENT OFFICER, AND THE BUILDING OFFICIAL, PRIOR TO ANY CONSTRUCTION ACTIVITY.
- INSTALL CONSTRUCTION ENTRANCE(S) AND PLACE CATCH BASIN FILTER INSERTS IN EXISTING CATCH BASINS.
- INSTALL PERIMETER E&S CONTROLS AND REQUEST PRE-CONSTRUCTION INSPECTION FROM THE ENGINEER.
- REMOVE EXISTING PAVING AND CURBING.
- DEMOLISH EXISTING BUILDING AND REMOVE EXISTING UTILITIES.
- PERFORM BULK EARTHWORK OPERATIONS.
- BEGIN CONSTRUCTION OF BUILDING FOUNDATION.
- CONSTRUCT UTILITIES.
- BOX OUT PARKING LOT WITH IMPORTED BASE MATERIALS.
- CONSTRUCT BOTTOM COURSE OF BITUMINOUS PAVEMENT.
- CONSTRUCT LANDSCAPING AND OTHER SITE AMENITIES.
- CONSTRUCT CURBING AND TOP COURSE OF BITUMINOUS PAVEMENT.
- PLACE TOPSOIL AND PROVIDE TURF ESTABLISHMENT AND PLANTING IN ALL DISTURBED AREAS AS NECESSARY.
- AT THE CONCLUSION OF CONSTRUCTION, COMPLETE THE INSTALLATION OF POST-CONSTRUCTION SITE STABILIZATION MEASURES AS SHOWN ON THE DRAWINGS.
- REFER TO SHEET C2.0 FOR UNIT PHASING.

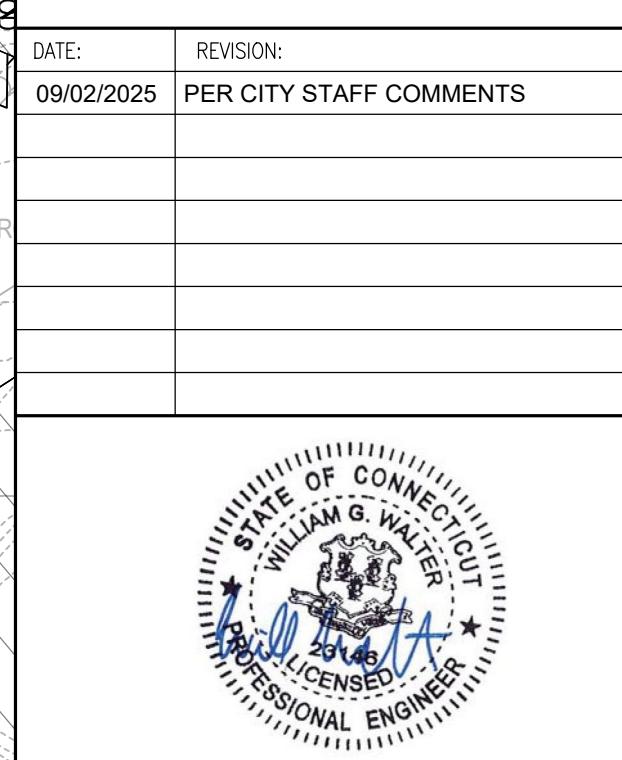
Prepared by:
 **benesch**
 Alfred Benesch & Company
 200 Glastonbury Boulevard, Suite 201
 Glastonbury, Connecticut 06033
 860-633-8341

Prepared for:
 **Habitat for Humanity®**
 of Eastern Connecticut

LEDYARD, CT

COLBY DRIVE

**HABITAT FOR HUMANITY MULTI-FAMILY
RESIDENTIAL AFFORDABLE HOUSING DEVELOPMENT
PER C.G.S. §8-30g, LOTS 8, 9 & 11**

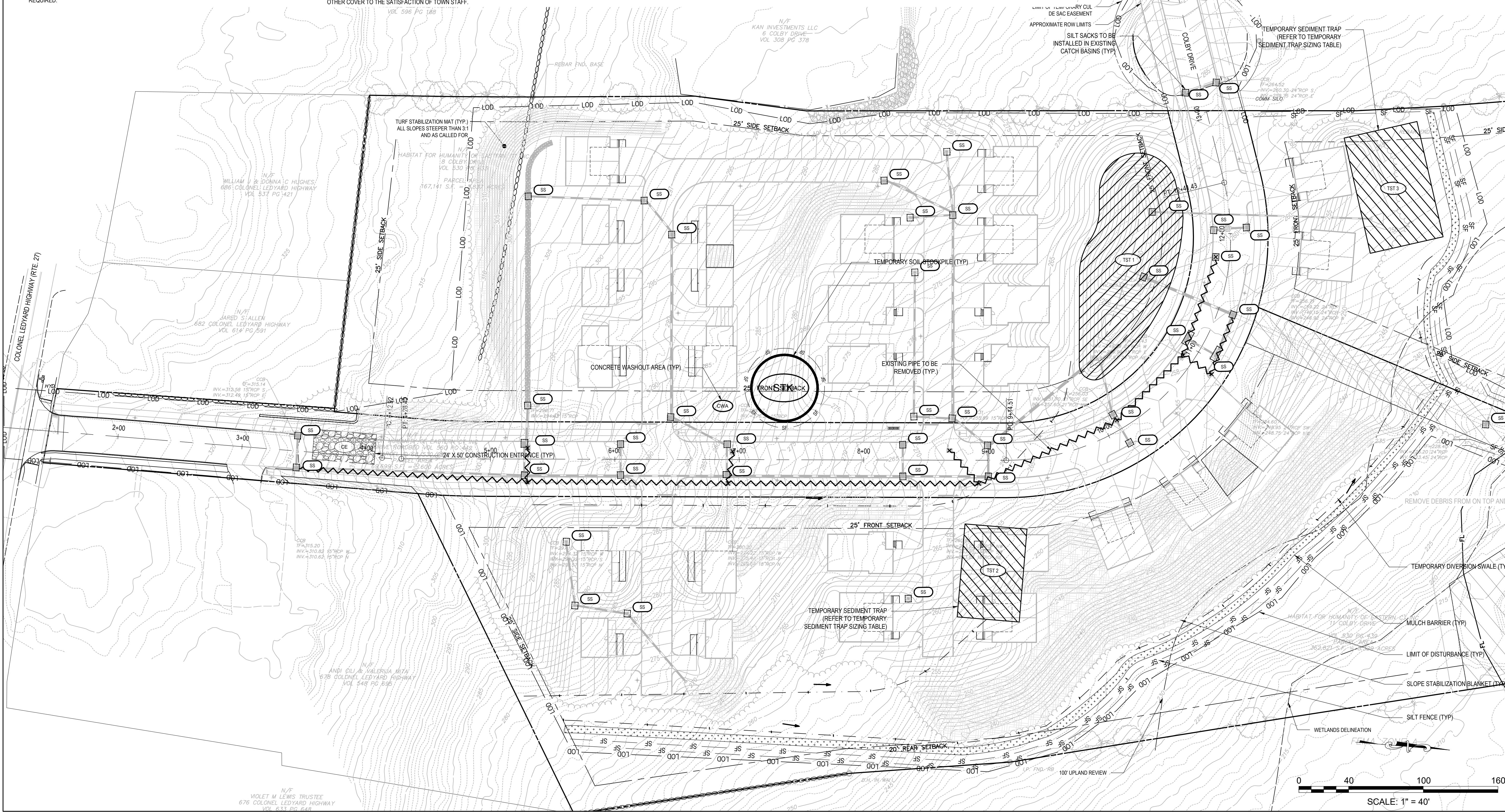


PROJECT NO.: 0725 500010.00
 DRAWN BY: CLM
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 DATE: 12/20/2024
 CHECKED BY: WGW

