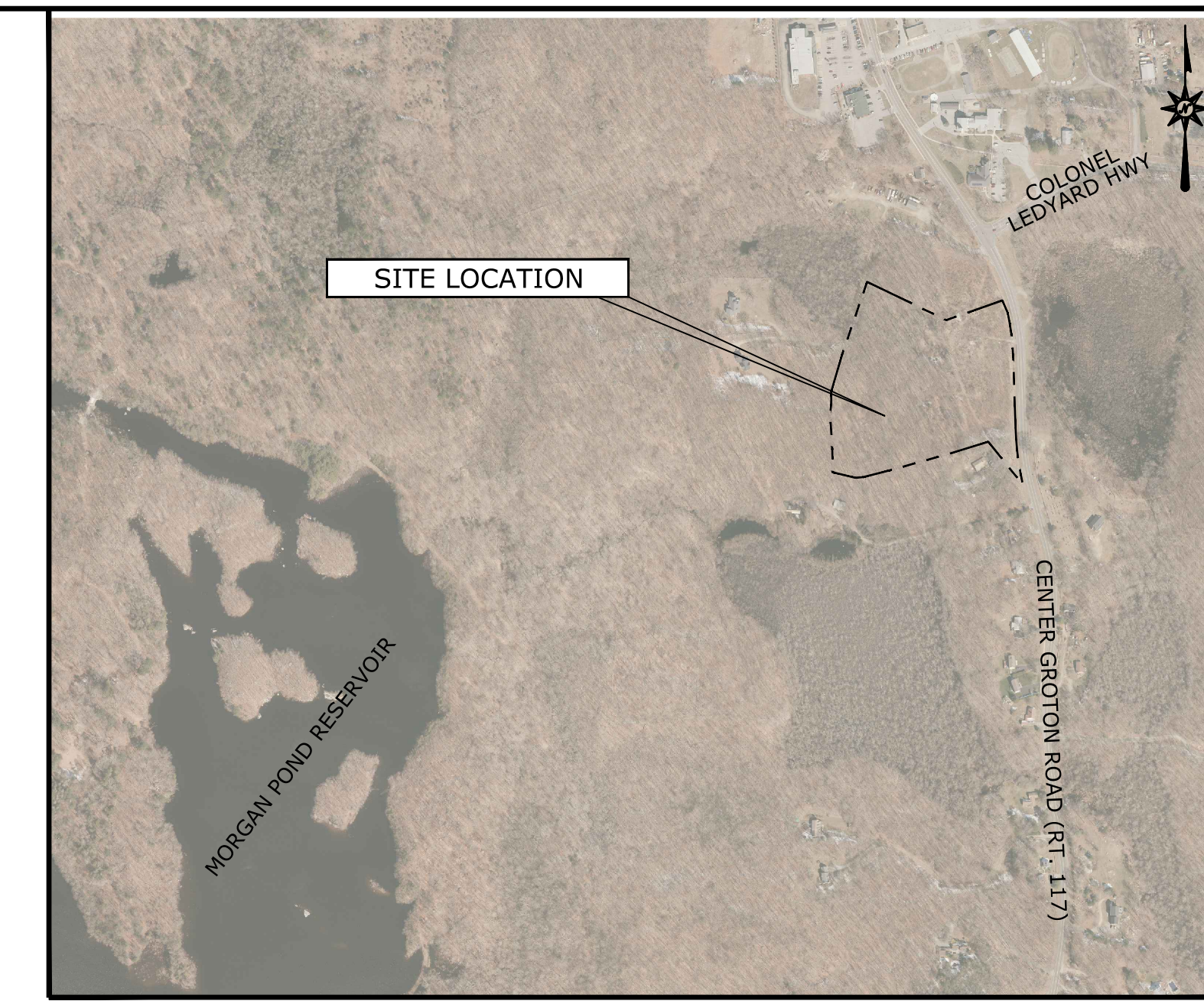


LOCATION MAP

N.T.S.

LAND DEVELOPMENT PLANS FOR PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT ISSUED FOR PERMITTING

1947 CENTER GROTON ROAD
LEDYARD, CT 06339
(Map ID: 67/430/1947)



VICINITY MAP

SCALE: 1"=600'

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PREPARED FOR:
EG HOME, LLC
3 POMPERAUG OFFICE PARK, SUITE 105
SOUTHURY, CT 06488

PREPARED BY:
BL Companies
ARCHITECTURE
ENGINEERING
ENVIRONMENTAL
LAND SURVEYING
355 Research Parkway
Meriden, CT 06450
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FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

| | |
|--|---|
| DEVELOPER: EG HOME, LLC 3 POMPERAUG OFFICE PARK, SUITE 105 SOUTHURY, CT 06488 | OWNER: 1947 CENTER GROTON ROAD LLC 114 TORRINGTON CT MOORESVILLE, NC 28117 |
|--|---|

SUBCONSULTANTS: _____



| DATES | |
|-------------|------------|
| ISSUE DATE: | 04/01/2026 |
| REVISION: | 04/22/2026 |
| | 05/04/2026 |
| | 05/21/2026 |

SITE WORK GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL, CORPORATION STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCLUDING HIERARCHY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF THE CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND INVERT UPON COMMENCEMENT OF CONSTRUCTION AND/OR THE ORDERING OF RELEVANT MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION OF ANY AND ALL UTILITIES ENCOUNTERED AND DISCONNECTED AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
- PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CT CALL BEFORE YOU DIG (CBYD) 72 HOURS BEFORE COMMENCEMENT OF WORK AT CT (800) 922-4455 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS. STREET LIGHTING AND TRAFFIC SIGNALS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MAY NOT BE MARKED OUT, AND A SEPARATE CONTRACT MUST BE MADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY/ALL WORK TO RELOCATE ANY/ALL STREET LIGHTING EQUIPMENT TO MAINTAIN SYSTEM.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
- SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONSTRUCTION DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FOR BUDGETING PURPOSES, THE CONTRACTOR SHALL CARRY THE COST OF THE HIGHER QUALITY/QUANTITY OF WORK UNTIL SUCH TIME THAT A CLARIFICATION IS RENDERED.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDUSTRY TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
- ALL NOTES AND DIMENSION DESIGNATED AS "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY MODIFICATIONS TO THE DESIGN PLANS UNTIL THE WORK HAS BEEN APPROVED. ANY WORK DONE WITHOUT THE APPROVAL OF THE ENGINEER AND/OR CLIENT MAY BE DEEMED UNACCEPTABLE.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK EXCEPT CTDOT ENCROACHMENT PERMIT BOND.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS FOR PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION AND SEDIMENT CONTROL PLAN.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, RAISED CONCRETE SIDEWALKS, LANDINGS, RAMPS, AND STAIRS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT REGULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2" OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
- PAVEMENT MARKING KEY:
4" SWL 4" SOLID YELLOW DOUBLE LINE
4" SWL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWSB 12" SOLID WHITE STOP BAR
4" SWL 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
- PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2" ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR ADA ACCESSIBLE SPACES SHALL BE PAINTED YELLOW. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- ALL NON-THERMOPLASTIC PAVEMENT MARKINGS SHALL HAVE TWO COATS APPLIED. PAVEMENT MARKINGS SHALL BE REFLECTIVE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND TOWN OF LEDYARD.
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "PROPERTY/TOPOGRAPHIC SURVEY"; SCALE 1"=40', DATED 01/13/2016, BY BL COMPANIES INC.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
- CTDOT ENCROACHMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK. THE OWNER SHALL POST CTDOT ENCROACHMENT PERMIT BOND.
- AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
- THE PROJECT PARCEL IS LOCATED WITHIN FEMA FLOOD HAZARD AREA "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
- THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY BL COMPANIES MAPPING. SAGAN M. SIMKO CONDUCTED SOIL TESTING ON 12/15/2025 AND 01/15/2026 TO DETERMINATION DELINEATION OF WETLANDS.
- 12" SWSB (STOP BAR) AND 4" SWL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO DOT SPECIFICATIONS.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF LEDYARD FIRE MARSHAL.
- THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
- ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERSEDED BY THE STATE BUILDING CODE.
- CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
- THE CONTRACTOR IS TO MAINTAIN FIRE DEPARTMENT ACCESS TO THE SITE AT ALL TIMES.
- ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR THE DEMOLITION AND DISPOSAL OF THE DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR

SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.

ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.

THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.

THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.

THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF THE WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.

THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.

IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT, OWNER SHALL NOTIFY MUNICIPALITY.

EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER UTILITY PROVIDER. REMOVE EXISTING ONSITE WATER PIPING TO BE ABANDONED TO RIGHT OF WAY LINE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE WATER UTILITY PROVIDER TO BE REMOVED TO MAIN.

EXISTING SANITARY LATERAL SHALL BE ALIGNED WITH NON-SHOWN GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH THE SANITARY UTILITY PROVIDER REQUIREMENTS. REMOVE EXISTING LATERAL PIPING FROM SITE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE SANITARY UTILITY PROVIDER.

DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE GAS UTILITY PROVIDER REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.

THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE MUNICIPALITY ENGINEERING DEPARTMENT, TELECOMMUNICATIONS UTILITY PROVIDER, GAS UTILITY PROVIDER, ELECTRIC UTILITY PROVIDER, SANITARY UTILITY PROVIDER, AND WATER UTILITY PROVIDER AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.

THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE TOWN OF LEDYARD BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.

BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND CONTRACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT, COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.

THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE MUNICIPALITY AND PER MIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.

THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE RECIRCUITED OR REWIRED AS NECESSARY TO REMAIN IN OPERATION.

NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER, MUNICIPAL STAFF AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE CBYD MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.

THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.

THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.

THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.

NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.

ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE TOWN OF LEDYARD AND HEALTH CODE REQUIREMENTS.

THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.

TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING WITH SESC CONTROLS IN PLACE.

THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.

UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.

VERTICAL DATUM IS NAVD 88.

CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND SHEETING BY THE TOWN OF LEDYARD AGENT PRIOR TO THE START OF WORK ON THE SITE.

PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL, SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE CT DEEP AND THE 2023 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION DISTRICT WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.

ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL, OTHERWISE THIS WORK SHALL CONFORM TO THE CONNECTICUT DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.

ALL DISTURBANCE INCURRED TO MUNICIPAL AND STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY AND STATE AS APPLICABLE FOR THE LOCATION OF THE WORK.

ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY ARCHITECT FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.

THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL PROPOSED UTILITY CROSSINGS AND EARTHWORK OVER EXISTING UTILITIES TO REMAIN. TEST PITS SHALL BE USED TO DETERMINE THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN UTILITIES.

UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.

THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.

THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.

ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.

ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.

SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL, 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.

RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.

THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.

CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNUAL SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.

BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.

ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.

A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.

GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.

SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.

MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.

CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO Pylon SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.

THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL

UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.

ELECTRIC, AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH LOCAL UTILITY PROVIDER REGULATIONS. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL PVC CONDUITS FOR TELECOMMUNICATIONS SERVICES, PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS, (SCHEDULE 40 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELECOMMUNICATIONS CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER, AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL MANHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED MANHOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.

ALL WATER LINES TO HAVE A MINIMUM COVER OF 4.5'. ALL LINES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH LOCAL UTILITY AND/OR MANUFACTURER REQUIREMENT.

ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.

THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.

THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CIVIL ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY ENGINEER OR OTHER GOVERNING AUTHORITY.

PIPING SHALL BE LAID FROM DOWNGRADE/IN END OF PIPE RUN IN AN UPGRADE DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.

MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.

HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF ASHSTO 252, WATERIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.

HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER GREATER THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF ASHSTO 294, WATERIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.

COPER PIPE SHALL BE TYPE X TUBING WITH COMPRESSION FITTINGS.

PE WATER PIPING SHALL CONFORM TO AWWA C901.

POLYVINYL CHLORIDE (PVC) PIPE FOR SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, ASTM D2321 AND MANUFACTURER'S RECOMMENDED PROCEDURE.

SANITARY FORCE MAIN PIPING SHALL CONFORM TO THE REQUIREMENTS OF AWWA C900, ASTM D1784, AND ASTM D2241. PIPE SHALL BE TYPE F5M, RIGID POLY VINYL CHLORIDE (PVC) MATERIAL WITH INTEGRALLY FORMED, FACTORY FABRICATED, OR TWICE GASKETED COUPLING TYPE, RUBBER RING TYPE JOINTS. PVC FORCE MAIN PIPE SHALL HAVE A MINIMUM WALL THICKNESS OF DR 18 AND SHALL BE CLASS 150. PIPE SHALL BE TYPE L, GRADE 1 AND SHALL BE MADE FROM CLEAR VIRGIN MATERIAL. PVC MATERIAL SHALL HAVE A CELL CLASSIFICATION OF 1245-B OR C AS DEFINED IN ASTM D-1784.

DUCTILE IRON PIPE FOR WATER PIPING SHALL CONFORM TO LOCAL JURISDICTION OR AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A21.4 FOR WATER MAINS AND SERVICES 3" ID AND LARGER. JOINTS SHALL BE MADE WITH CONCRETE THRUST BLOCKS OR WITH MEGALUGS RETAINER GLANDS OR WITH RODDING IN ACCORDANCE WITH PROJECT MANUAL SPECIFICATIONS AND IN ACCORDANCE WITH WATER UTILITY PROVIDER REQUIREMENTS TO EXCEED A MINIMUM OF 2 PIPE LENGTHS IN EITHER DIRECTION FROM FITTINGS AND ELBOWS (40 FT MINIMUM). ALL OTHER JOINTS SHALL BE PUSH-ON WITH RUBBER GASKETS (TYTON). USE OF OTHER TYPES OF RETAINER GLANDS SHALL REQUIRE USE WITH CLASS 53 OR GREATER DUCTILE IRON PIPE.

PVC WATER MAIN PIPING SHALL CONFORM TO AWWA C900.

GAS PIPE MATERIAL SHALL BE PER GAS COMPANY REQUIREMENTS.

DEFINITIONS

MUNICIPALITY SHALL MEAN TOWN OF LEDYARD

COUNTY SHALL MEAN NEW LONDON COUNTY

STATE SHALL MEAN STATE OF CONNECTICUT

WATER UTILITY PROVIDER SHALL MEAN GROTON UTILITIES (GU) AS CONTRACT OPERATOR OF LEDYARD WPCA WATER SYSTEM

SANITARY UTILITY PROVIDER SHALL MEAN LEDYARD WPCA

GAS UTILITY PROVIDER SHALL MEAN EVERSOURCE GAS

TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN AT&T

ELECTRIC UTILITY PROVIDER SHALL MEAN EVERSOURCE ENERGY

DOT SHALL MEAN THE CONNECTICUT DEPARTMENT OF TRANSPORTATION



355 Research Parkway
Meriden, CT 06450
(203) 630-1406



PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
1947 CENTER GROTON ROAD
LEDYARD, CT 06339

Disc.
REVISED GRADING AND DRAINAGE PER GEOTECHNICAL TESTING
REVISED UTILITY PLAN & PER ENGINEERING COMMENTS
REVISED UTILITY PLAN & PER ENGINEERING COMMENTS

REVISIONS
No. 1
2

Designed M.A.G.
Drawn M.A.G.
Reviewed R.M.R.
Scale NONE
Project No. 2502197
Date 04/01/2026

CAD File: G2502197-01

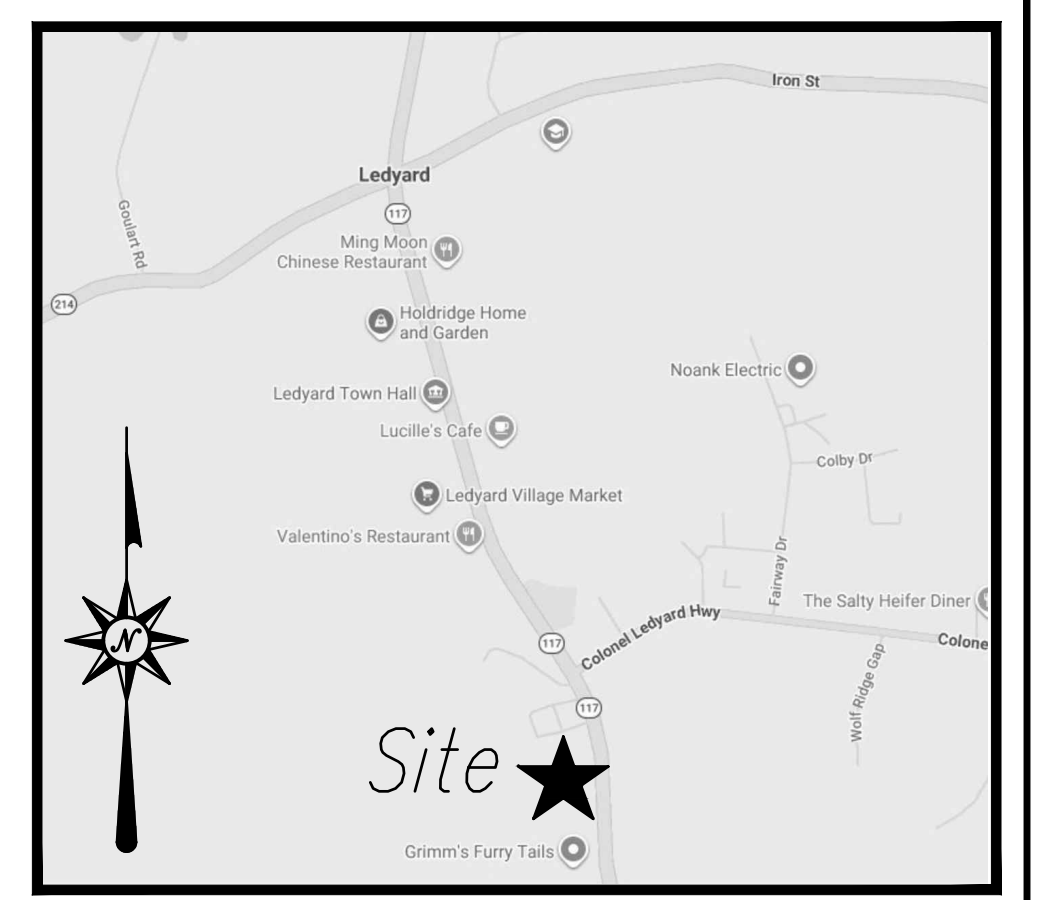
Title

GENERAL NOTES

Sheet No.

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NOT RELEASED FOR CONSTRUCTION

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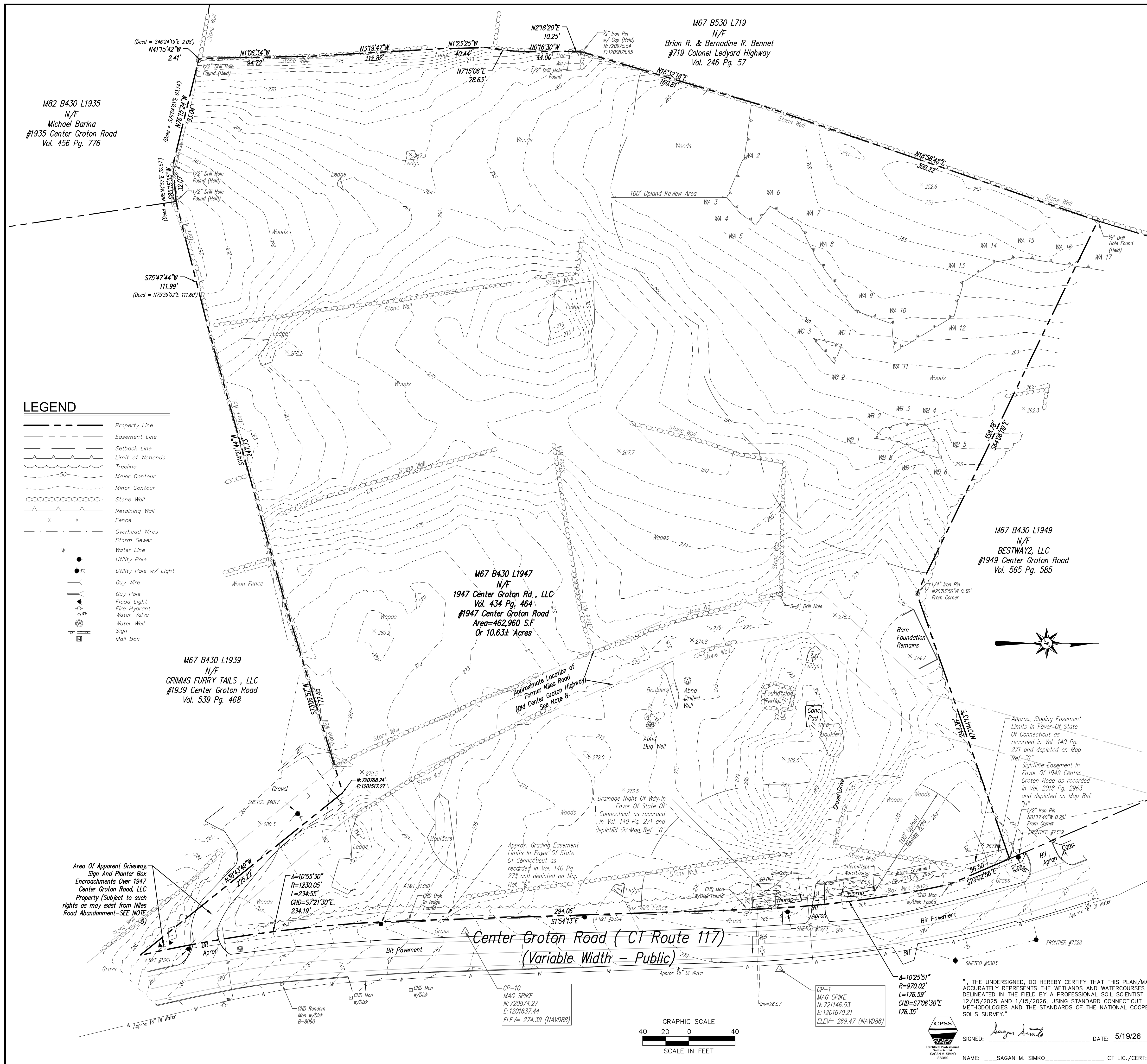
LOCATION MAP
NOT TO SCALE

GENERAL NOTES

- A) THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
- A) THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
- B) BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
- C) THE TYPE OF SURVEY PERFORMED IS A PROPERTY / TOPOGRAPHIC SURVEY INTENDED TO DEPICT THE EXISTING PROPERTY WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS, ENCROACHMENTS, VISIBLE UTILITIES, ROADWAYS AND CONTOURS.
- NORTH ARROW AND BEARINGS REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83 - EPOCH 11) AND ARE BASED ON LEICA SMARTNET VRS GPS OBSERVATIONS PERFORMED BY BL COMPANIES IN JANUARY 2026.
- ELEVATIONS AND CONTOURS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88-GEOD 18) AND ARE BASED ON GNSS OBSERVATIONS PERFORMED BY BL COMPANIES IN JANUARY 2026 UTILIZING THE LEICA SMARTNET VRS SYSTEM.
- PARCEL IS LOCATED IN A FLOOD HAZARD AREA "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON FIRM COMMUNITY PANEL NO. 090157 PANEL 367 OF 554 EFFECTIVE: JULY 18, 2011.
- THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. PER CONNECTICUT STATE LAW THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. CALL BEFORE YOU DIG 1-800-922-4455.
- WETLANDS FLAGGED BY BL COMPANIES IN JANUARY 2026.
- 1939 CENTER GROTON ROAD DRIVEWAY WAS RECONSTRUCTED IN ITS CURRENT LOCATION PER THE STATE DEPARTMENT OF TRANSPORTATION PER MAP REFERENCE G.
- NILES ROAD WAS ABANDONED BY PLANNING COMMISSION VOTE 5-0 ON NOVEMBER 5, 2009 AND DURING A TOWN COUNCIL MEETING VOTE 9-0 ON FEBRUARY 24, 2010.
- NOTE: A PORTION OF THE SOUTHERLY PROPERTY LINE EXTENDING TO THE CENTER OF THE ABANDONED NILES ROAD CAUSES A PORTION OF THE DRIVEWAY TO APPARENTLY ENCR OACH ONTO THE SUBJECT PROPERTY. NO EASEMENT WAS FOUND FOR THIS BUT MAY BE SUBJECT TO SUE RIGHTS OR APPARENT ACCESS EASEMENT LEADING TO BOTH THE SUBJECT PROPERTY AND THE ADJOINING PROPERTY ALONG THE FORMER NILES ROAD (ABANDONED) PER THE DRIVEWAY REALIGNMENT DESIGN BY CDOT DEPICTED ON MAP REF G AND DESCRIBED IN DEED VOL. 140 AT PAGE 271.

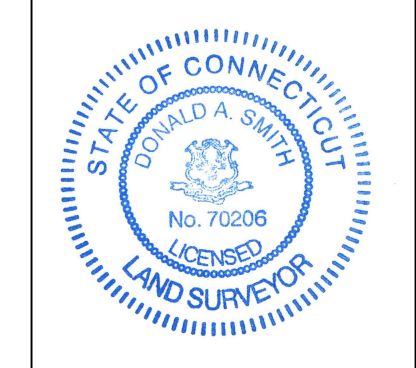
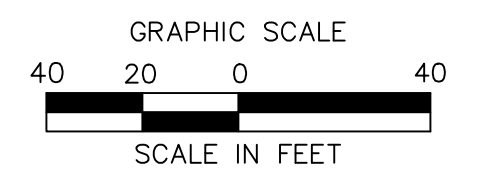
MAP REFERENCES

- "PROPERTY SURVEY PROPOSED LOT SPLIT, 1947 CENTER GROTON ROAD, LEDYARD, CT, SHEET 1 OF 1, SCALE 1"=50', DATED MAY 30, 2017, REVISED AUGUST 2017, PREPARED BY WESTCOTT AND MAPES, INC. NEW HAVEN, CT, AND FILED AS MAP#2923 IN THE TOWN OF LEDYARD CLERKS OFFICE
- "PROPERTY SURVEY PROPERTY OF MAUREEN RUTH MARSH, 1947 CENTER GROTON ROAD, (CONNECTICUT ROUTE 117) LEDYARD, CT, SCALE 1"=50', DATED FEBRUARY 18, 2004, REVISED 12/19/2006, PREPARED BY DICESARE BLEY
- "CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, TOWN OF LEDYARD, CENTER GROTON ROAD, FROM THE GROTON TOWN LINE NORTHERLY TO THE COLONEL LEDYARD HIGHWAY" SHEETS 12, 13 AND 14 OF 14, SCALE 1"=40', DATED APRIL 1987, NOTED PRELIMINARY
- "PLAN SHOWING SUBDIVISION PROPERTY OF BRIAN R. BENNET AND BERNADINE R. BENNET, 719 COLONEL LEDYARD HIGHWAY, LEDYARD CT, SCALE 1"=40', DATED MAY 2011 REVISED AUGUST 1, 2011 BY DIETER & GARDNER
- "PROPERTY/TOPOGRAPHIC SURVEY, 1939 CENTER GROTON ROAD, LEDYARD CT," SCALE 1"=30', DATED 9/22/2005, BY WESTCOTT AND MAPES, INC.
- "PROPERTY OF BRIAN R. BENNET AND BERNADINE R. BENNET, CONNECTICUT ROUTE 117, LEDYARD CT, SCALE 1"=50', DATED OCT 1988, BY JOHN KOPKO JR. & ASSOCIATES"
- "TOWN OF LEDYARD MAP SHOWING LAND ACQUIRED FROM HENRY W. MARSH ET AL, BY THE STATE OF CONNECTICUT, RECONSTRUCTION OF CONN. 117" SCALE 1"=40', DATED APRIL 1983, REVISED 11/9/1993, TOWN NO. 71, PROJECT NO. 68, SERIAL NO. 68, SHEET 1 OF 1 AND FILED IN THE TOWN OF LEDYARD CLERKS OFFICE AS VOL. 140 PG. 271
- "SIGHTLINE EASEMENT PLAN OVER PROPERTY OF 1947 CENTER GROTON ROAD, LLC IN FAVOR OF 1949 CENTER GROTON ROAD, LEDYARD, CONNECTICUT, SCALE 1"=40', DATE: APRIL 2016" PREPARED BY DIETER & GARDNER AND RECORDED IN VOL. 2018 PG 2963 TOWN OF LEDYARD CLERKS OFFICE.



LEGEND

| | |
|---------|-----------------------|
| --- | Property Line |
| - - - - | Easement Line |
| - - - - | Setback Line |
| - - - - | Limit of Wetlands |
| - - - - | Treeline |
| - - - - | Major Contour |
| - - - - | Minor Contour |
| - - - - | Stone Wall |
| - - - - | Retaining Wall |
| - - - - | Fence |
| - - - - | Overhead Wires |
| - - - - | Storm Sewer |
| - - - - | Water Line |
| - - - - | Utility Pole |
| - - - - | Utility Pole w/ Light |
| - - - - | Guy Wire |
| - - - - | Guy Pole |
| - - - - | Flood Light |
| - - - - | Fire Hydrant |
| - - - - | Water Valve |
| - - - - | Water Well |
| - - - - | Sign |
| - - - - | Mail Box |



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Donald A. Smith
DONALD A. SMITH, L.S. #70206

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR.

"I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THIS PLAN/MAP ACCURATELY REPRESENTS THE WETLANDS AND WATERCOURSES DELINEATED IN THE FIELD BY A PROFESSIONAL SOIL SCIENTIST ON 12/15/2025 AND 1/15/2026, USING STANDARD CONNECTICUT METHODOLOGIES AND THE STANDARDS OF THE NATIONAL COOPERATIVE SOILS SURVEY."