EROSION &
SEDIMENTATION
CONTROL PLAN

DRAWING NO.: C1.0

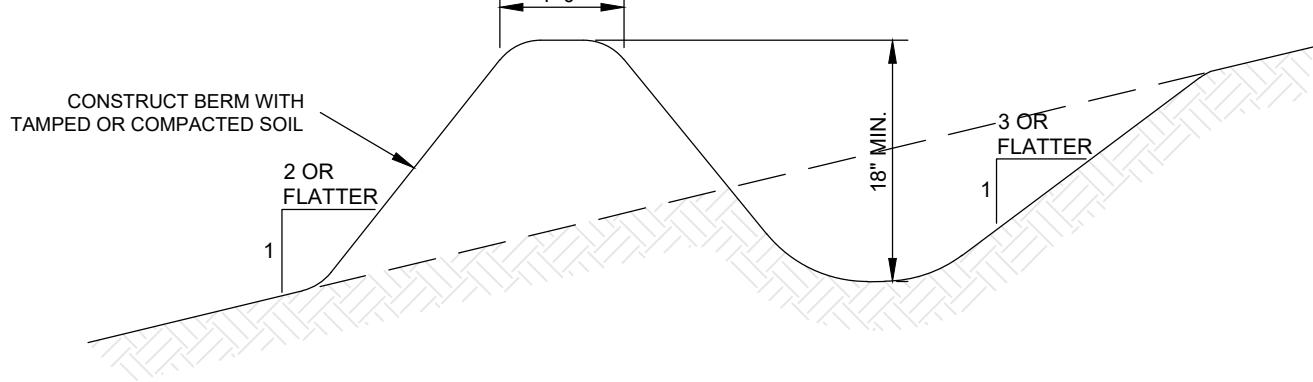
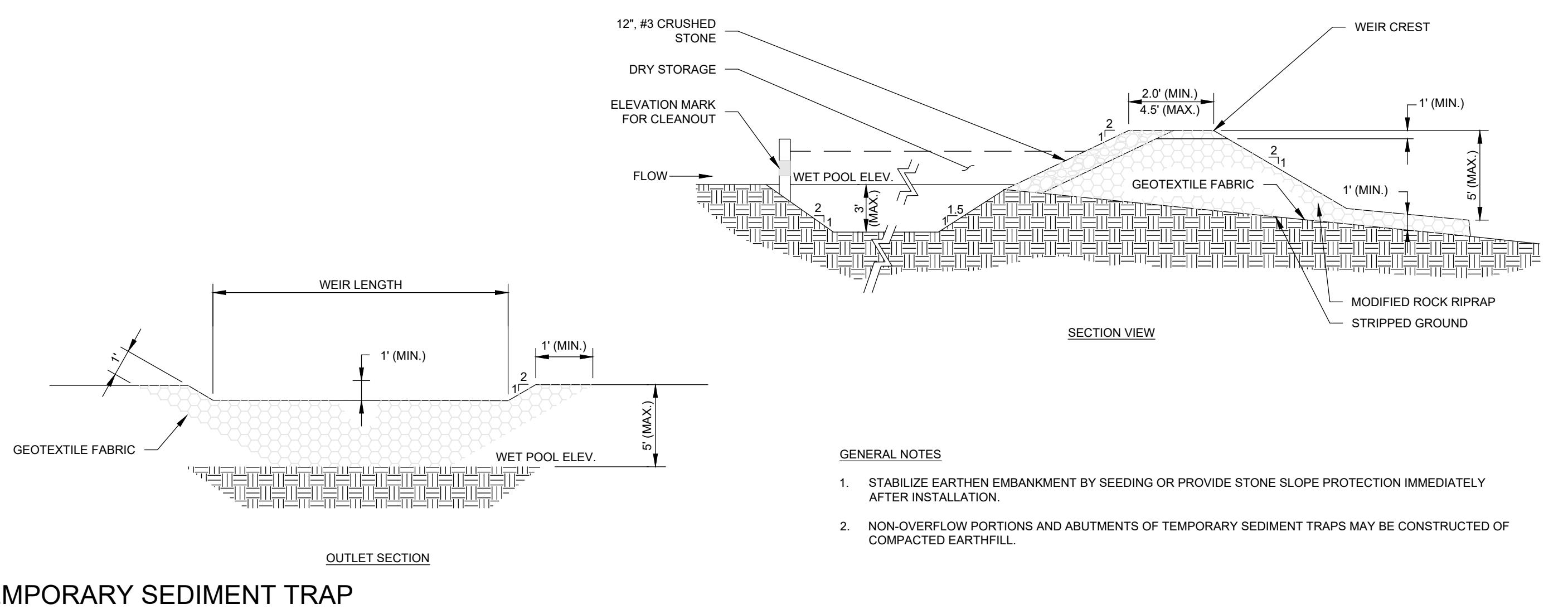
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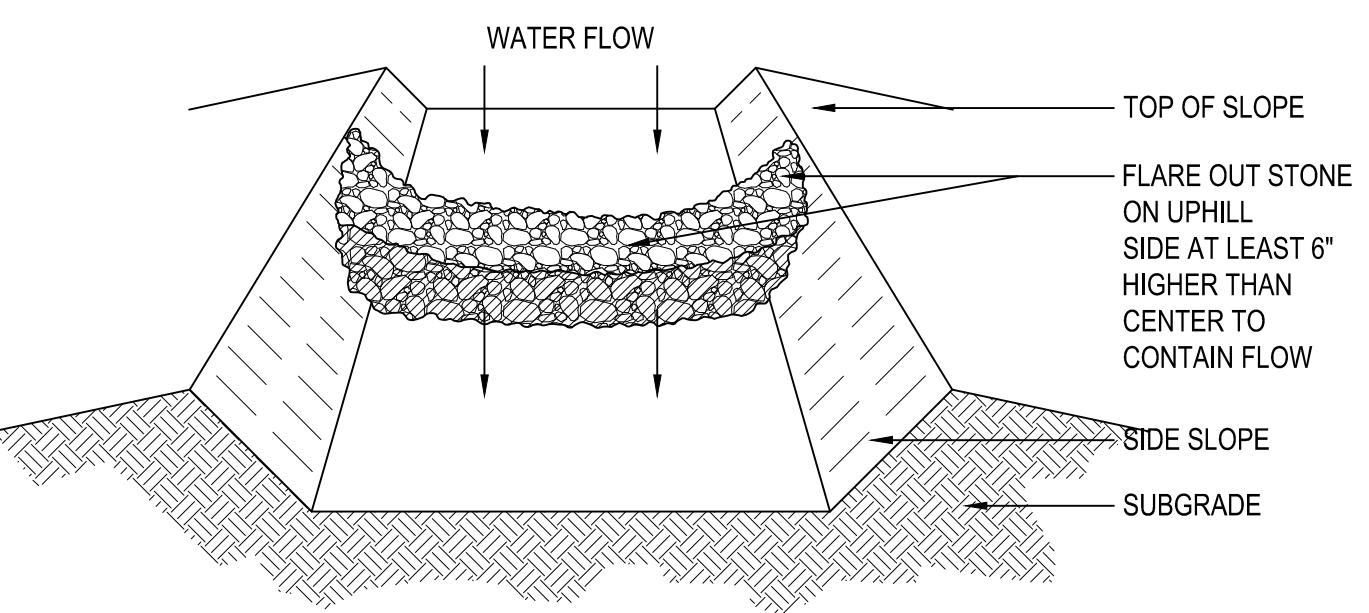
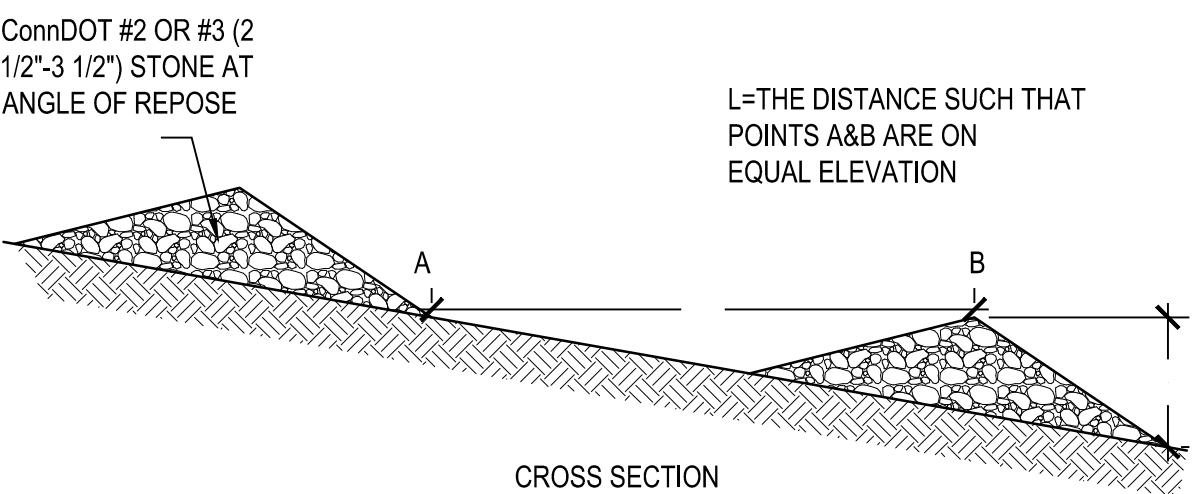
**HABITAT FOR HUMANITY MULTI-FAMILY
RESIDENTIAL AFFORDABLE HOUSING DEVELOPMENT
PER C.G.S. §8-30g, LOTS 8, 9 & 11**

LEDYARD, CT

COLBY DRIVE



TEMPORARY DIVERSION SWALE



PLAN VIEW

Page 1 of 1



JECT NO.: **0725 500010.00** DRAWN BY: **CLM**
SCALE: **AS SHOWN** CHECKED BY: **WGW**
DATE: **12/20/2024**

EROSION & SEDIMENTATION CONTROL DETAILS

DRAWING NO.

DRAWING NO..
C1,2

LEDYARD ZONING REGULATIONS (ZONE - MFDD)				
REQUIREMENT	MINIMUM	LOT 8	LOT 9	LOT 11
FRONT LOTS				
MINIMUM LOT AREA (SF)	20,000	167,270	396,396	122,839
MINIMUM LOT FRONTAGE (LF)	150	880	745	160
MINIMUM SIDEWALK WIDTH (FT)	5	5	5	5
FRONT AND INTERIOR LOTS				
MINIMUM LOT WIDTH (LF)	150	792.3'	119.5'	703.6'
MINIMUM FRONT YARD SETBACK (LF)	25	>25	>25	>25
MINIMUM SIDE YARD SETBACK (LF)	25	>25	>25	>25
MINIMUM REAR YARD SETBACK (LF)	20	>20	>20	>20
MAXIMUM LOT COVERAGE (% AREA)	60	26.7%	8.60%	3.6%
MAXIMUM BUILDING HEIGHT: PRINCIPAL STRUCTURE (FT)	50	<50	<50	<50

LAYOUT NOTES

1. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
2. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED.
3. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
5. SIDEWALKS ARE TO BE CONSTRUCTED WITHIN THE TOWN RIGHT OF WAY IN ACCORDANCE WITH TOWN OF LEDYARD ROAD ORDINANCES.

CONSTRUCTION PHASING

1. INSTALL DRAINAGE, UTILITIES AND ROADWAY INFRASTRUCTURE. CONSTRUCT SIDEWALKS WHEN UNITS WITHIN PHASE ARE COMPLETE.
2. CONSTRUCT UNITS 1-6. COMPLETE UTILITY CONNECTIONS.
3. CONSTRUCT DRIVE AND UNITS 1-12. COMPLETE UTILITY CONNECTIONS.
4. CONSTRUCT DRIVE AND UNITS 13-18. COMPLETE UTILITY CONNECTIONS.
5. CONSTRUCT DRIVE AND UNITS 19-20, 31-32, 34-35 AND REMAINING INTERNAL LOOP DRIVEWAY. COMPLETE UTILITY CONNECTIONS.
6. CONSTRUCT UNITS 27-29, 33-38. COMPLETE UTILITY CONNECTIONS.
7. CONSTRUCT UNITS 21-26, 30. COMPLETE UTILITY CONNECTIONS.
8. CONSTRUCT UNITS 21-26, 30. COMPLETE UTILITY CONNECTIONS.
9. COMPLETE LANDSCAPING AND REMOVE EROSION CONTROLS.

MATERIALS NOTES

1. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 819.
2. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
3. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
4. EXPANSION AND SCORE JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, STOP LIGHTS, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 20 FEET.
5. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, STOP LIGHTS, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 20 FEET.
6. ALL DAMAGED OR BROKEN SECTIONS OF EXISTING STREET SIDEWALK AND CURBING WITHIN THE STATE/TOWN RIGHT OF WAY SHALL BE REPLACED.
7. INDIVIDUAL AND INTERIOR DRIVEWAYS SHALL BE PAVED WITH BITUMINOUS ASPHALT.