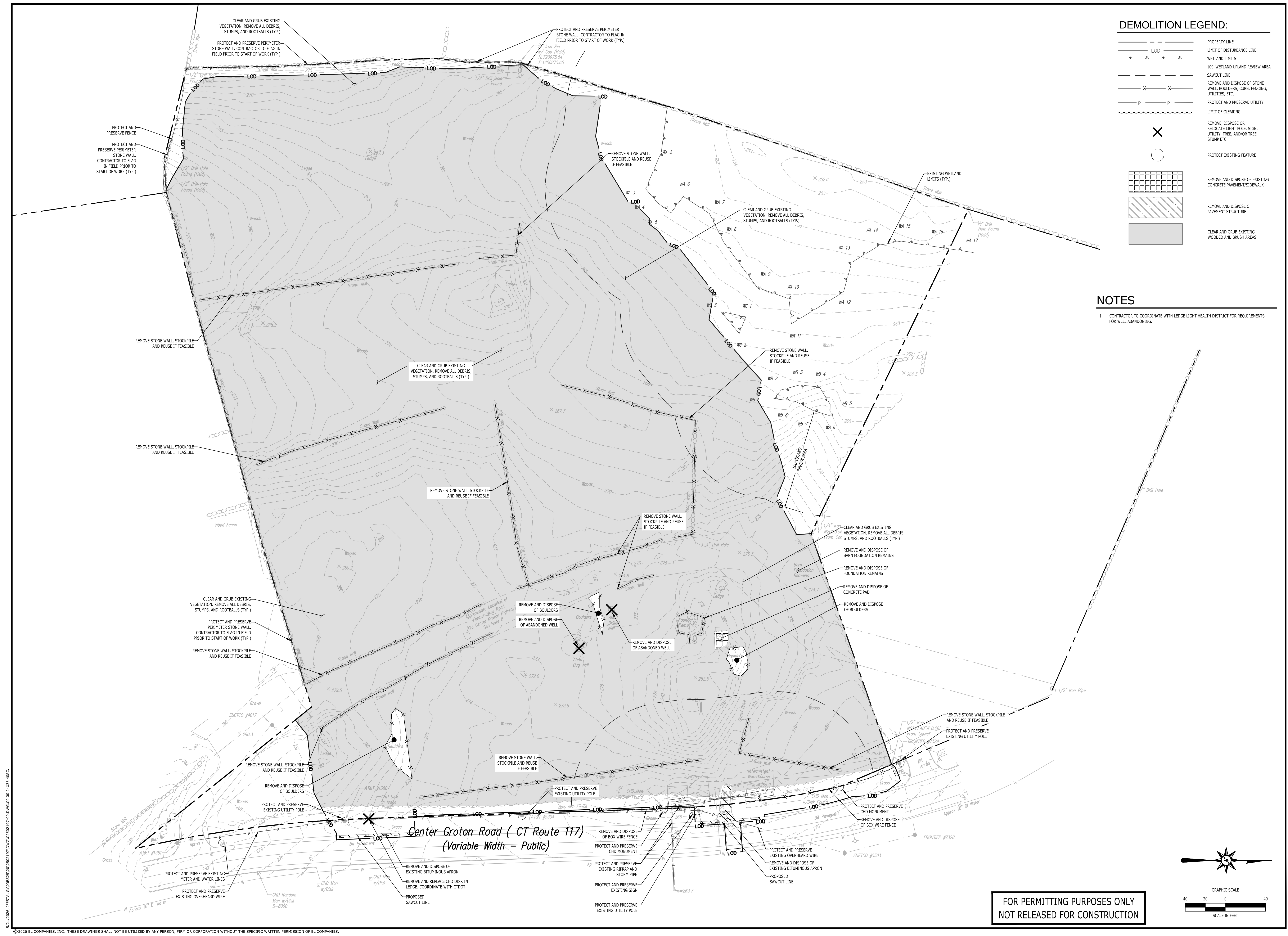
CPSS
2025
Certified Professional
SIGAN M. SIMKO
36359

SIGNED: *Sigan M. Simko* DATE: 5/19/26
NAME: SAGAN M. SIMKO CT LIC./CERT: 36359

REVISIONS

| No. | Date | Description |
|-----|-----------|--|
| 1 | 2-10-2026 | Update to depict Slope and Grading Easement Limits |
| 2 | 5-19-2026 | Added Soil Scientist Signature Block |

| | |
|-------------|----------------|
| Surveyed | S.C., F.P. |
| Drawn | S.C. |
| Reviewed | D.A.S., W.A.T. |
| Scale | 1"=40' |
| Project No. | 2502197 |
| Date | 01/13/2026 |
| Field Book | 599 |
| CAD File: | EX250219701 |



DEMOLITION LEGEND:

| | |
|--|---|
| | PROPERTY LINE |
| | LIMIT OF DISTURBANCE LINE |
| | WETLAND LIMITS |
| | 100' WETLAND UPLAND REVIEW AREA |
| | SAWCUT LINE |
| | REMOVE AND DISPOSE OF STONE WALL, BOULDERS, CURB, FENCING, UTILITIES, ETC. |
| | PROTECT AND PRESERVE UTILITY |
| | LIMIT OF CLEARING |
| | REMOVE, DISPOSE OR RELOCATE LIGHT POLE, SIGN, UTILITY, TREE, AND/OR TREE STUMP ETC. |
| | PROTECT EXISTING FEATURE |
| | REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT/SIDEWALK |
| | REMOVE AND DISPOSE OF PAVEMENT STRUCTURE |
| | CLEAR AND GRUB EXISTING WOODED AND BRUSH AREAS |

- NOTES**
- CONTRACTOR TO COORDINATE WITH LEDGE LIGHT HEALTH DISTRICT FOR REQUIREMENTS FOR WELL ABANDONING.

**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1947 CENTER GROTON ROAD
LEDYARD, CT 06339

REVISIONS

| | |
|-------|---|
| Disc. | REVISED GRADING AND DRAINAGE PER GEOTECHNICAL TESTING |
| | REVISED PER GROTON UTILITIES COMMENTS |
| | REVISED UTILITY PLAN & PER ENGINEERING COMMENTS |
| No. | Date |
| 1 | 04/22/2026 |
| 2 | 05/04/2026 |
| 3 | 05/21/2026 |

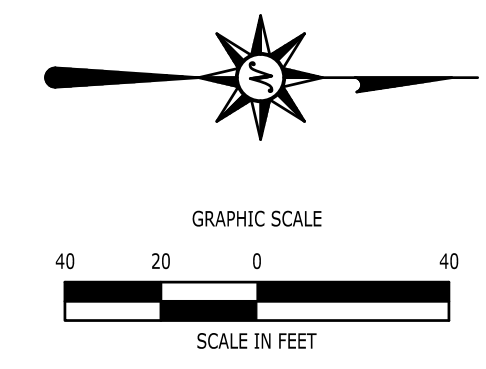
| | |
|-------------|-------------|
| Designed | M.A.G. |
| Drawn | M.A.G. |
| Reviewed | R.M.R. |
| Scale | 1"=40' |
| Project No. | 2502197 |
| Date | 04/01/2026 |
| CAD File: | C2502197-00 |

Title
DEMOLITION PLAN

Sheet No.

C0.00

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**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1947 CENTER GROTON ROAD
LEDYARD, CT 06339

REVISIONS
1. 04/22/2026 DISC. REVISED GRADING AND DRAINAGE PER GEOTECHNICAL TESTING
2. 05/04/2026 REVISED PER GROTON UTILITIES COMMENTS
3. 05/21/2026 REVISED UTILITY PLAN & PER ENGINEERING COMMENTS

Designed T.A.M.
Drawn T.A.M.
Reviewed R.M.R.
Scale 1"=40'
Project No. 2502197
Date 04/01/2026
CAD File: C2502197-10

Title **SITE PLAN**

Sheet No.

C1.00

File Path: I:\PROJECTS\2026\2502197\DWG\C2502197-10.DWG, CL 00, 2X36, 40SC

ZONING INFORMATION

| LOCATION: LEDYARD, CONNECTICUT | | | |
|--|--|----------------------------|----------|
| ZONE: LCDD (LEDYARD CENTER DEVELOPMENT DISTRICT) | | | |
| USE: TOWNHOMES (AS A RIGHT); SITE PLAN APPROVAL | | | |
| ITEM | REQUIREMENTS | PROPOSED | VARIENCE |
| MINIMUM LOT AREA | 20,000 S.F. | 432,960 S.F. (10.6 AC.) | NO |
| MINIMUM LOT WIDTH | 100 FEET | 602.1 FEET | NO |
| MINIMUM LOT FRONTAGE - FRONTAGE LOT | 100 FEET, 50 FEET FOR LOTS ON A CUL-DE-SAC | 761.7 FEET | NO |
| MINIMUM LOT FRONTAGE - INTERIOR LOT | 50 FEET | 761.7 FEET | NO |
| MINIMUM FRONT SETBACK | 15 FEET | 74.5 FEET | NO |
| MINIMUM SIDE SETBACK | 25 FEET | 26.5 FEET | NO |
| MINIMUM REAR SETBACK | 25 FEET | 25.0 FEET | NO |
| MAXIMUM BUILDING HEIGHT | 45 FEET/3.5 STORIES | +26.5 FEET | NO |
| MAXIMUM LOT COVERAGE | 70 PERCENT | 43 PERCENT | NO |

PARKING INFORMATION

| ITEM | REQUIREMENTS | PROPOSED | VARIENCE |
|----------------------------|---|---|----------|
| BUILDING FOOTPRINT | NONE REQUIRED | (5) 3,751.5 S.F. (8) 3,828.5 S.F. (4) 4,692.5 S.F. TOTAL=66,155.5 S.F. | NO |
| PARKING REQUIRED | TOWNHOMES: 2 SPACES PER UNIT (72 UNITS X 2 = 144) TOTAL REQUIRED = 144 SPACES | 176 SPACES | NO |
| MINIMUM PARKING DIMENSIONS | 9 FEET X 18 FEET | 9 FEET X 18 FEET | NO |
| MINIMUM AISLE WIDTH | 24 FEET - 2-WAY | 24 FEET - 2-WAY | NO |
| MINIMUM FRONT SETBACK | 10 FEET | 64.0 FEET | NO |
| MINIMUM SIDE SETBACK | 10 FEET | 141.2 FEET | NO |
| MINIMUM REAR SETBACK | 10 FEET | 139.3 FEET | NO |

SITE PLAN LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE LINE
- WETLAND LIMITS
- 100' WETLAND UPLAND REVIEW AREA
- SAWCUT LINE
- PROVIDE AND INSTALL TIMBER GLIDERAIL
- PROVIDE AND INSTALL PRIVACY FENCE
- PROVIDE AND INSTALL CONCRETE CURB
- PROVIDE AND INSTALL CONCRETE SIDERAIL/CONCRETE PAD
- PROVIDE AND INSTALL CHAIN LINK FENCE
- PROVIDE AND INSTALL STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- PROVIDE AND INSTALL GRAVEL PATIO OR DRIVE
- PROPOSED SNOW STORAGE AREA
- PROVIDE AND INSTALL UTILITY TRENCH PATCH
- PROVIDE AND INSTALL MODULAR BLOCK RETAINING WALL
- PROVIDE AND INSTALL 8' WIDE PAINTED CROSSWALK
- PROPOSED SITE LIGHTING

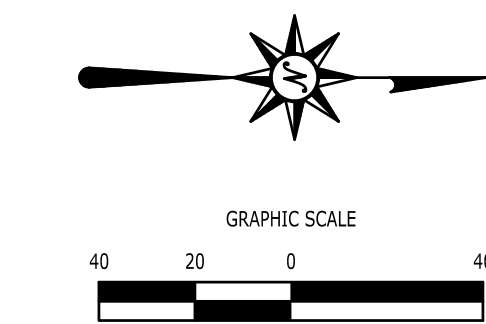
SIGN LEGEND

| SIGN NO. | MUTCD NO. | LEGEND |
|----------|-----------|--------|
| A | 31-0532 | 30" |
| B | 31-0629 | |
| C | 31-0648 | |

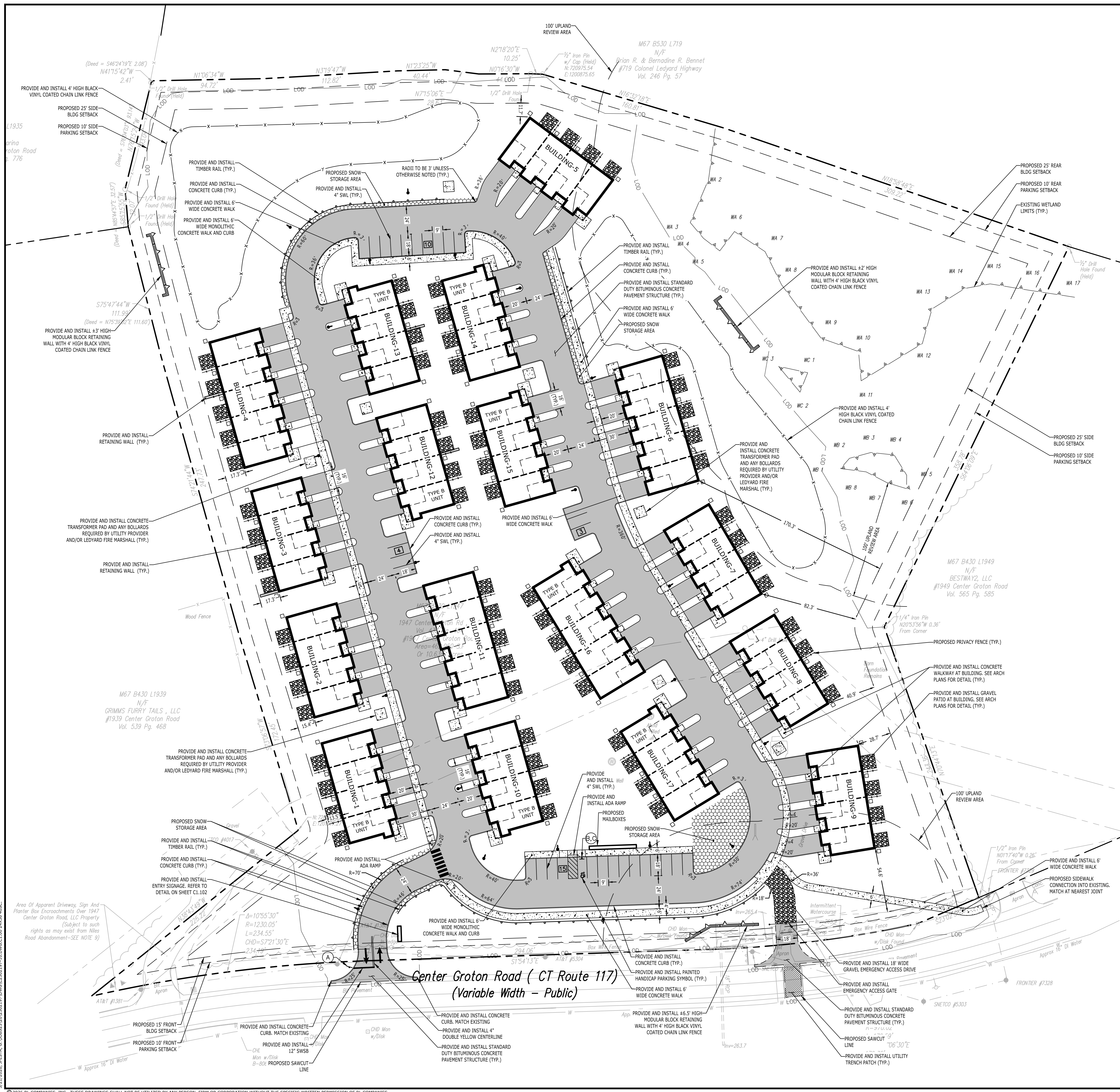
NOTE: ALL HANDICAP ACCESSIBLE PARKING STALL SIGNAGE TO BE INSTALLED IN PIPE BOLLARDS (SEE DETAIL) AND BE IN FULL COMPLIANCE WITH THE LATEST BUILDING CODE.