GENERAL NOTES

1. TO THE EXTENT FEASIBLE ENERGY EFFICIENT DESIGN HAS BEEN IMPLEMENTED IN ACCORDANCE WITH SECTION 9.2 OF THE LEDYARD ZONING REGULATIONS.
2. LOW IMPACT DEVELOPMENT AND DESIGN TECHNIQUES HAVE BEEN INCORPORATED INTO PLANS.
3. THE CONTRACTOR SHALL ADHERE TO THE PERFORMANCE STANDARDS OF THE TOWN OF LEDYARD IN ACCORDANCE WITH SECTION 9.2.C OF THE ZONING REGULATIONS.
4. NO ACCESSORY APARTMENT SHALL BE APPROVED IN THIS DEVELOPMENT AS AN ACCESSORY TO A DUPLEX RESIDENTIAL OR MULTI-FAMILY RESIDENTIAL USE.
5. PRIVATE ROADWAYS AND DRIVEWAYS ARE TO BE MAINTAINED BY THE PROPERTY OWNER. SIDEWALKS SHALL BE MAINTAINED IN ACCORDANCE WITH THE TOWN OF LEDYARD SIDEWALK ORDINANCE.
6. PARKING WILL NOT BE PERMITTED ALONG THE INTERNAL DRIVEWAYS.

AFFORDABLE UNIT IDENTIFICATION CHART

AFFORDABLE UNIT IDENTIFICATION CHART				
	2 Bedroom Single Family Unit Nos.	3 Bedroom Single Family Unit Nos.	3 Bedroom Two-Family Unit Nos.	4 Bedroom Single Family Unit Nos.
40-50% Area Median Income	18, 32, 33, 35 *		1, 11, 25	
51-60% Area Median Income	20		2, 4, 8, 14, 21, 22, 28, 38	
61-80% Area Median Income	36	13, 16, 23, 24, 29, 30	3, 5, 6, 7, 9, 10, 12, 15, 26, 27, 37	17, 19, 31, 34

* UNIT NUMBERS IDENTIFIED ON THIS PLAN DO NOT CORRESPOND TO ADDRESSES. ADDRESSES SHALL BE ASSIGNED BY THE TOWN OF LEDYARD ASSESSOR'S OFFICE.

LEDYARD, CT

COLBY DRIVE

HABITAT FOR HUMANITY MULTI-FAMILY RESIDENTIAL AFFORDABLE HOUSING DEVELOPMENT PER C.G.S. §8-30g, LOTS 8, 9 & 11

DATE: 09/02/2025 REVISION: PER CITY STAFF COMMENTS
 PROJECT NO: 0725 500010.00 DRAWN BY: CLM
 SCALE: 1"=60' CHECKED BY: WGW
 DATE: 12/20/2024

STATE OF CONNECTICUT
 WILLIAM G. WALTER
 PROFESSIONAL ENGINEER
 LICENSED NO. 10146

SITE PLAN
 DRAWING NO.: C2.0
 SCALE: 1" = 40'
 D.H. IN WALL
 FEMA ZONE A
 0 40 100 160

DRAINAGE AND UTILITIES LEGEND

STORM DRAINAGE PIPE	WATER GATE VALVE
CATCH BASIN	WATER TAPPING SLEEVE
DRAINAGE MANHOLE	WATER METER
AREAYARD DRAIN	ELECTRIC / COMM. DUCT BANK
TREATMENT UNIT	ELECTRIC / COMM. DUCT BANK
ROOF LEADER	GAS LINE
SANITARY MANHOLE	GAS METER
SANITARY SEWER	CO ₂ SUPPLY
VENT LINE	COMMUNICATION CONDUITS
CLEANOUT	EXISTING DRINKING WATER WELL
WATER LINE / FIRE LINE	EXISTING LEACHING FIELD
WATER LINE DOMESTIC	EXISTING SEPTIC TANK

DRAINAGE NOTES

- CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
- THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.
- COMPLY WITH CONNECTICUT BUILDING CODE FOR ALL SITE CONSTRUCTION, INCLUDING HANDICAPPED ACCESSIBILITY.
- THE CROSS-SLOPE OF ALL SIDEWALKS AND WALKWAYS SHALL BE LESS THAN 1V:50H (2.0%). UNLESS OTHERWISE INDICATED, THE MAXIMUM RUNNING SLOPE OF ALL SIDEWALKS AND WALKWAYS SHALL BE LESS THAN 1V:20H (5%). VERIFY GRADES AND SLOPES PRIOR TO CONCRETE PLACEMENT. REPORT DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ENGAGE A CONNECTICUT-LICENSED LAND SURVEYOR TO PERFORM LAND-SURVEYING SERVICES REQUIRED, INCLUDING, BUT NOT LIMITED TO VERIFICATION AND LAYOUT OF BASELINES, PROPOSED IMPROVEMENTS, DIMENSIONS AND ELEVATIONS. REPORT DISCREPANCIES TO THE ENGINEER.
- PROPOSED GRADES INDICATE DESIGN INTENT. VERIFY ELEVATIONS AND MAKE ADJUSTMENTS TO MEET FIELD CONDITIONS. DO NOT PROCEED WITH ANY ADJUSTMENT OR FIELD MODIFICATION UNTIL APPROVED BY THE ENGINEER.
- GRADE TRANSITION BETWEEN TOPOGRAPHIC LINES AND SPOT GRADES SHALL BE UNIFORM UNLESS OTHERWISE INDICATED.
- MAXIMUM LANDSCAPE SLOPES SHALL BE 3H:1V (1.5%) UNLESS OTHERWISE INDICATED.
- ALL DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS OTHERWISE INDICATED. SEE SPECIFICATIONS. ALL PROPOSED DRAINAGE PIPE UNDER ROADWAY WITH LESS THAN TWO (2) FEET OF COVER SHALL BE CLASS V RCP.
- ALL CATCH BASINS SET AGAINST CURBS SHALL BE CONDOT TYPE "C" AND THOSE NOT AGAINST CURBING SHALL BE CONDOT TYPE "C-L".
- GRADE ELEVATIONS ADJACENT BUILDINGS SHALL BE NO HIGHER THAN 8" BELOW FINISH FLOOR EXCEPT AT BUILDING ENTRANCES.
- AT THE CONCLUSION OF THE WORK, CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT MATERIAL FROM ALL PORTIONS OF THE STORM DRAINAGE SYSTEM.
- ANY CHANGES TO THE APPROVED PLAN REQUIRE REVIEW AND APPROVAL BY THE TOWN ENGINEER AND/OR DIRECTOR OF LAND USE & PLANNING.
- PIPES AND STRUCTURES THAT ARE TO BE REUSED SHALL BE VIDEO INSPECTED TO VERIFY SUITABILITY FOR REUSE.

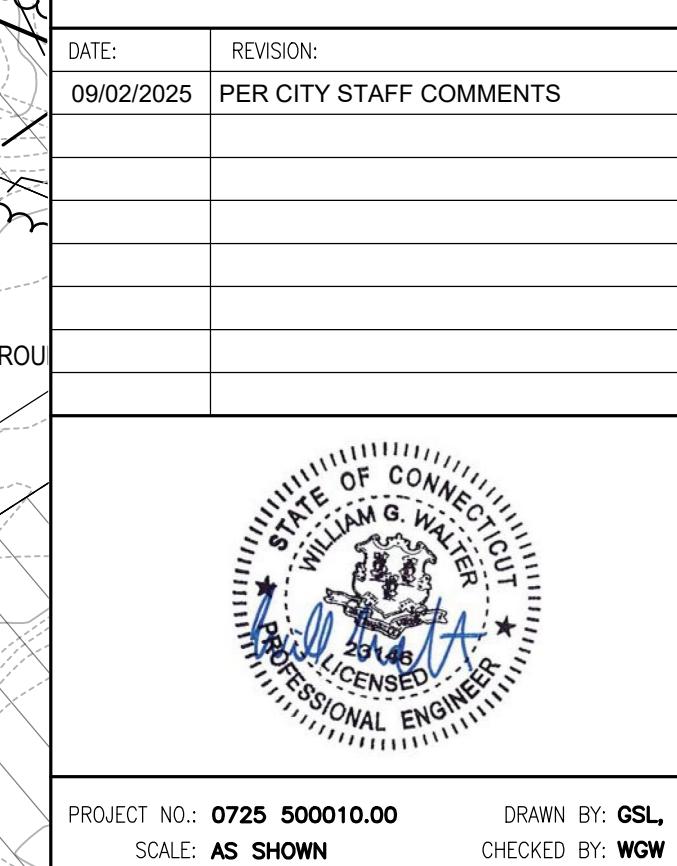
Prepared by:
 Alfred Benesch & Company
200 Glastonbury Boulevard, Suite 201
Glastonbury, Connecticut 06033
860-633-8341