WETLAND IMPACTS

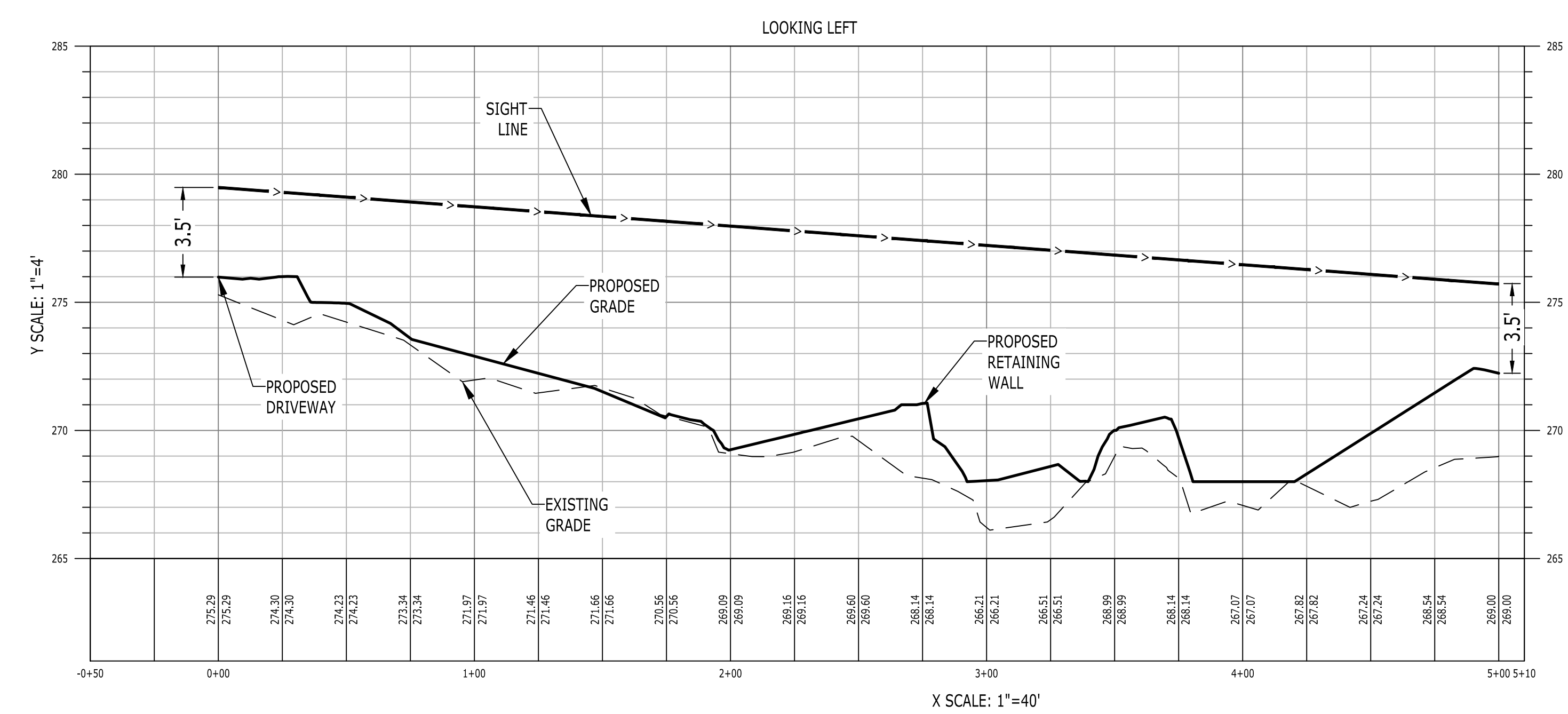
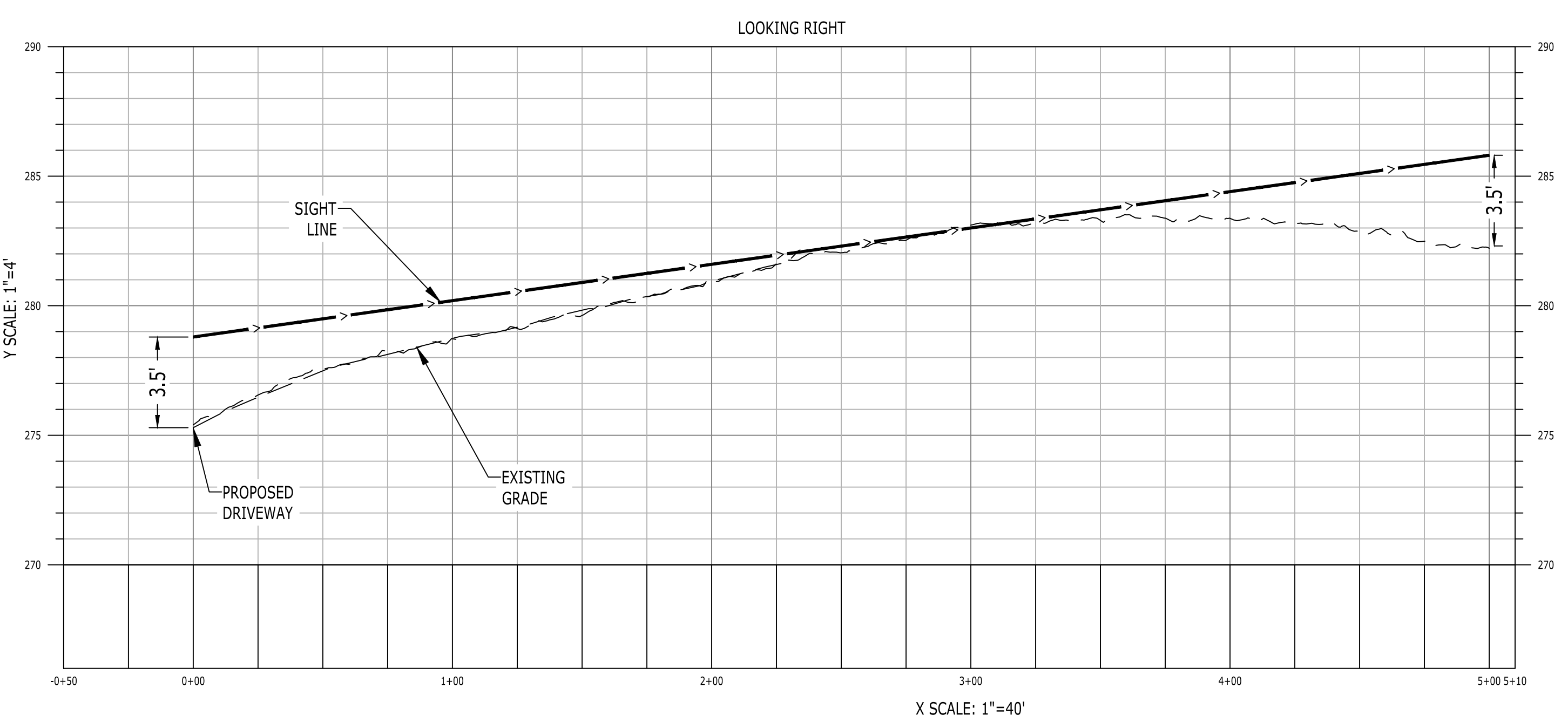
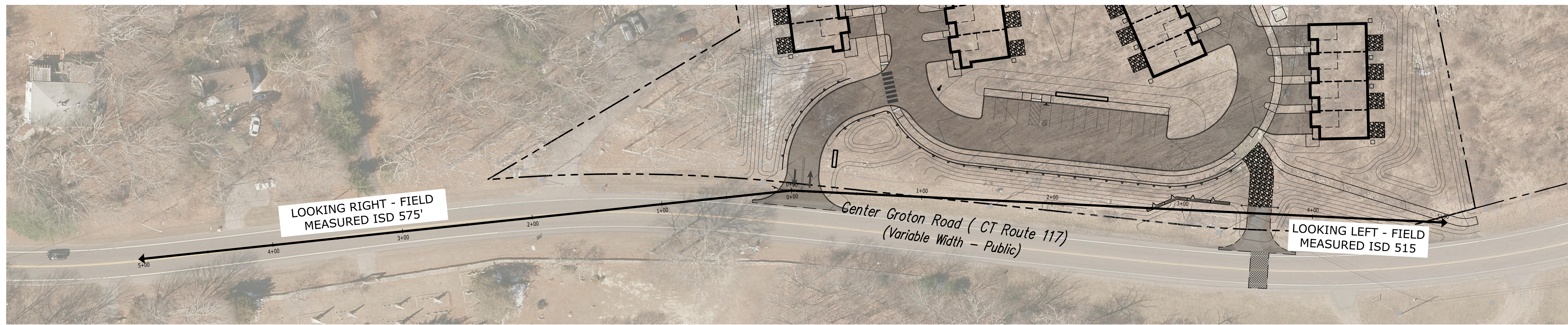
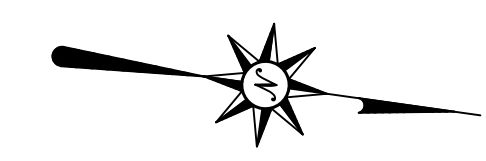
| WETLAND AREA | 31,967 SF (0.73 ACRES) |
|--|-------------------------|
| 100' UPLAND REVIEW AREA | 131,566 SF (3.02 ACRES) |
| PROPOSED WETLAND DISTURBANCE | 0 SF |
| PROPOSED UPLAND REVIEW AREA DISTURBANCE | 60,481 SF (1.38 ACRES) |
| PERMANENT UPLAND REVIEW AREA DISTURBANCE (IMPERVIOUS SURFACES) | 2,076 SF (0.047 ACRES) |



**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**



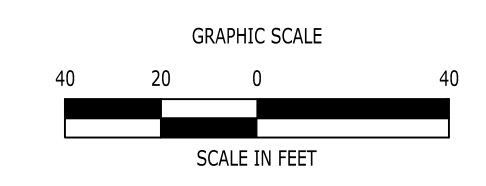
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SIGHT DISTANCES

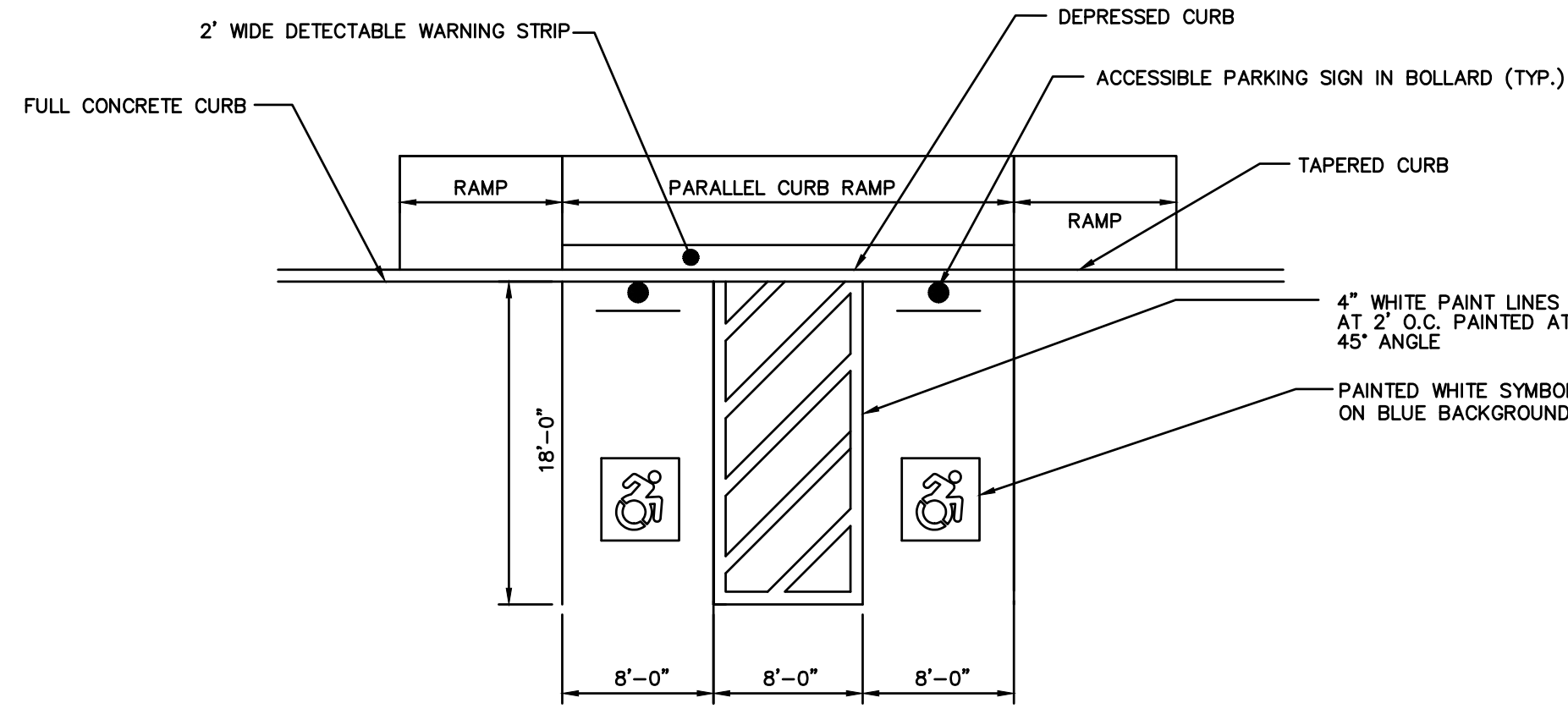
| INTERSECTION | DIRECTION | | DESIGN SPEED (MPH) | SSD REQUIRED (FT) | ISD REQUIRED (FT) | ESTIMATED SIGHTLINE PROVIDED (FT) |
|--|---------------------|---------------|--------------------|-------------------|-------------------|-----------------------------------|
| CT ROUTE 117 (CENTER GROTON ROAD) AT SITE DRIVEWAY | APPROACH LEFT TURN | LOOKING LEFT | 45 | 360 | 500 | 515 |
| | | LOOKING RIGHT | 45 | 360 | 500 | 575 |
| | APPROACH RIGHT TURN | LOOKING LEFT | 45 | 360 | 500 | 515 |

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



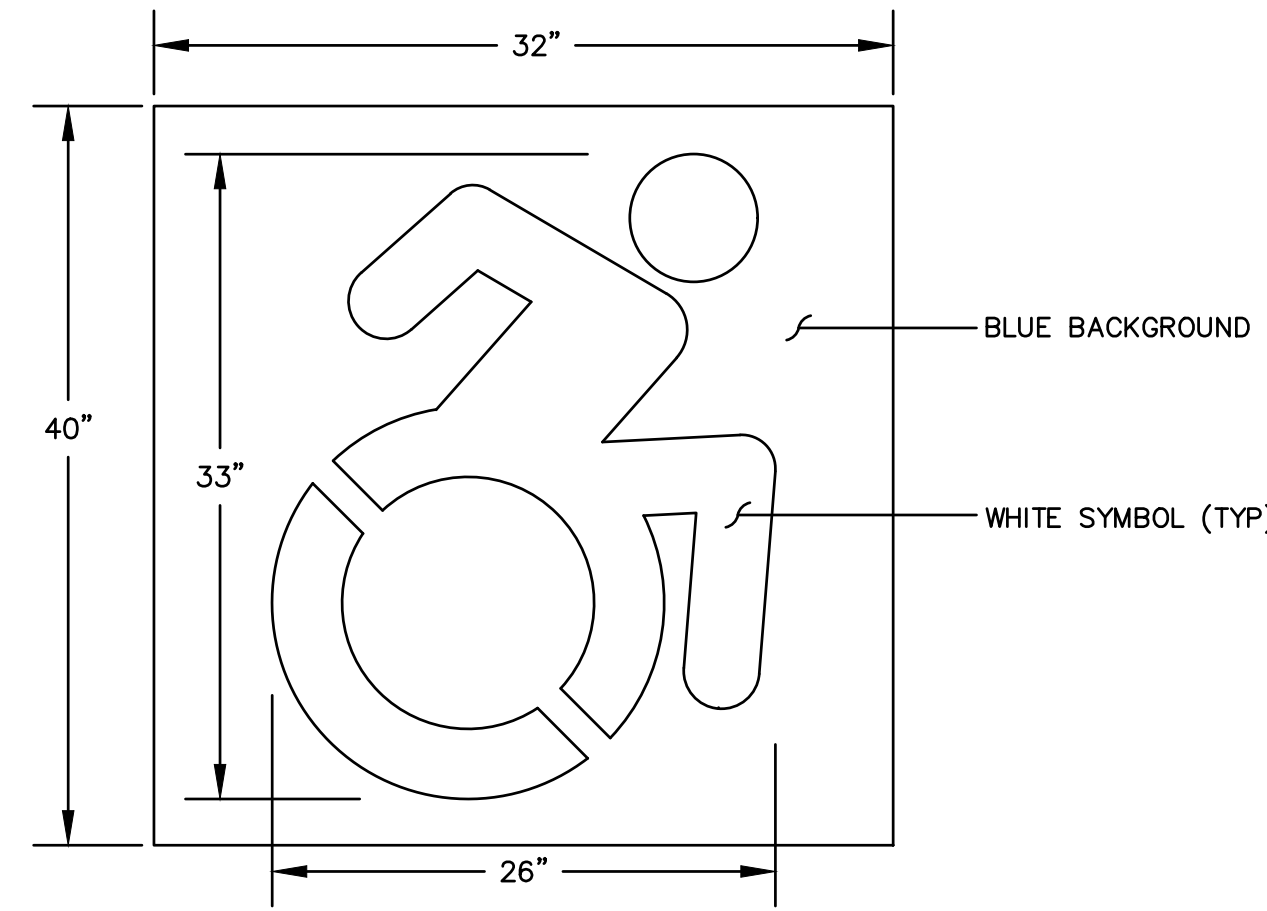
04/21/2026 11:57:54 AM J:\08523\2502197\DWG\C2502197-15.DWG:CL150 2X36 40SC

© 2026 BL COMPANIES, INC. THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES.



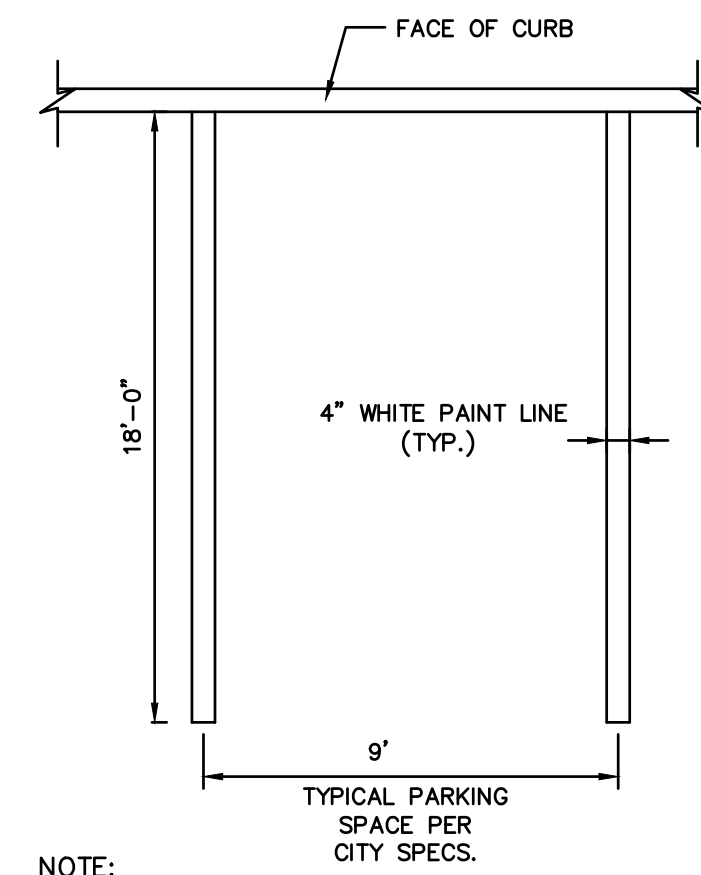
NOTES:
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATIONS.
2. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.

TYPICAL ACCESSIBLE PARKING SPACE AND RAMP DETAIL
N.T.S. BLPC-004



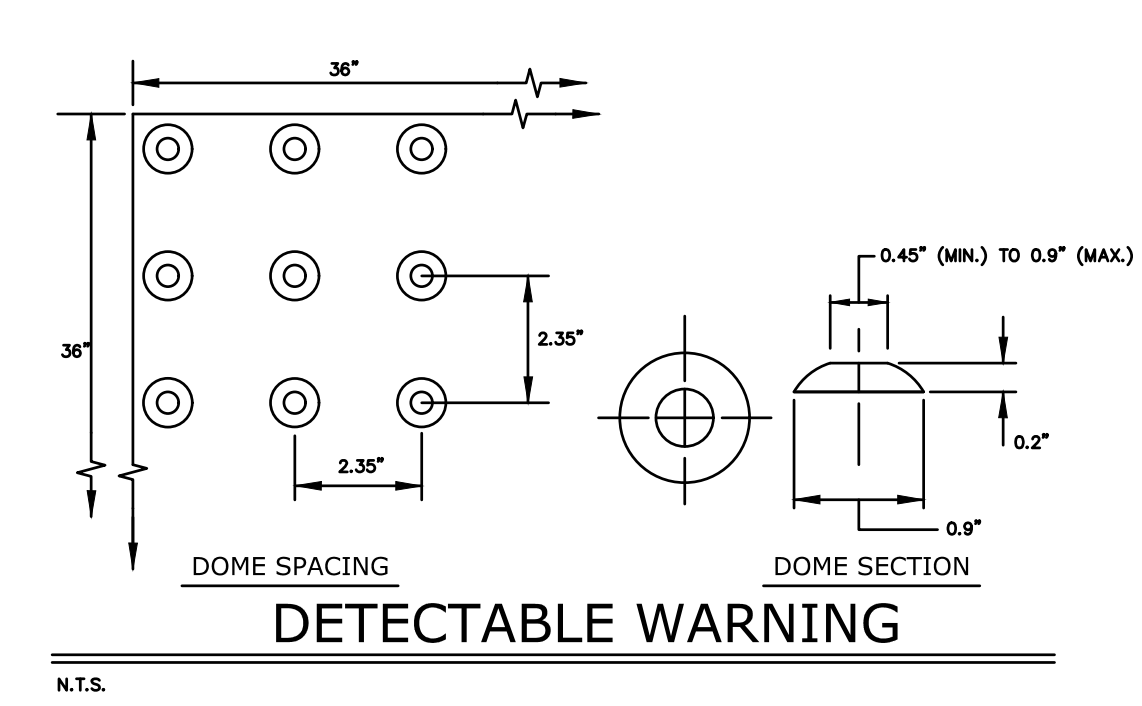
NOTE: HANDICAP SYMBOL TO ADHERE TO STATE BUILDING CODE, LATEST EDITION

CONNECTICUT SYMBOL OF ACCESSIBILITY
N.T.S.

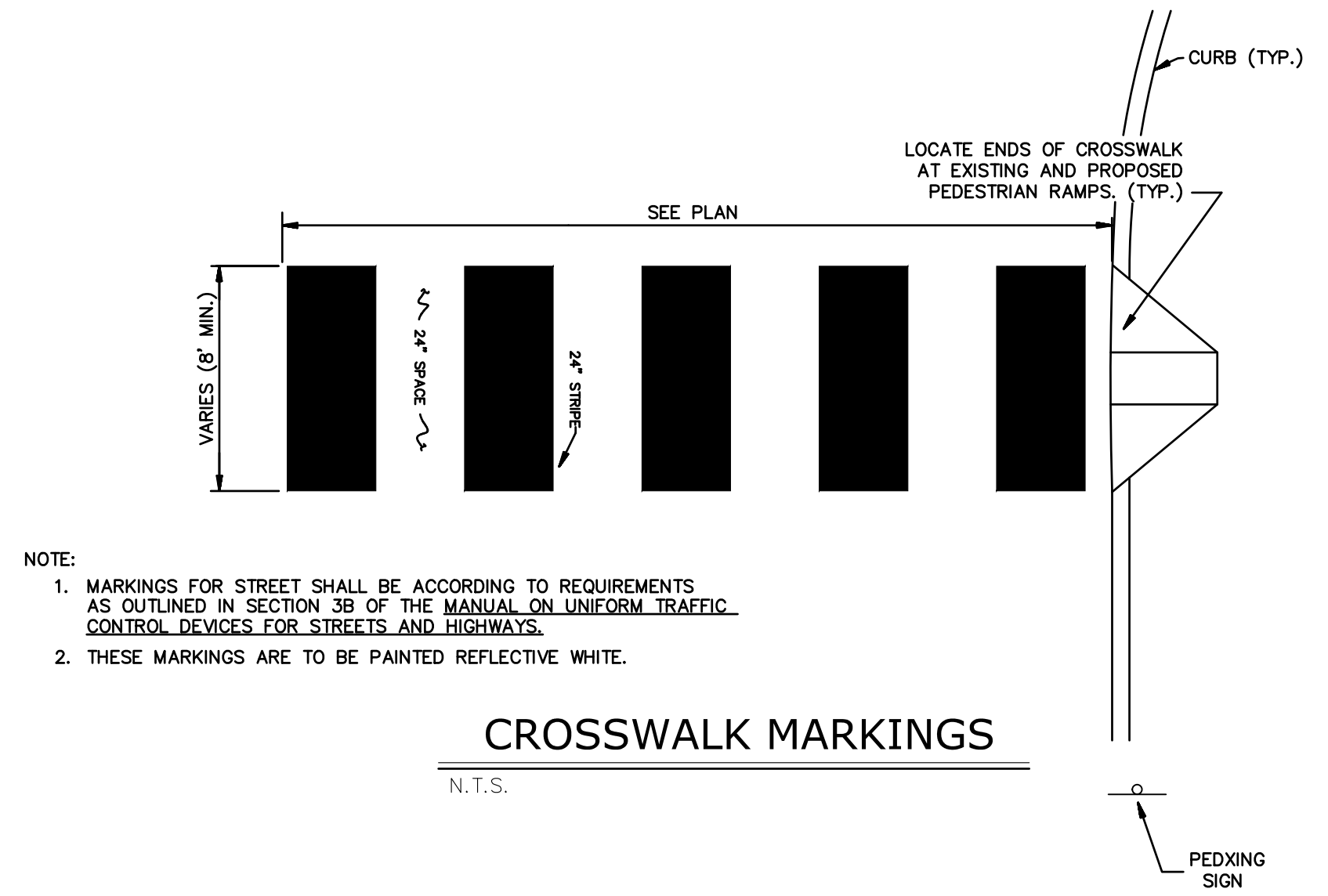


NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

TYPICAL PARKING SPACE DETAIL
N.T.S. BLPC-003

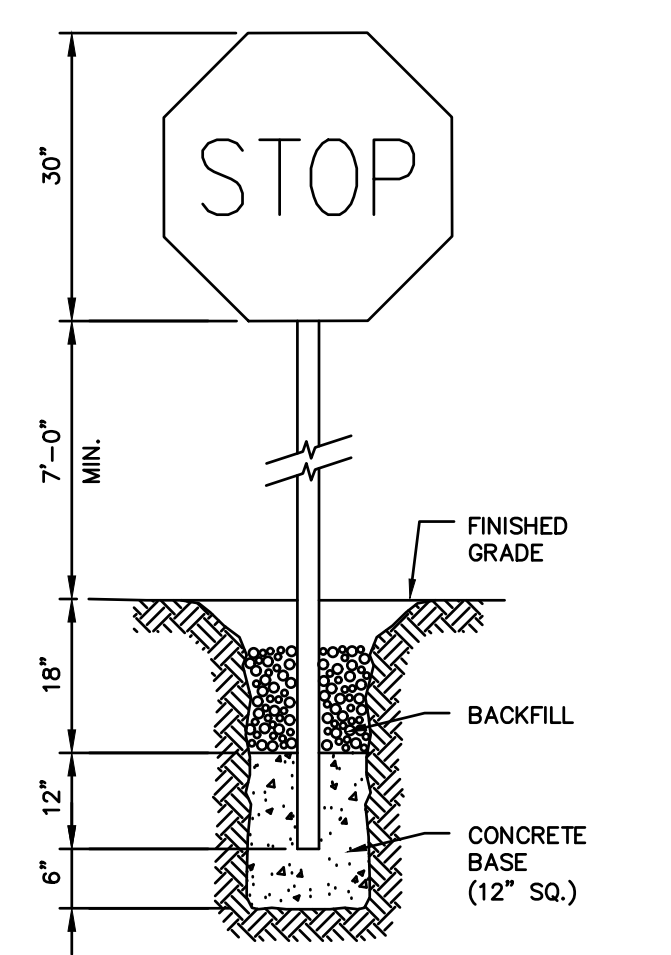


N.T.S.



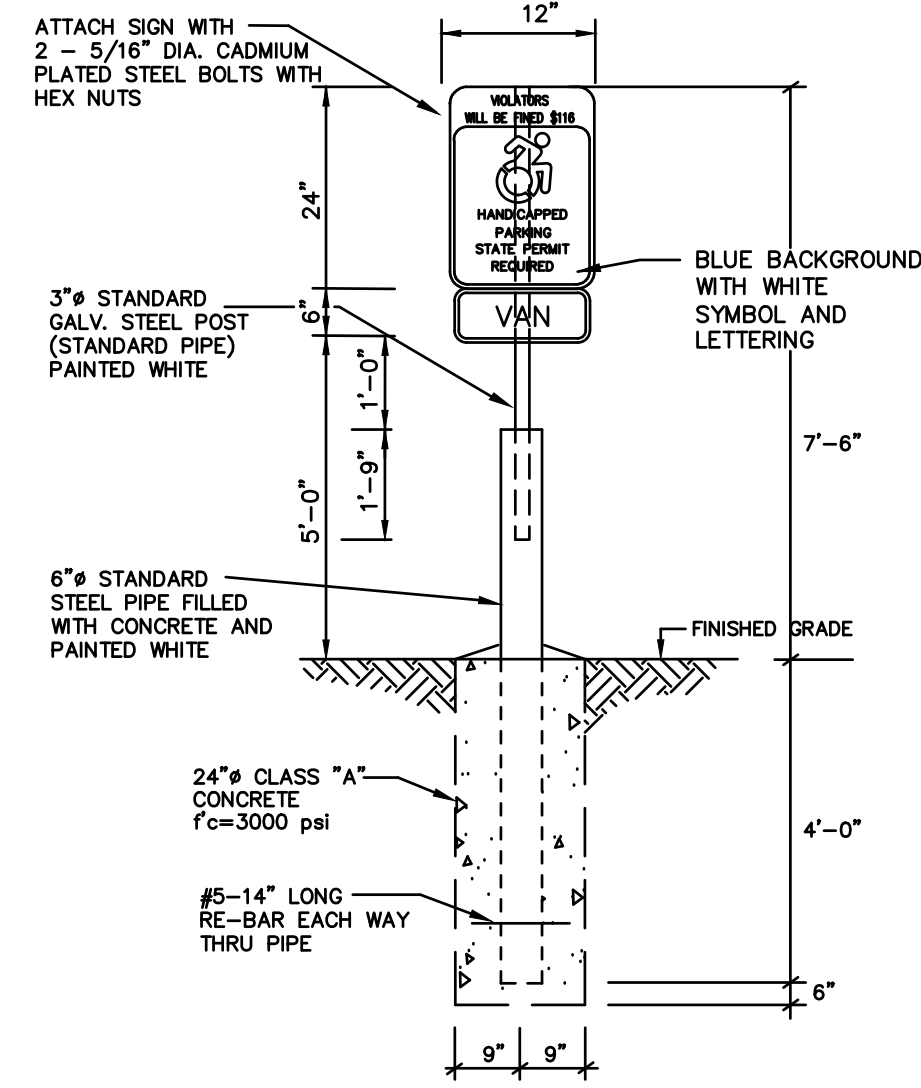
NOTE:
1. MARKINGS FOR STREET SHALL BE ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 303 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

CROSSWALK MARKINGS
N.T.S.

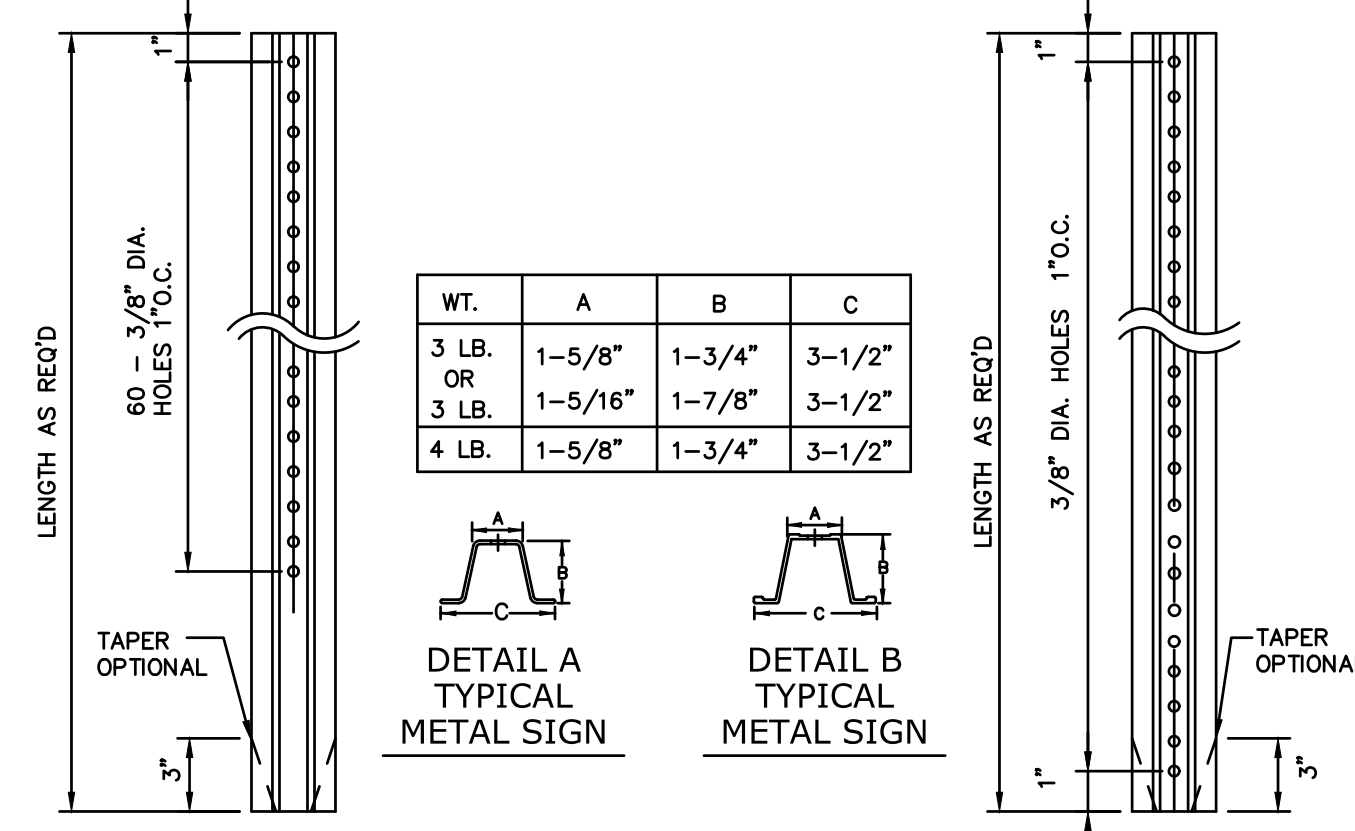


NOTE: CONSTRUCT SIGN IN ACCORDANCE WITH DOT SPECIFICATIONS.