Prepared for:
 Habitat for Humanity®
of Eastern Connecticut

LEDYARD, CT

COLBY DRIVE

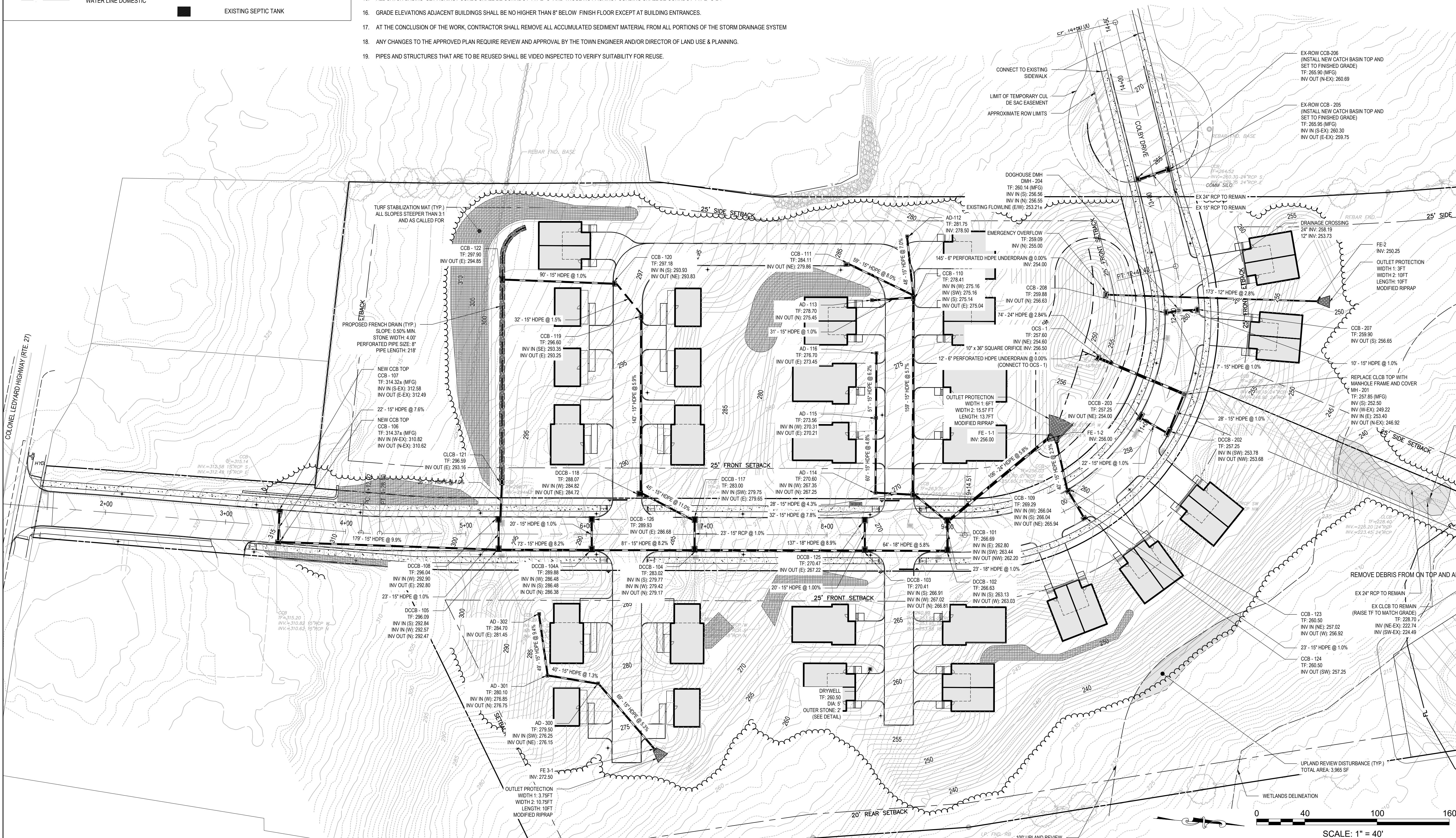
HABITAT FOR HUMANITY MULTI-FAMILY RESIDENTIAL AFFORDABLE HOUSING DEVELOPMENT PER C.G.S. §8-30g, LOTS 8, 9 & 11



PROJECT NO.: 0725 500010.00 DRAWN BY: GSL, TRS
SCALE: AS SHOWN CHECKED BY: WGW
DATE: 12/20/2024

DRAINAGE PLAN

DRAWING NO.: C3.1



**HABITAT FOR HUMANITY MULTI-FAMILY
RESIDENTIAL AFFORDABLE HOUSING DEVELOPMENT
PER C.G.S. §8-30g, LOTS 8, 9 & 11**

LEDYARD, CT

COLBY DRIVE

A circular seal for a Connecticut Professional Engineer license. The outer ring contains the words "STATE OF CONNECTICUT" at the top and "PROFESSIONAL ENGINEER" at the bottom. The center features a crest with a shield, a sword, and a laurel wreath, with the name "WILLIAM G. WALTER" written across it. Below the crest is the number "26146". The bottom of the seal has a signature that appears to read "WALTER".

PROJECT NO.: **0725 500010.00** DRAWN BY: **GSL**
SCALE: **AS SHOWN** CHECKED BY: **WGW**
DATE: **12/20/2024**

EXISTING BASIN REHABILITATION PLAN

DRAWING NO.:

OCS NOTES

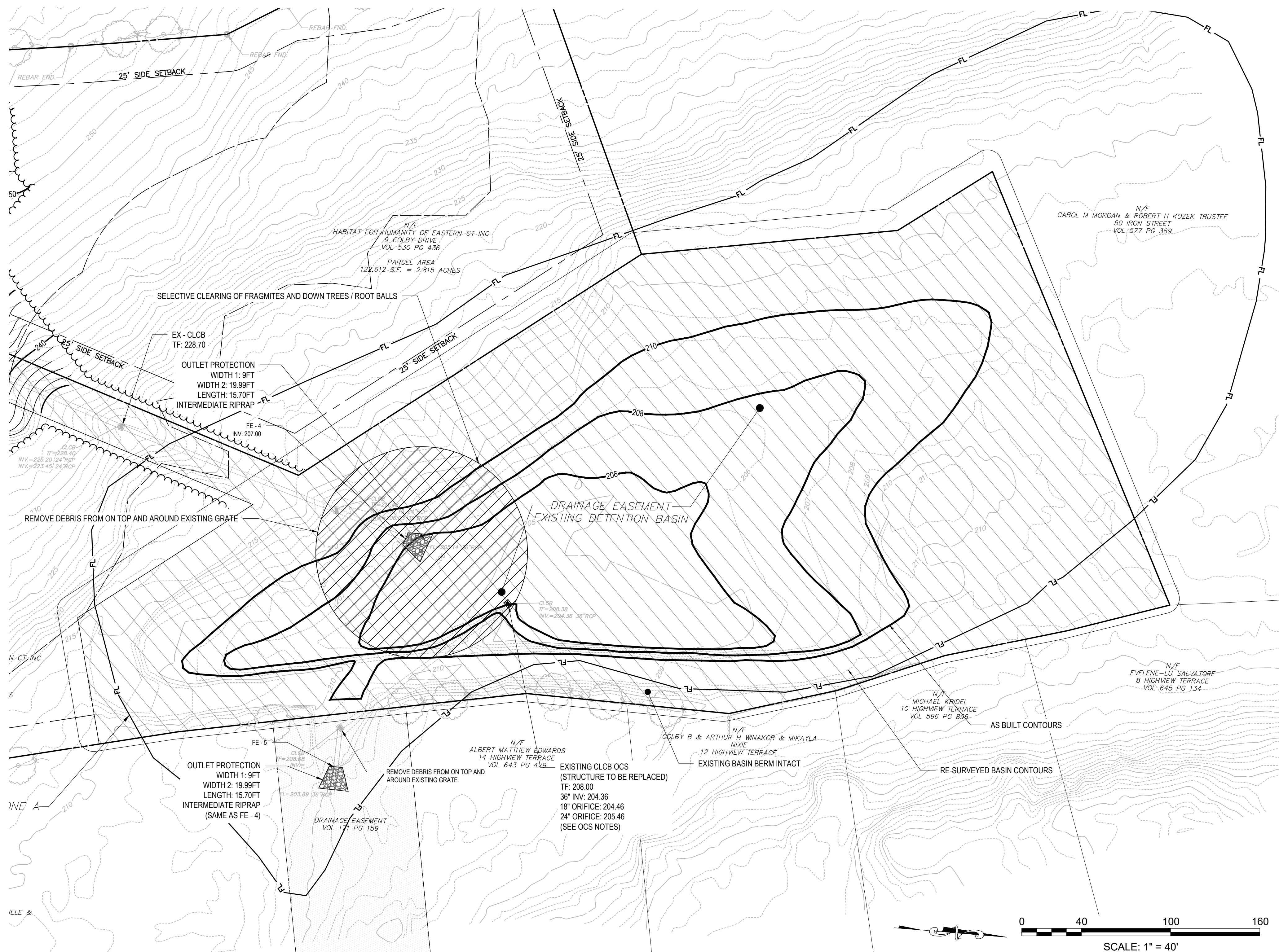
- PIPE IS IN ACCEPTABLE CONDITION.
- REPLACE EXISTING STRUCTURE AS CALLED FOR, SEE OCS DETAILS.

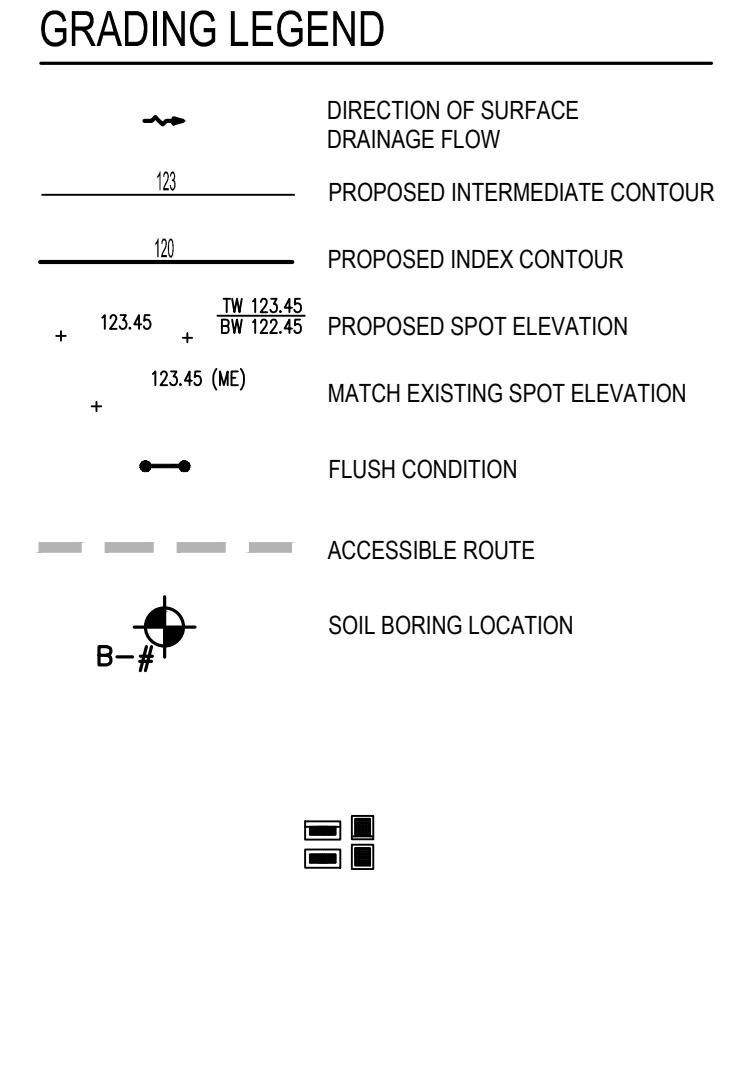
BASIN COMPARISON

BASIN PER AS-BUILT SURVEY DATED 12/05/2003
APPROXIMATE VOLUME: 125,465 CUBIC FEET

BASIN PER ADDITIONAL SURVEY PERFORMED OCTOBER 2024
APPROXIMATE VOLUME: 145,030 CUBIC FEET

SEE HYDROCAD ANALYSIS





ACCESSIBILITY NOTES

1. SLOPES ALONG THE ACCESSIBLE ROUTE SHALL BE LESS THAN 1:20 (5%) AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN 1 INCH.
2. LANDINGS SHALL NOT HAVE A SLOPE GREATER THAN 1:50 (2%) IN ANY DIRECTION.
3. SLOPES WITHIN THE ACCESSIBLE PARKING SPACE SHALL NOT EXCEED 1:50 (2%) IN ANY DIRECTION.