STOP SIGN
N.T.S. BLS0-002



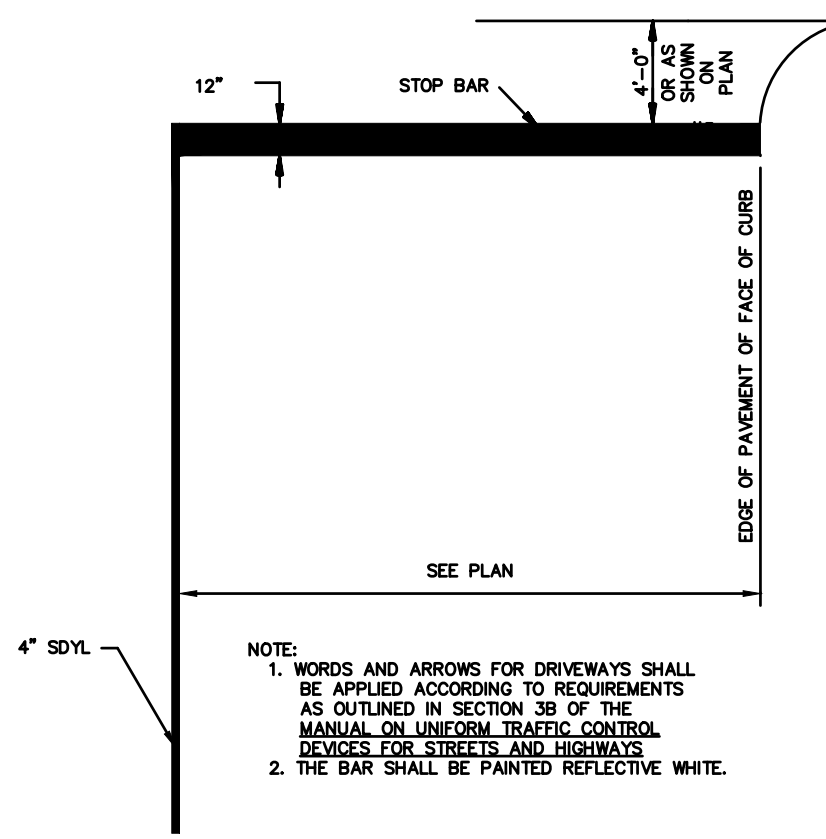
HANDICAP SIGN BOLLARD DETAIL
N.T.S.



DETAIL A HOLE LOCATION
DETAIL B HOLE LOCATION

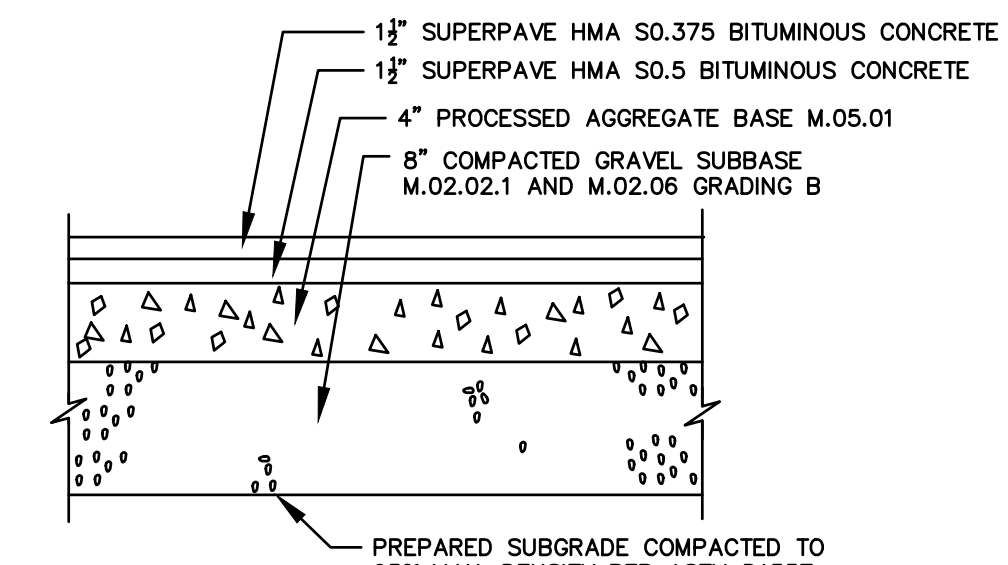
NOTES:
STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 80 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A-76 CARBON STEEL, TEE RAIL HAVING NOMINAL WEIGHT OF "91 LBS OR GREATER PER LINEAR YARD.
AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.
SIGN MOUNTING HEIGHT TO BE APPROVED BY THE ENGINEER.
ALL SIGNS IN STATE ROW TO MEET CTDOT SPECIFICATIONS FOR BREAKAWAY SIGNS. SEE CTDOT STANDARD DETAIL SHEET "TYPICAL METAL SIGN POSTS AND SIGN MOUNTING DETAILS" AND CTDOT FORM 817

TYPICAL METAL SIGN POSTS
N.T.S. BLS0-001

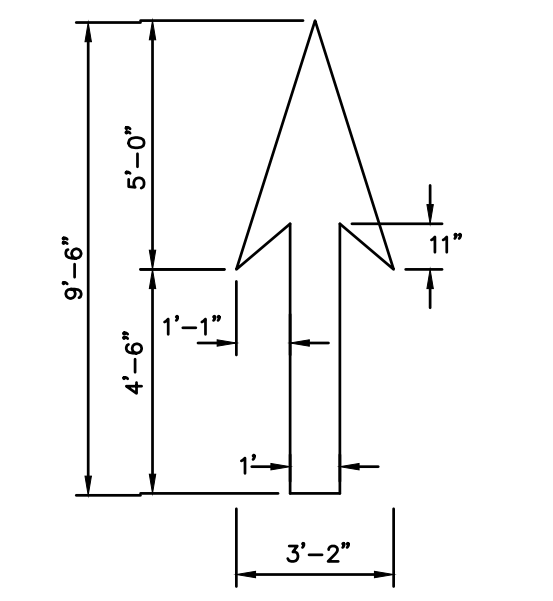


NOTE:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 303 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THE BAR SHALL BE PAINTED REFLECTIVE WHITE.

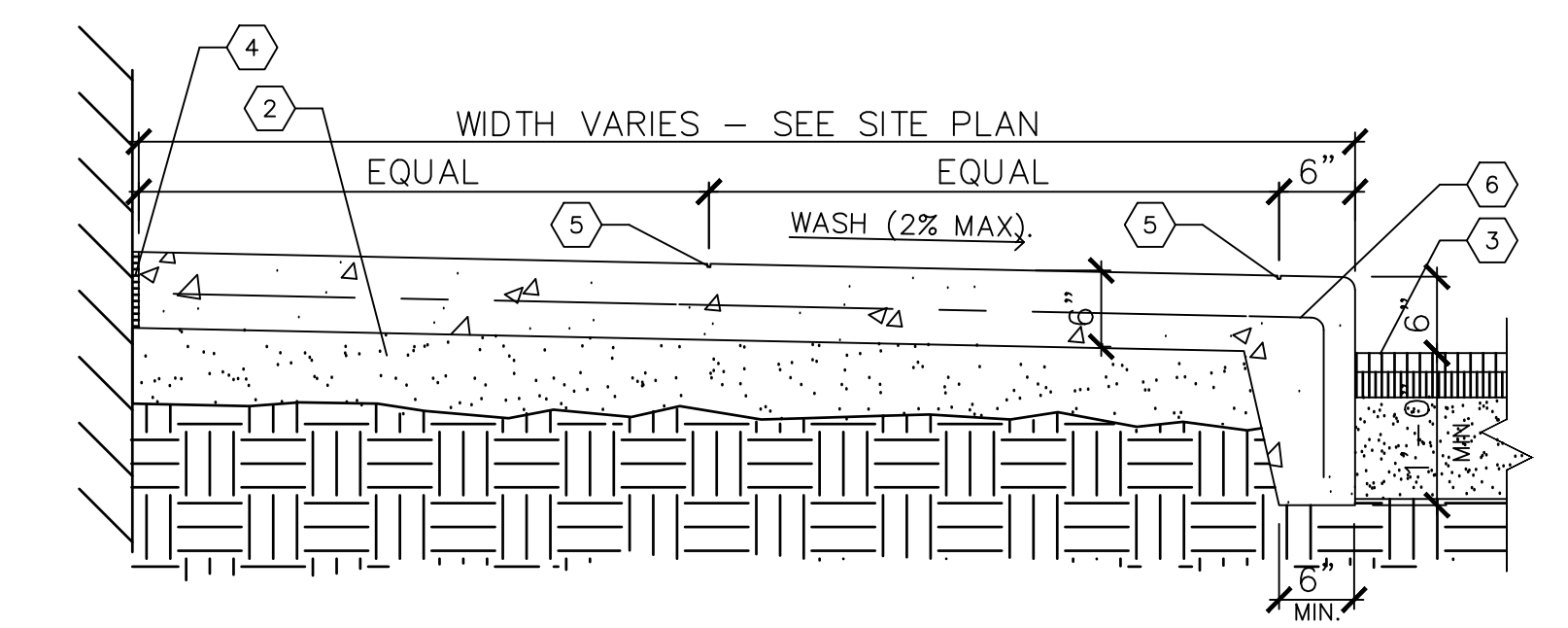
STOP BAR PAVEMENT MARKING
N.T.S.



STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT ON SITE
N.T.S. CTPC-006

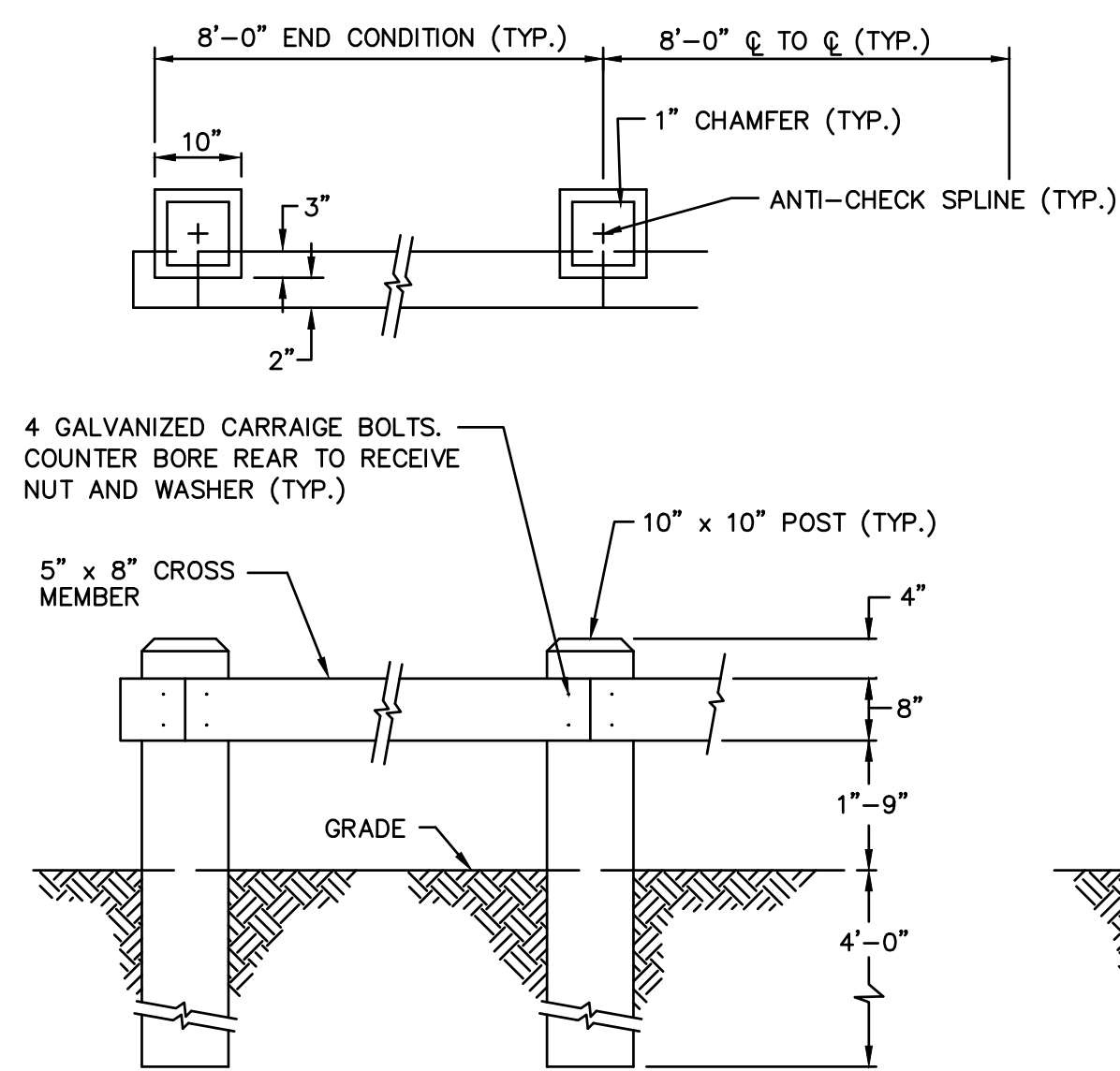


PAVEMENT ARROW DETAIL
N.T.S. BLPC-006



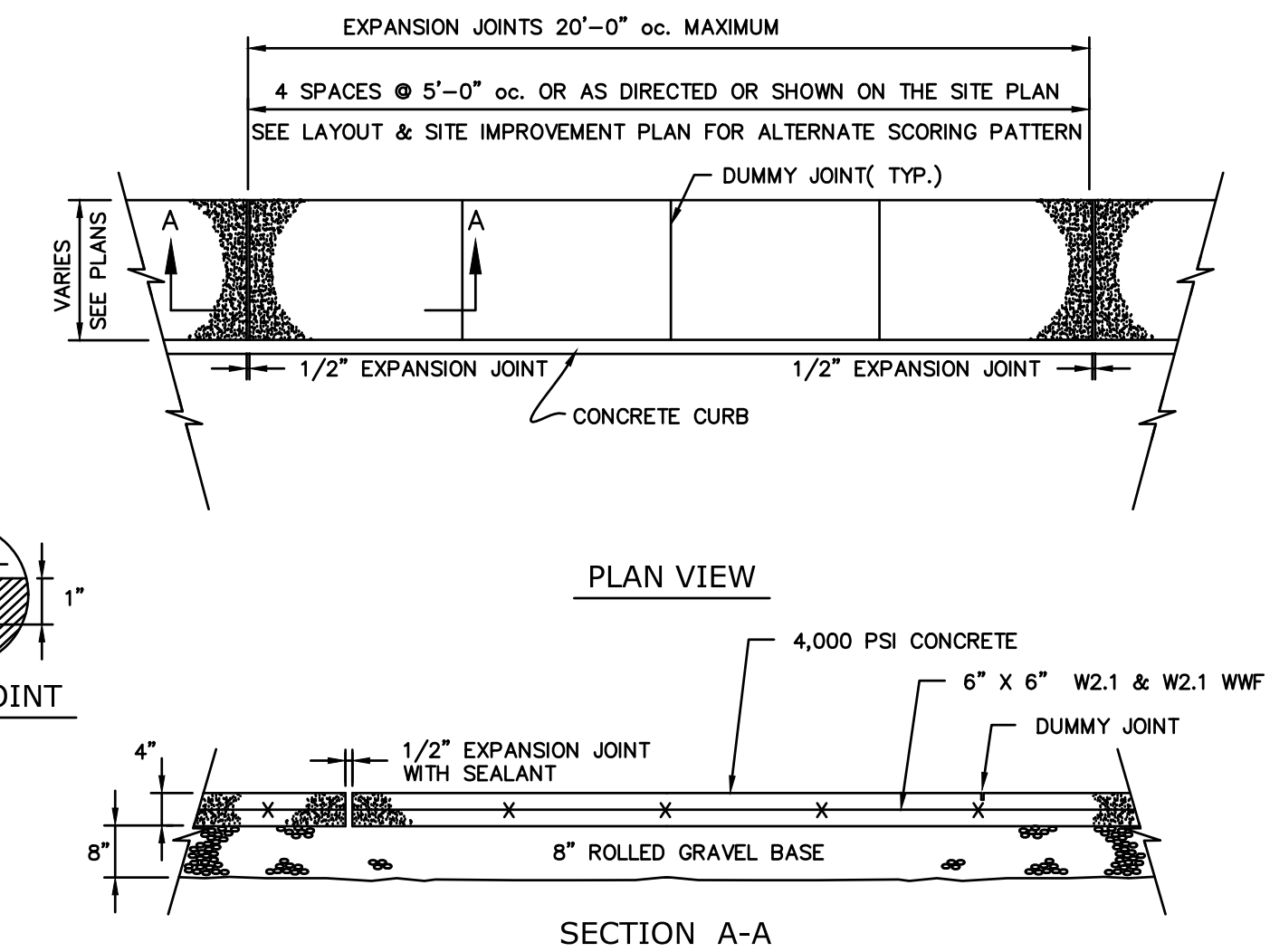
KEYED NOTES:
1 N/A
2 4" COMPACTED AGGREGATE BASE
3 PAVEMENT.
4 COMPRESSIBLE FILLER (3/4" MAXIMUM). CUT BACK AND PROVIDE SEALANT, TYPICAL, AT ALL JOINTS WITH FILLER.
5 1/4" TOOLED JOINT
6 6" X 6" #10 W.W.F.
NOTE: EXPANSION JOINT 20' O.C. MAXIMUM. 1/4" TOOL JOINT 4' O.C. OR AS DIRECTED. CONCRETE TO BE 4000 P.S.I.

MONOLITHIC CONCRETE CURB AND SIDEWALK DETAIL
N.T.S. WAG



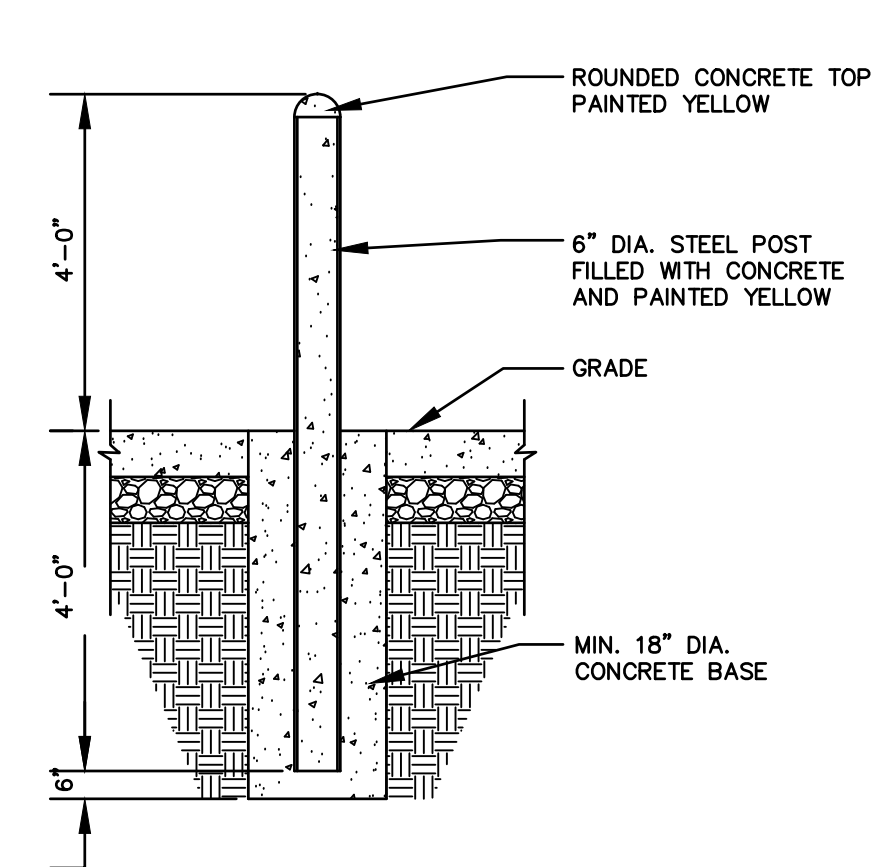
NOTE:
1. ALL TIMBER TO BE PRESSURE TREATED CCA=40 PCF SOUTHERN YELLOW PINE.

TIMBER RAIL
N.T.S. BLGR-002



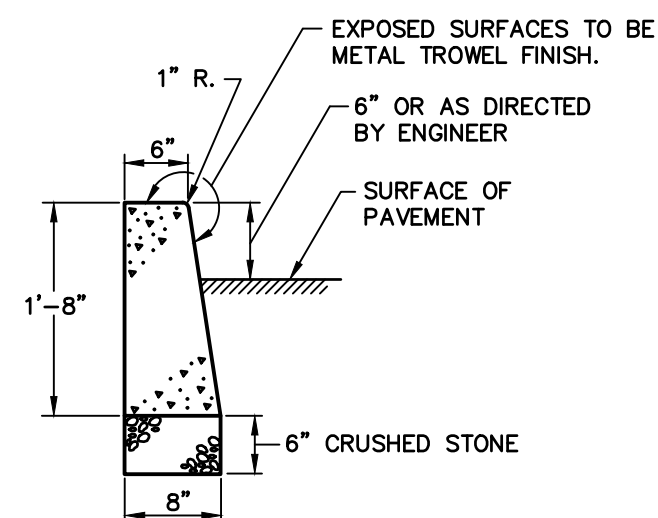
CONCRETE SIDEWALK DETAIL
N.T.S. BLSR-001

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



PROTECTIVE POST (BOLLARD) DETAIL

N.T.S. BLSE-005



- NOTES:**
- CONSTRUCTION JOINTS SHALL BE SPACED APPROXIMATELY EVERY 10 FEET BUT NOT LESS THAN 6 FEET. 1/4\"
 - FORMWORK SHALL REMAIN IN PLACE FOR 24 HOURS FOLLOWING CONCRETE POURING.

CONCRETE CURB DETAIL

N.T.S. ZPC-014

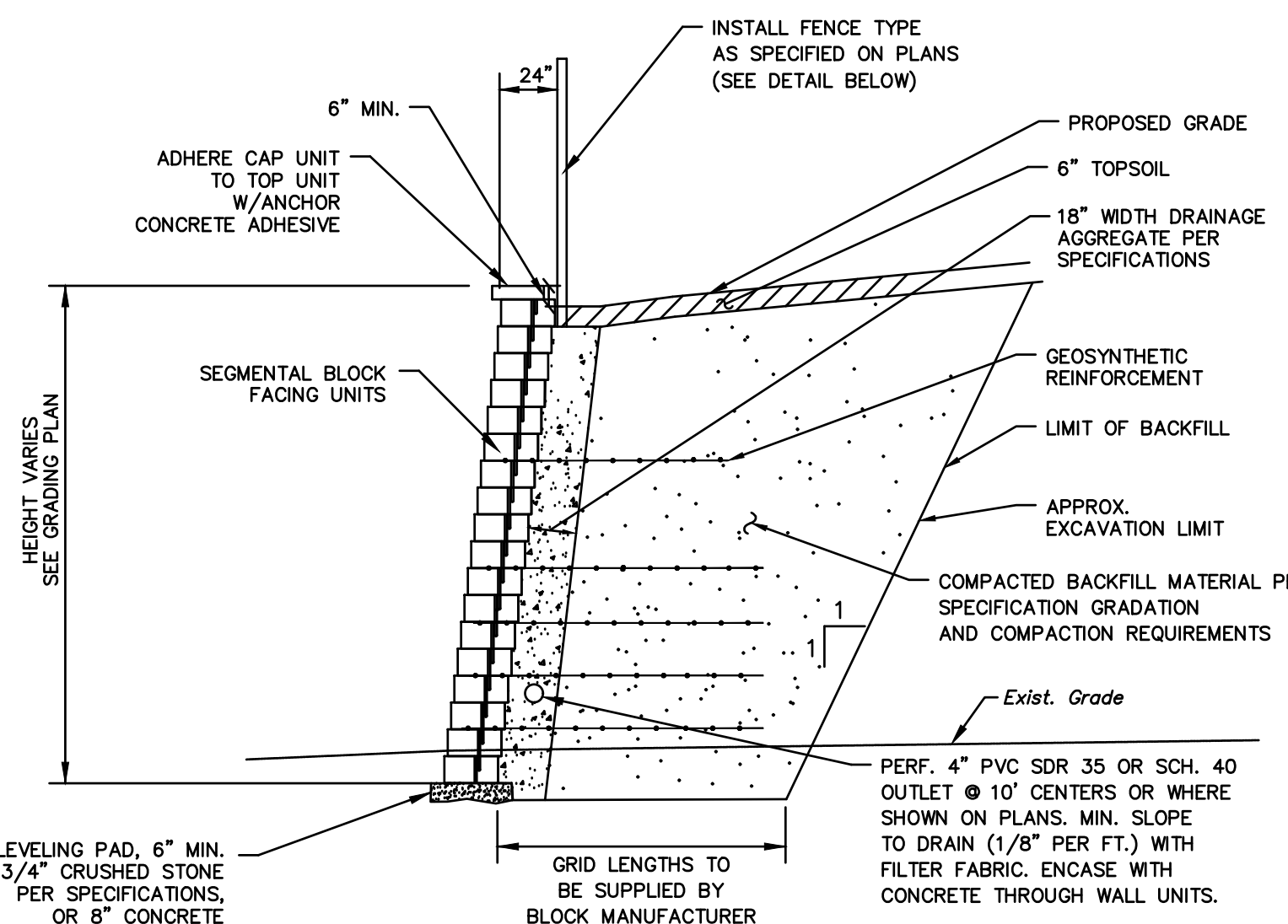
GENERAL NOTES

- STRIP ALL VEGETATION AND ORGANIC SOIL FROM THE WALL AND GRID ALIGNMENT.
- BENCH CUT ALL EXCAVATED SLOPES.
- DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE SOIL ENGINEER TO REMOVE UNSUITABLE SOIL.
- SITE SOIL ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.
- LEVELING PAD SHALL CONSIST OF 3/4\"
- MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 24\"
- FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURERS INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
- WHERE DRAIN PIPE IS USED, PROVIDE OUTLETS AS SHOWN ON WALL ELEVATIONS.
- COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE SITE SOILS ENGINEER, OR AS INDICATED IN THE SPECIFICATION.
- COMPACTION SHALL BE 95% OF MAXIMUM DRY DENSITY PER ASTM D1557.
- GEOGRID SHALL BE PER BLOCK MANUFACTURER'S DESIGN ON SHOP DRAWINGS.
- PULL GEOGRID TIGHT PRIOR TO BACK FILLING. LENGTH OF GEOGRID SHALL BE MEASURED FROM FRONT OF SEGMENTAL CONCRETE UNITS.
- PROVIDE LATERAL DRAINAGE SWALES TO DIRECT FLOWS AROUND THE ENDS OF THE WALL.
- ESTABLISH TURF AS SOON AS THE WALL IS COMPLETED.
- FINAL WALL ALIGNMENT SHALL BE LOCATED IN THE FIELD.
- REINFORCED BACK FILL REQUIREMENTS FOR THE SEGMENTAL CONCRETE RETAINING WALL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

| SIEVE SIZE | PERCENT PASSING REINFORCED BACK FILL |
|------------|--------------------------------------|
| 5 INCH | 100 |
| 3-1/2 INCH | 90-100 |
| 1-1/2 INCH | 55-95 |
| 1/4 INCH | 25-60 |
| NO. 10 | 15-45 |
| NO. 40 | 5-25 |
| NO. 100 | 0-10 |
| NO. 200 | 0-5 |

PLASTICITY INDEX (PI) LESS THAN OR EQUAL TO 10 AND A LIQUID LIMIT LESS THAN OR EQUAL TO 40. REINFORCED BACK FILL SHALL BE PLACED AND COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES. REINFORCED BACK FILL SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D1557. THE MOISTURE CONTENT OF THE BACK FILL MATERIAL PRIOR TO AND DURING COMPACTION SHALL BE WITHIN 2 PERCENTAGE POINTS OF DRY OPTIMUM.

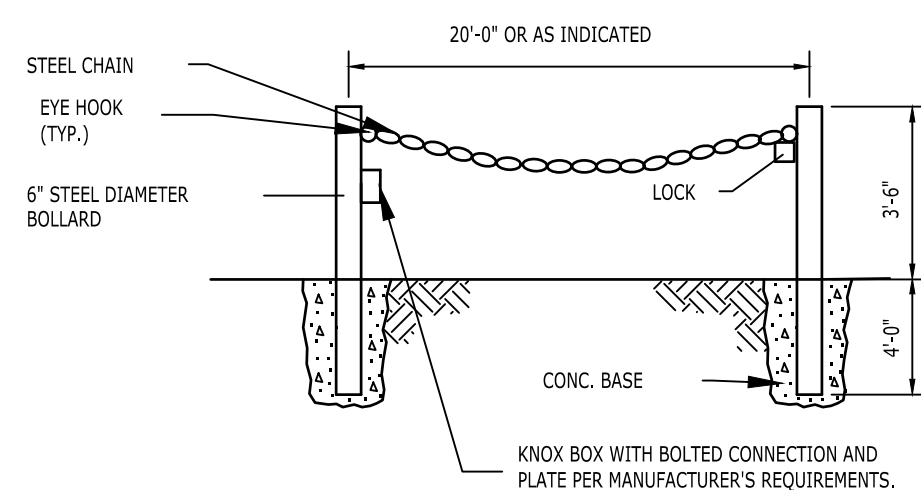
IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.



- NOTE:**
- BLOCK MANUFACTURER TO SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR RETAINING WALLS PRIOR TO CONSTRUCTION BY CONNECTICUT LICENSED PROFESSIONAL ENGINEER.
 - WALL DRAIN TO BE DISCHARGED PER MANUFACTURER'S RECOMMENDATIONS.