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 860-633-8341

Prepared for:

 Habitat for Humanity®
 of Eastern Connecticut



LEDYARD, CT

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 RESIDENTIAL AFFORDABLE HOUSING DEVELOPMENT
 PER C.G.S. §8-30g, LOTS 8, 9 & 11**



DRAWING NO.:

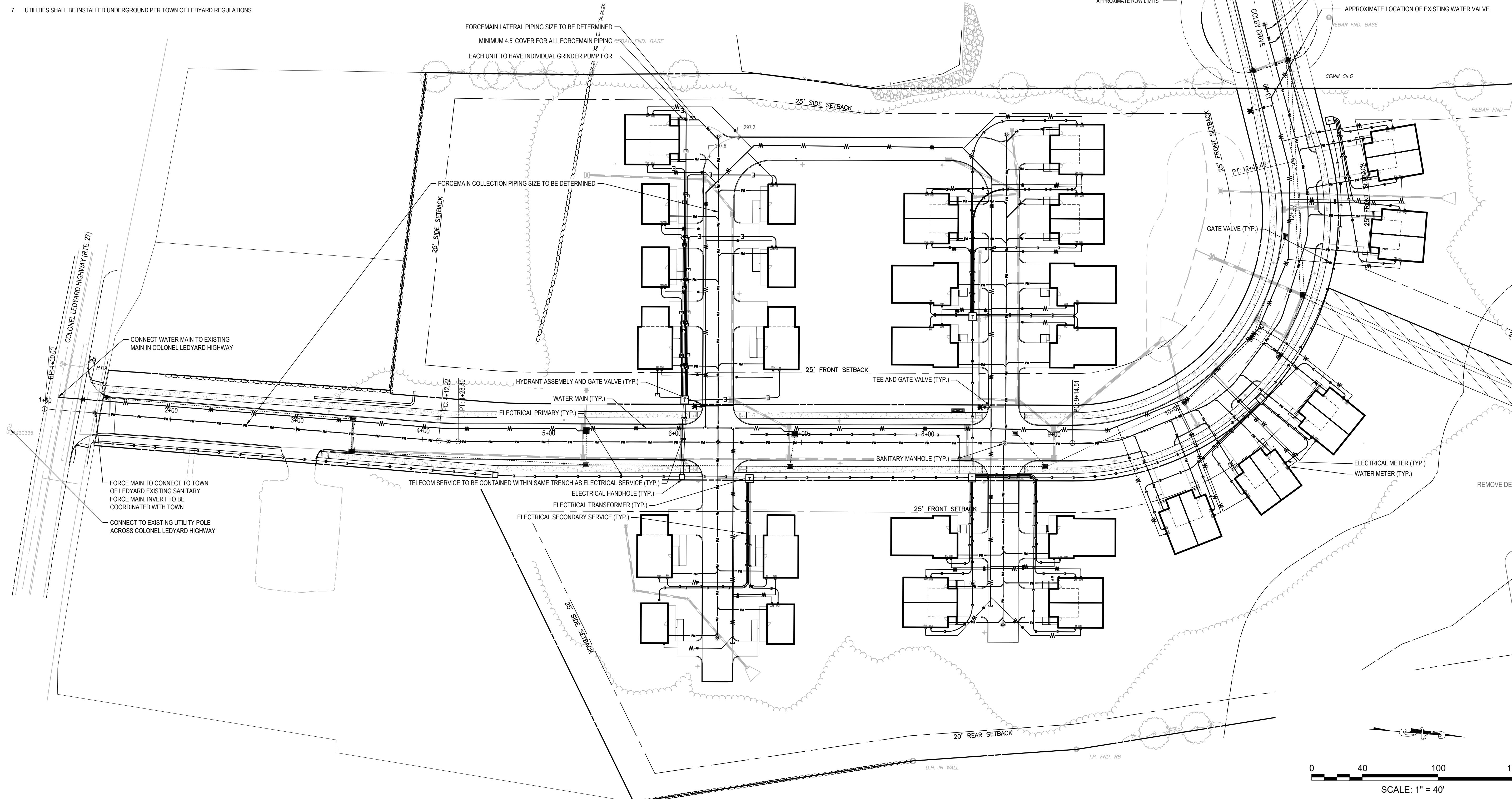
C3.3

UTILITY NOTES

- CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER 72 HOURS PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
- THE LOCATIONS OF EXISTING UTILITIES AS DEPICTED ON THE PLANS MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED. VERIFY ALL TIE-IN POINTS, ROUTING, CONFLICTS, CROSSINGS, AND BUILDING CONNECTION POINTS TO FACILITATE THE COMPLETION OF THE WORK.
- PERFORM EXPLORATORY EXCAVATIONS AS REQUIRED TO VERIFY THE AS-BUILT LOCATION OF EXISTING SUBSURFACE UTILITIES WHERE CROSSINGS OR OTHER POTENTIAL CONFLICTS ARE PRESENT.
- WATER & SEWER SERVICE
 - ALL BUILDING SEWER LATERALS SHALL BE 6" DIAMETER AND ALL PIPE ACCEPTING FLOW FROM MORE THAN ONE (1) LATERAL SHALL BE 8" DIAMETER FOR GRAVITY SEWER. ANY FORCE MAINS/LATERALS TO BE DETERMINED.
 - ALL WATER SERVICE WORK TO COMPLY WITH CWC STANDARDS AND SPECIFICATIONS.
 - ALL WATER MAINS ARE TO BE 8" D.I. WITH 4.5 FT OF COVER UNLESS OTHERWISE NOTED.
 - ALL DOMESTIC WATER SERVICES ARE TO BE 2" COPPER WITH 4.5 FT OF COVER UNLESS OTHERWISE NOTED.
 - ALL FIRE SERVICES ARE TO BE 6" D.I. WITH 4.5 FT OF COVER UNLESS OTHERWISE NOTED.
 - ALL WATER SERVICES ARE TO BE A MIN. 10 FT FROM ANY SANITARY SERVICE (UNLESS SHELVED IN THE SAME TRENCH) AND A MINIMUM OF 18" OF VERTICAL CLEARANCE FROM ANY OTHER UTILITY LINE.
 - LOCATION OF WATER SERVICES AT THE BUILDING TO BE COORDINATED WITH MECHANICAL DRAWINGS.
 - ALTHOUGH NOT DEPICTED ON THE DRAWINGS, PROVIDE FOR THE INSTALLATION OF ALL JOINTS, COUPLINGS, RESTRAINTS, BENDS, ANGLES, AND OTHER APPURTEINANCES TO ACHIEVE A COMPLETE, FUNCTIONAL WATER SUPPLY SYSTEM.
- TELECOMMUNICATIONS
 - TRACER WIRE REQUIRED FOR TELECOMMUNICATIONS AND ELECTRIC ONLY. PROVIDE APPROPRIATE WIRE ACCESS POINTS.
 - FOR TELECOMMUNICATIONS AND ELECTRIC, WARNING TAPE SHALL BE INSTALLED 12-INCHES BELOW GRADE.
 - SEAL ALL CONDUIT ENDS WITH BLANK DUCT PLUGS. SECURE PULL ROPE TO DUCT PLUG.
 - ALL WORK ASSOCIATED WITH TELECOMMUNICATIONS SHALL CONFORM TO THE STANDARDS OF THE LOCAL TELECOMMUNICATIONS PROVIDER.
 - INSTALL CONDUIT, PULL ROPE, CAPS, WARNING TAPE, AND TRACER WIRE PER APPLICABLE SPECIFICATIONS, STANDARDS, AND CODES.

- ELECTRICAL SERVICES (EVERSOURCE)
 - ALL ELECTRICAL SERVICES ARE TO CONFORM TO EVERSOURCE COMPANY MOST CURRENT STANDARDS AND REGULATIONS.
 - FINAL DESIGN TO BE COORDINATED WITH EVERSOURCE.
 - METER LOCATIONS TO BE COORDINATED WITH MECHANICAL DRAWINGS.
 - ELECTRICAL VEHICLE INFRASTRUCTURE WILL BE INCLUDED AND COORDINATED WITH THE ELECTRICAL ENGINEER AND EVERSOURCE.

- UTILITIES SHALL BE INSTALLED UNDERGROUND PER TOWN OF LEDYARD REGULATIONS.



UTILITY LEGEND

	WATER PIPE
	FIRE PROTECTION LATERAL
	GATE VALVE
	WATER TEE CONNECTION
	SANITARY LATERAL
	SANITARY LATERAL
	SANITARY CLEANOUT
	SANITARY MANHOLE
	ELECTRICAL CONDUIT
	TRANSFORMER

Prepared by:

benesch
Alfred Benesch & Company
200 Glastonbury Boulevard, Suite 201
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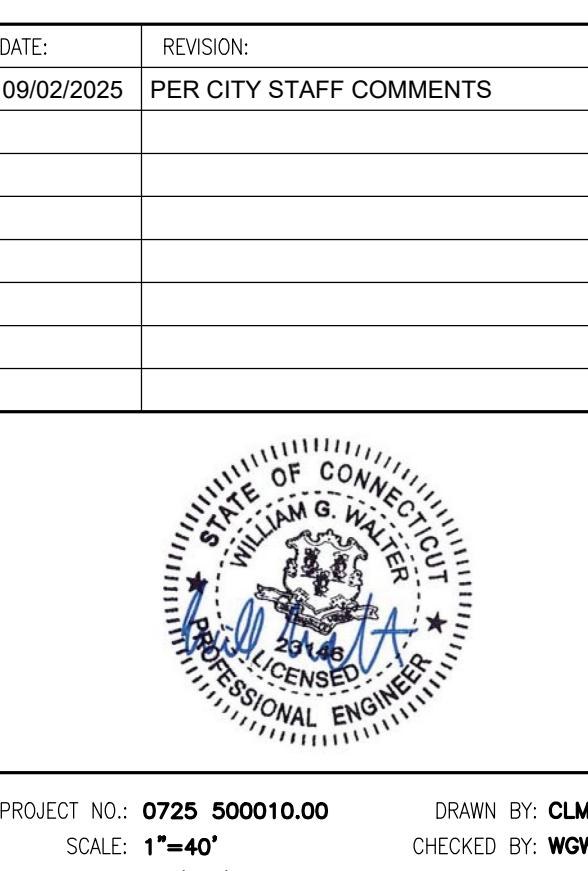
Prepared for:

Habitat for Humanity®
of Eastern Connecticut

**HABITAT FOR HUMANITY MULTI-FAMILY
RESIDENTIAL AFFORDABLE HOUSING DEVELOPMENT
PER C.G.S. §8-30g, LOTS 8, 9 & 11**

LEDYARD, CT

COLBY DRIVE



UTILITY
PLAN

DRAWING NO.:
C4.0

0 40 100 160
SCALE: 1" = 40'

COI BY DR TVE

	REVISION:
2025	PER CITY STAFF COMMENTS

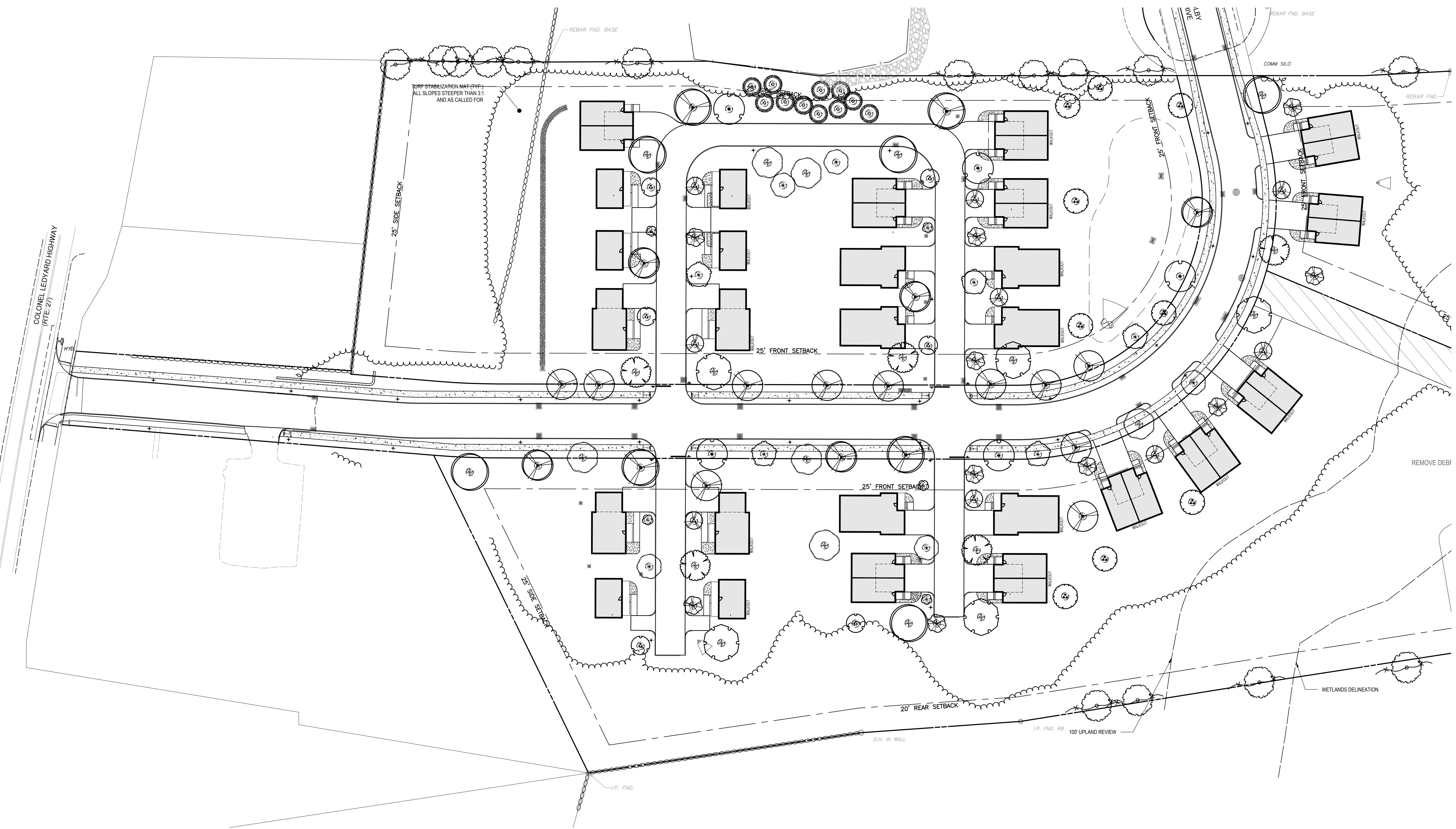


 STATE OF CONNECTICUT
 WILLIAM G. WALTER
 20146
 LICENSED
 PROFESSIONAL ENGINEER

Handwritten signature over the seal: *Will G. Walter*

PLANTING PLAN

DRAWING NO.
C50



A horizontal scale bar with tick marks at 0, 40, 100, and 160. The segments between 0-40, 40-100, and 100-160 are each 40' long. The segments between 0-40 and 40-100 are black, while the segment between 100-160 is white. Below the scale bar is the text "SCALE: 1\" data-bbox="288 158 561 188" data-label="Text"> $"$ = 40'

HABITAT FOR HUMANITY MULTI-FAMILY RESIDENTIAL AFFORDABLE HOUSING DEVELOPMENT PER C.G.S. §8-30g, LOTS 8, 9 & 11

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benesch
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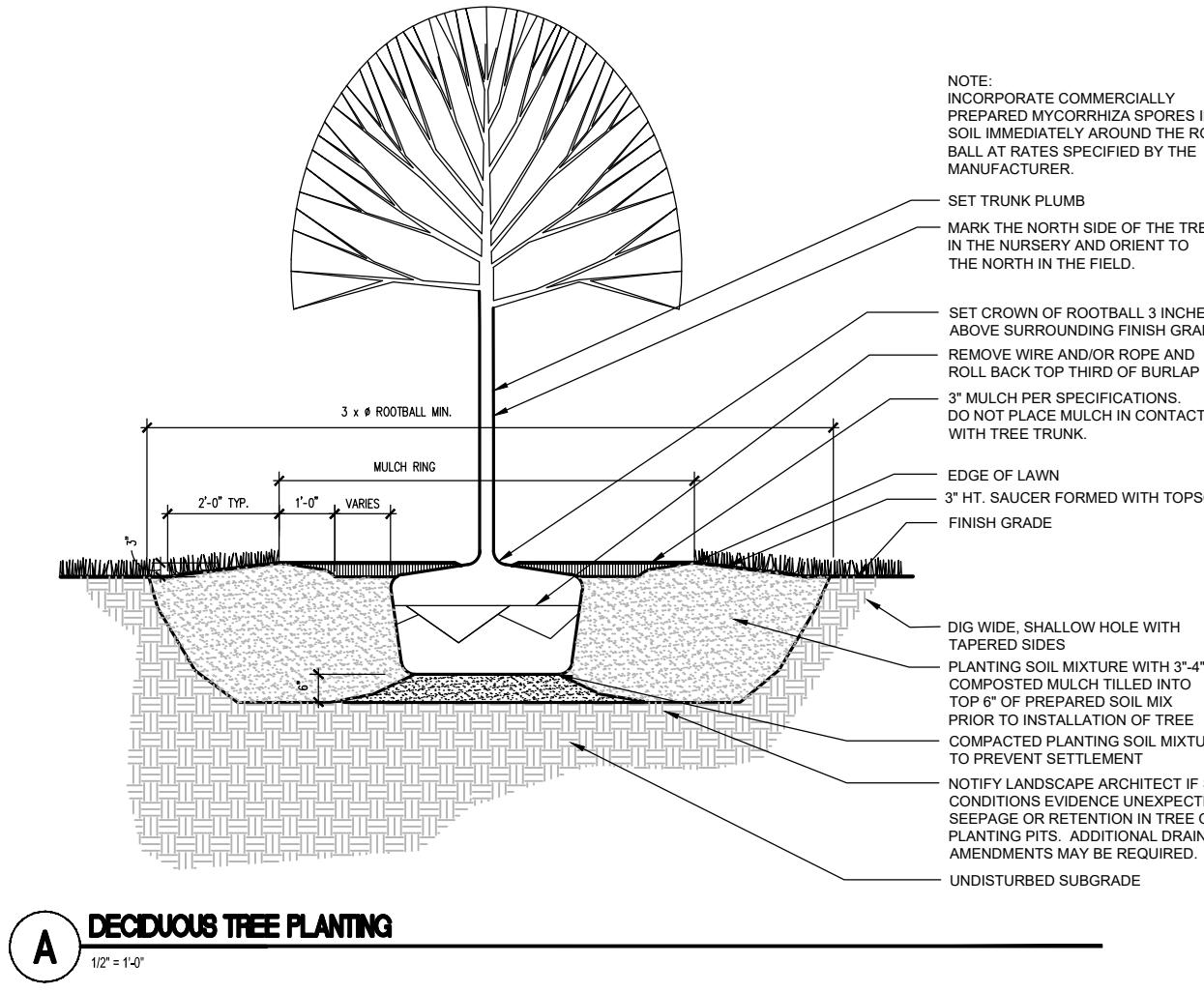
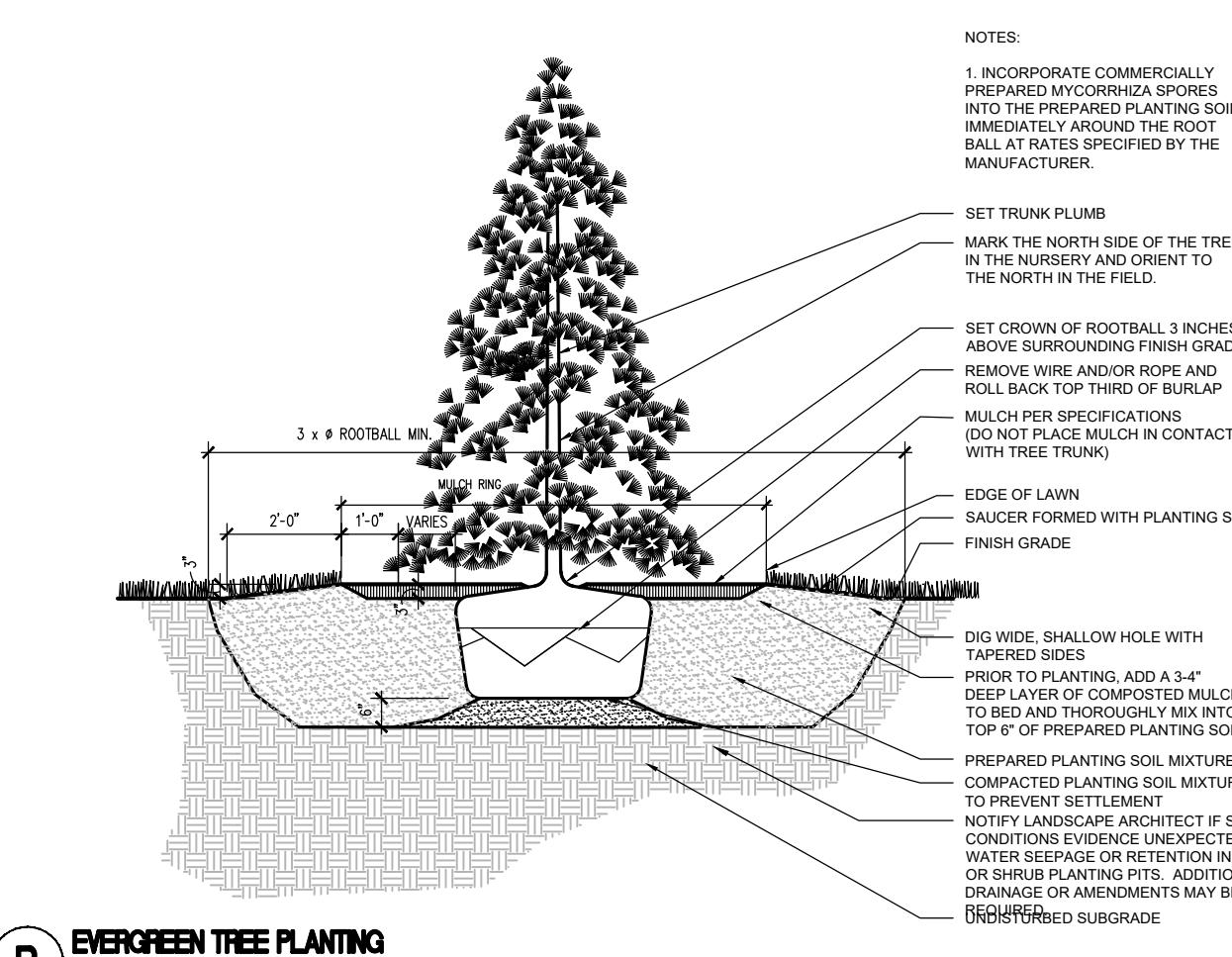
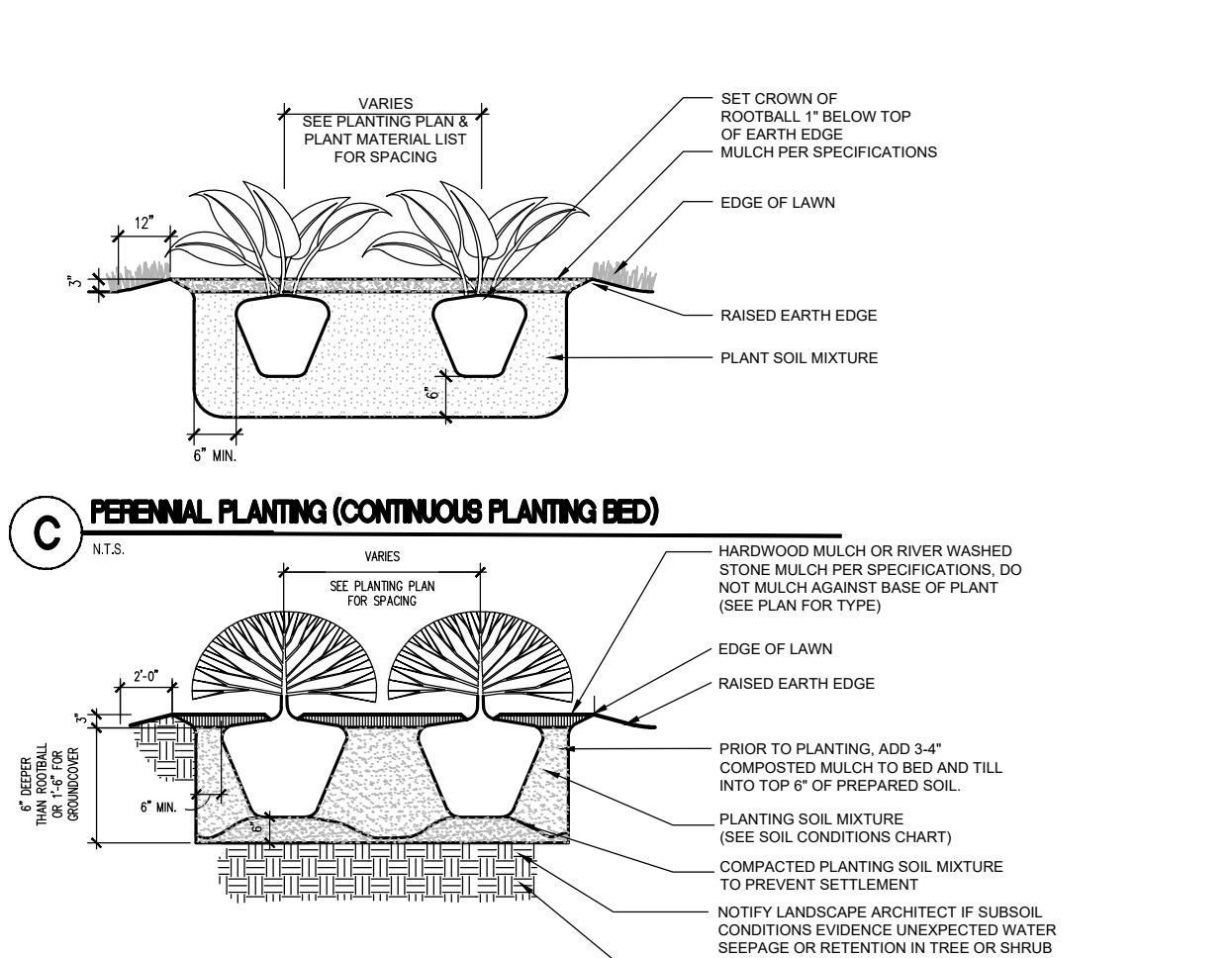
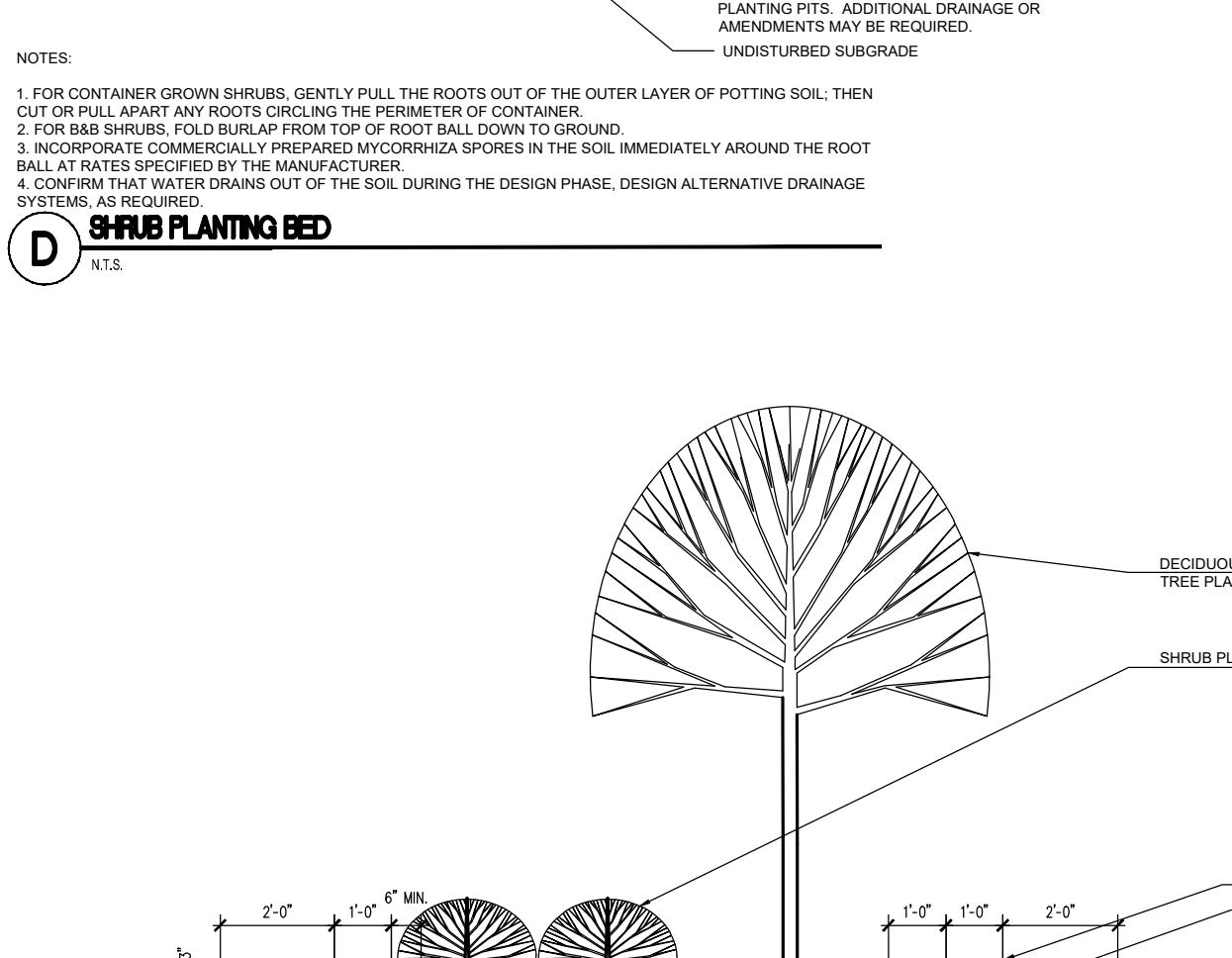
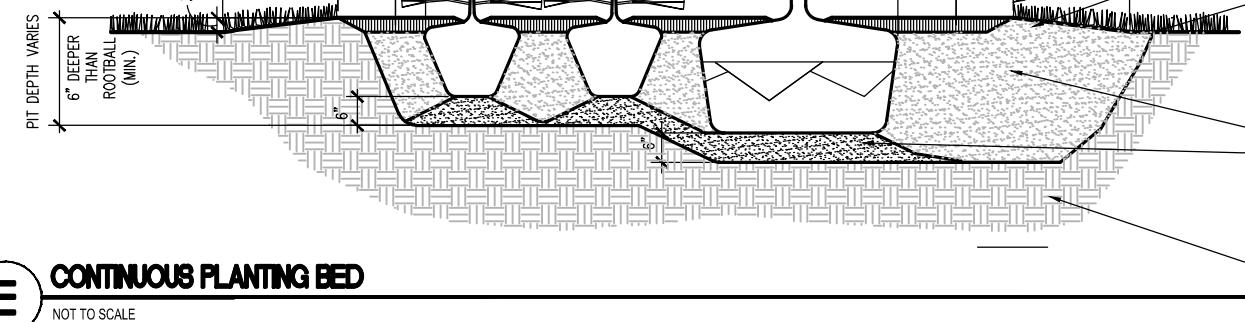
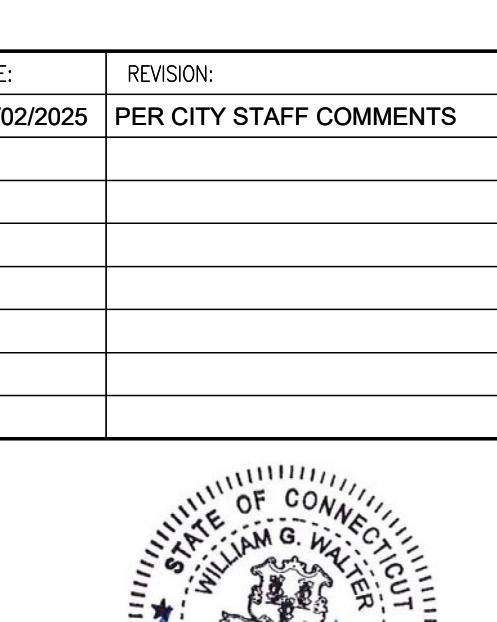
Habitat for Humanity®
of Eastern Connecticut

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
DECIDUOUS TREES						
	AO	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	B & B	2.5-3" CAL.		12
	ASFF	ACER SACCHARUM 'FALL FIESTA' / FALL FIESTA SUGAR MAPLE	B & B	2.5-3" CAL.	14-16' HT.	7
	AHB	AESCOLUS HIPPOCASTANUM 'BAUMANNII' / BAUMANN HORSE CHESTNUT	B & B	2.5-3" CAL.	12-16' HT.	6
	BNH	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH	B & B	MULTI-TRUNK	8-10' HT.	10
	GBPS	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE	B & B	2.5-3" CAL.		6
	GTH	GLEDTISIA TRIACANTHOS INERMIS 'HALKA' / HALKA THORNLESS HONEY LOCUST	B & B	2.5-3" CAL.	12-16' HT.	11
	LSR	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA' TM / ROUND-LOBED SWEET GUM	B & B	2.5-3" CAL.	14-16' HT.	6
	LA	LIRIODENDRON TULIPIFERA 'SNOW BIRD' / SNOW BIRD TULIP TREE	B & B	3.0-3.5" CAL.	14-16' HT.	6
	QP	QUERCUS PALUSTRIS / PIN OAK	B & B	2.5-3" CAL.		6
	UAP	ULMUS AMERICANA 'PRINCETON' / PRINCETON AMERICAN ELM	B & B	2.5-3" CAL.		6
EVERGREEN TREES						
	ACC	ABIES CONCOLOR 'CANDICANS' / CANDICANS WHITE FIR	B & B	CONIFER	12-14' HT.	1
	CL	CUPRESSUS X LEYLANDII / LEYLAND CYPRESS	B & B	CONIFER	8-10' HT.	1
	PFV	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B & B	CONIFER	12-14' HT.	12
ORNAMENTAL TREES						
	AGA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B & B	MULTI-TRUNK	12-14' HT.	7
	BW	BETULA POPULIFOLIA 'WHITESPIRE SR.' / WHITESPIRE SENIOR GRAY BIRCH	B & B	2"-2.5" CAL.	12-14' HT.	11
	CC2	CERCIS CANADENSIS / EASTERN REDBUD	B & B	MULTI-TRUNK	8-10' HT.	6
	CRRG	CORNUS X RUTGERSSENSIS 'RUTGAN' / STELLAR PINK DOGWOOD	B & B	4-4.5" CAL.	10-12' HT.	10
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	QTY
GRASSES						
	PVH	PANICUM VIRGATUM 'HEAVY METAL' / BLUE SWITCH GRASS	#3 CONT.	2-3' HT.	15-18" SPR.	1
DECIDUOUS SHRUBS						
	CAE	CORNUS ALBA 'ELEGANTISSIMA' / VARIEGATED REDTWIG DOGWOOD	#5 CONT.	24-30" HT.	24-30" SPR.	1
	CSB	CORNUS SERICEA 'BAILEYI' / BAILEYI RED TWIG DOGWOOD	#7 CONT.	3-4" HT.	36-42" SPR.	1
	HV	HAMAMELIS VERNALIS / SPRING BLOOMING WITCHHAZEL	#7 CONT.	36-42" HT.	36-42" SPR.	1
	HMT	HYDRANGEA MACROPHYLLA 'PIIHM-IT TM / TWIST-N-SHOUT ENDLESS SUMMER HYDRANGEA	#5 CONT.	30-36" HT.	30-36" SP.	1
	HL	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE' / LITTLE QUICK FIRE HYDRANGEA	#5 CONT.	18-24" HT.	18-24" SPR.	1
	HF3	HYDRANGEA QUERCIFOLIA 'FLEMYGEA' / SNOW QUEEN OAKLEAF HYDRANGEA	5 GAL			1
	HKA	HYPERICUM KALMIANUM 'AMES' / AMES ST. JOHNS WORT	#3 CONT.	15-18" HT.	15-18" SPR.	1
	IVRS	ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY	#3 CONT.	18-24" HT.	18-24" SPR.	1
	IVSG	ILEX VERTICILLATA 'SOUTHERN GENTLEMAN' / SOUTHERN GENTLEMAN WINTERBERRY	B & B	4-5" HT.	36-42" SPR.	1
	IVWR	ILEX VERTICILLATA 'WINTER RED' / WINTER RED WINTERBERRY	B & B	4-5" HT.	36-42" SPR.	1
	IVHG	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPIRE	#5 CONT.	18-24" HT.	24-30" SP.	1
	MP	MYRICA PENNSYLVANICA / NORTHERN BAYBERRY	#5 CONT.	30-36" HT.	30-36" SP.	1
	POLD	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / LITTLE DEVIL DWARF NINEBARK	#3 CONT.	30-36" HT.	30-36" SP.	1
EVERGREEN SHRUBS						
	JT2	JUNIPERUS COMMUNIS 'SMINCB' / TORTUGA® COMMON JUNIPER	#3 CONT.	8-12" HT.	18-24" SPR.	1
	KLS	KALMIA LATIFOLIA 'SARAH' / SARAH MOUNTAIN LAUREL	#5 CONT.	30-36" HT.	30-36" SPR.	1
	LF	LEUCOTHOE FONTANESIANA / DROOPING LEUCOTHOE	#5 CONT.	15-18" HT.	18-24" SPR.	1
	RM	RHODODENDRON MAXIMUM / ROSEBAY RHODODENDRON	#7 CONT.	2-4" HT.	2-3" SPR.	1
	RR	RHODODENDRON MAXIMUM 'ROSEUM' / PINK ROSEBAY RHODODENDRON	7 GAL	2-4" HT.	2-3" SPR.	1
	TN2	THUJA OCCIDENTALIS 'AMERICAN PILLAR' / AMERICAN PILLAR ARBORVITAE	7 GAL	30-36" HT.	30-36" SP.	1
	TG2	THUJA OCCIDENTALIS 'GOLDEN GLOBE' / GOLDEN GLOBE ARBORVITAE	#3 CONT.	24-30" HT.	24-30" SPR.	1
	TOLG	THUJA OCCIDENTALIS 'LITTLE GIANT' / LITTLE GIANT ARBORVITAE	#3 CONT.	2-3" HT.	2-3" SPR.	1
	TI2	THUJA OCCIDENTALIS 'SMTOYB' / POLAR GOLD® ARBORVITAE	7 GAL	30-36" HT.	30-36" SP.	1

TOPSOIL, SEEDING & PLANTING NOTES

- BLEND PROPOSED GRADES INTO EXISTING GRADES SMOOTHLY AND NEATLY. ALL SAWCUTS SHALL BE STRAIGHT AND CLEAN.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES INCLUDING AREAS OUTSIDE OF THE CONTRACT LIMIT LINE, BUT WHICH ARE NOT COVERED BY OTHER SITE IMPROVEMENTS.
- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH UNLESS INDICATED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF AMENDED PLANTING SOIL TO A MINIMUM DEPTH OF 18 INCHES. SEE PLANTING PLANS FOR BED EXTENTS AND DETAILS FOR AREAS OF ADDITIONAL REQUIRED DEPTH.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.
- ALL LANDSCAPING PROPOSED ON THE APPROVED SITE PLAN SHALL BE COMPLETED BEFORE ISSUANCE OF A CERTIFICATE OF ZONING COMPLIANCE UNLESS THE LANDOWNER PROVIDES SURETY IN A FORM AND AMOUNT SATISFACTORY TO THE COMMISSION, ASSURING COMPLETION WITHIN A SPECIFIC TIME, NOT TO EXCEED ONE YEAR. SUCH SURETY SHALL BE FORFEITED IF THE WORK IS NOT COMPLETED WITHIN SUCH TIME LIMIT.

A DECIDUOUS TREE PLANTING
NOT TO SCALEB EVERGREEN TREE PLANTING
NOT TO SCALEC PERENNIAL PLANTING (CONTINUOUS PLANTING BED)
NOT TO SCALED SHRUB PLANTING BED
NOT TO SCALEE CONTINUOUS PLANTING BED
NOT TO SCALE

PROJECT NO.: 0725 500010.00 DRAWN BY: TRS
SCALE: AS SHOWN CHECKED BY: RCD
DATE: 12/20/2024

PLANTING DETAILS & SCHEDULE