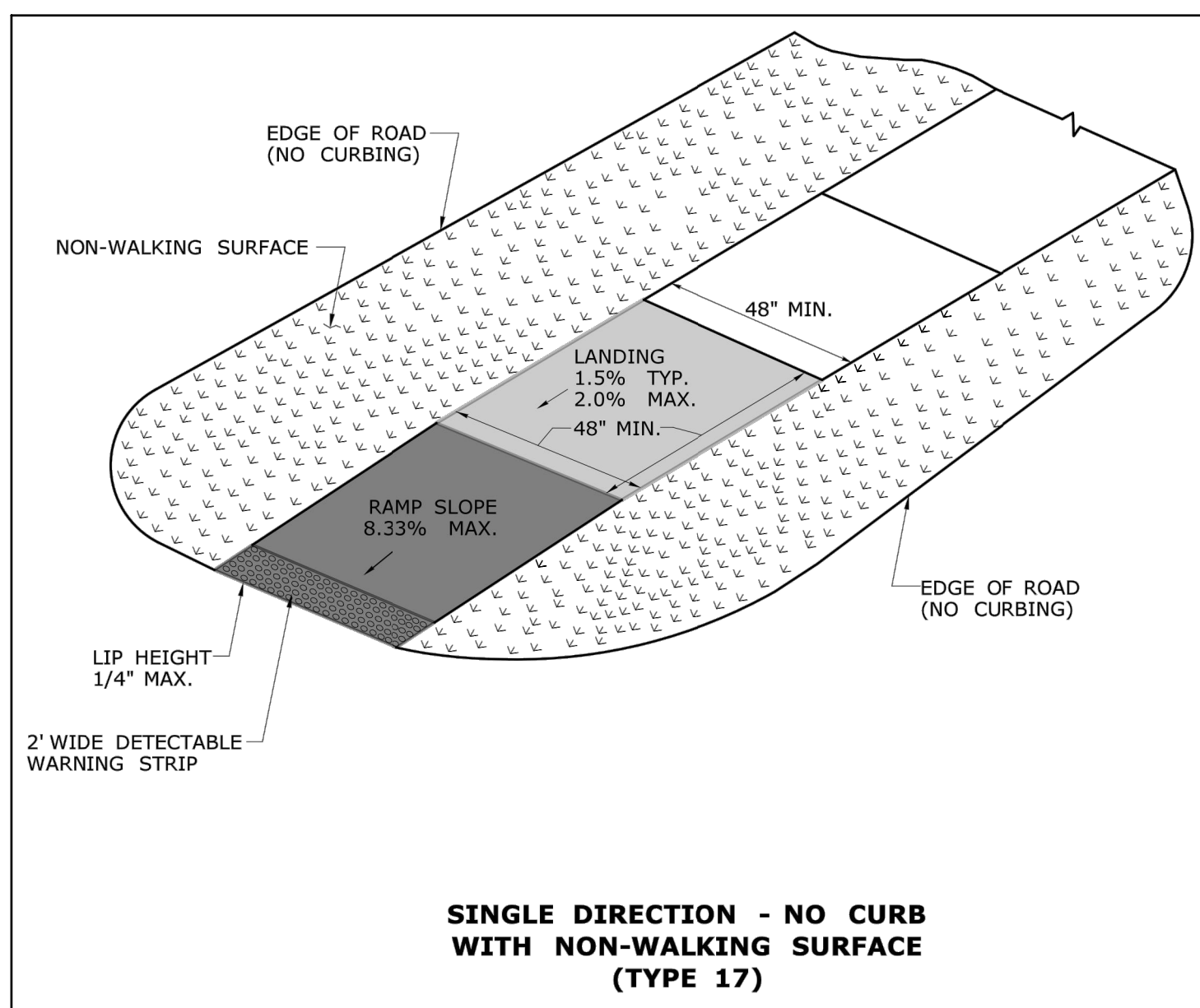
TYPICAL RETAINING WALL SECTION

N.T.S.

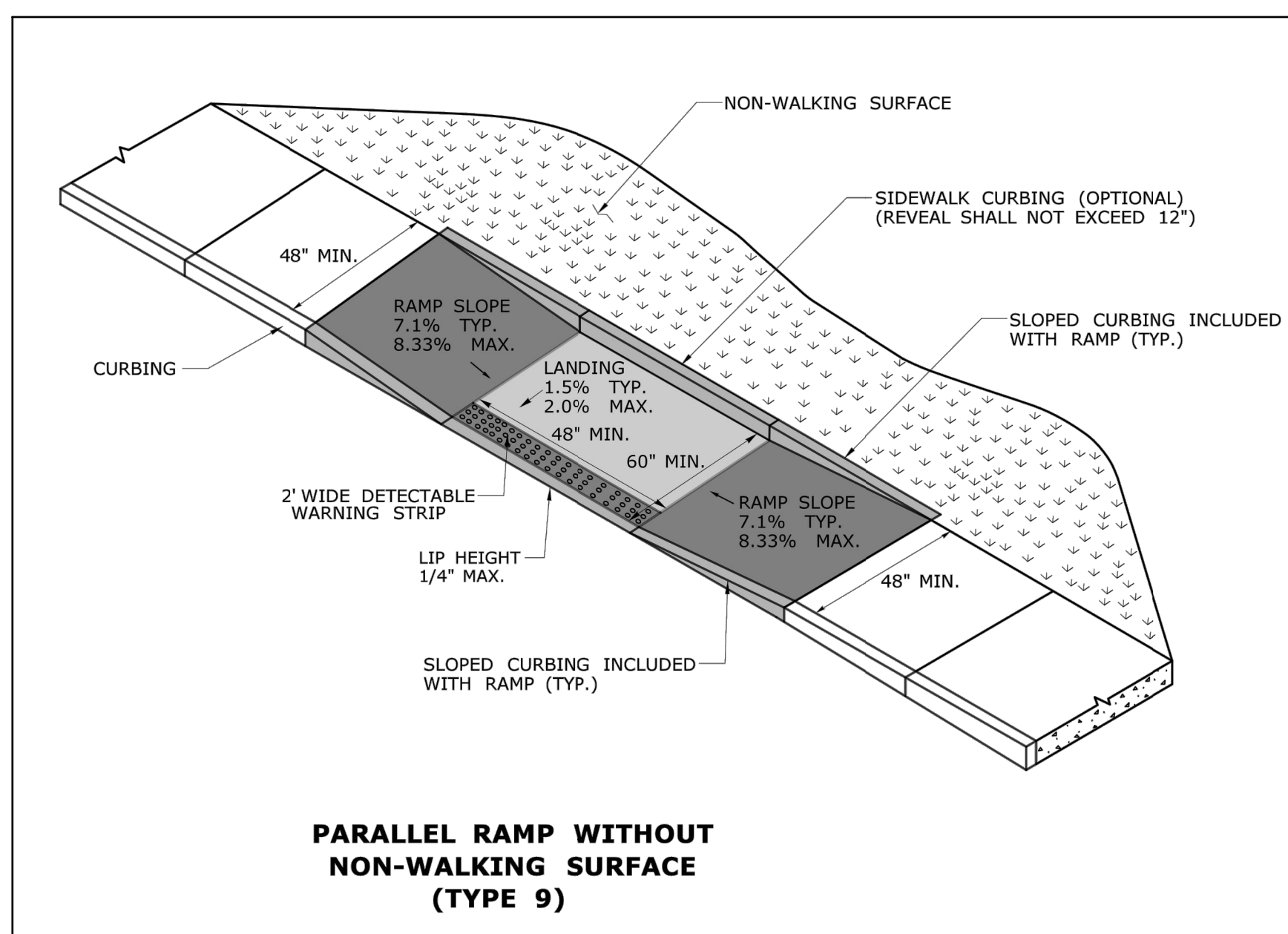


CHAIN GATE DETAIL

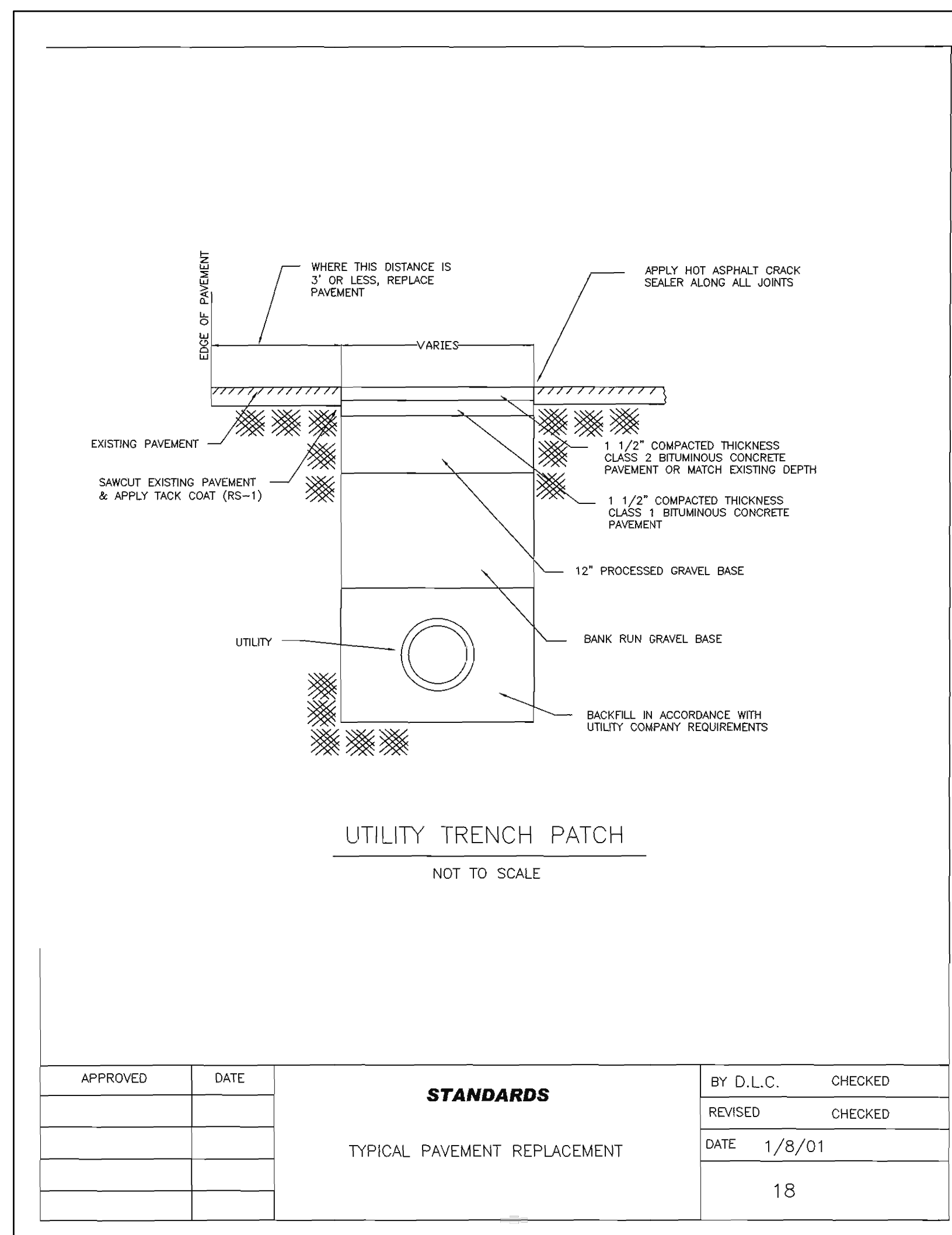
N.T.S. BLFD-002



SINGLE DIRECTION - NO CURB WITH NON-WALKING SURFACE (TYPE 17)

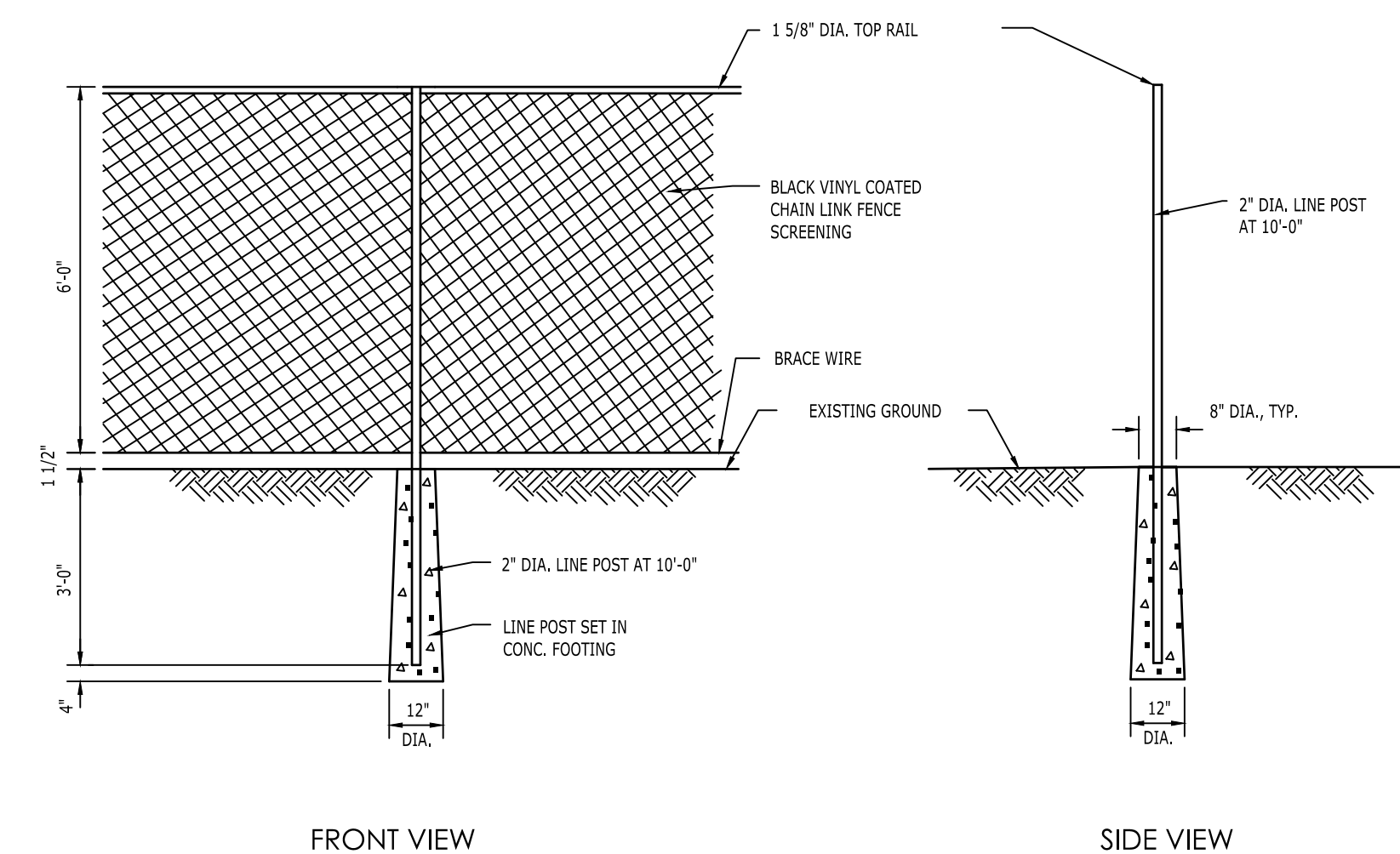


PARALLEL RAMP WITHOUT NON-WALKING SURFACE (TYPE 9)



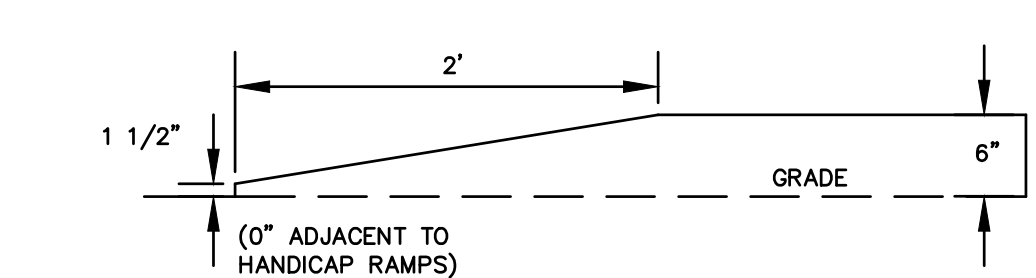
UTILITY TRENCH PATCH
NOT TO SCALE

| APPROVED | DATE | STANDARDS | BY D.L.C. | CHECKED |
|----------|------|------------------------------|-----------|---------|
| | | TYPICAL PAVEMENT REPLACEMENT | | |
| | | | REVISED | CHECKED |
| | | | DATE | 1/8/01 |
| | | | | 18 |



BLACK VINYL COATED CHAIN LINK FENCE DETAIL

N.T.S. BLFD-001



TRANSITION CURB

N.T.S.

REVISIONS

| No. | Date | Description |
|-----|------------|---|
| 1 | 04/27/2026 | REVISED GRADING AND DRAINAGE PER GEOTECHNICAL TESTING |
| 2 | 05/07/2026 | REVISED UTILITY PLAN & PER ENGINEERING COMMENTS |

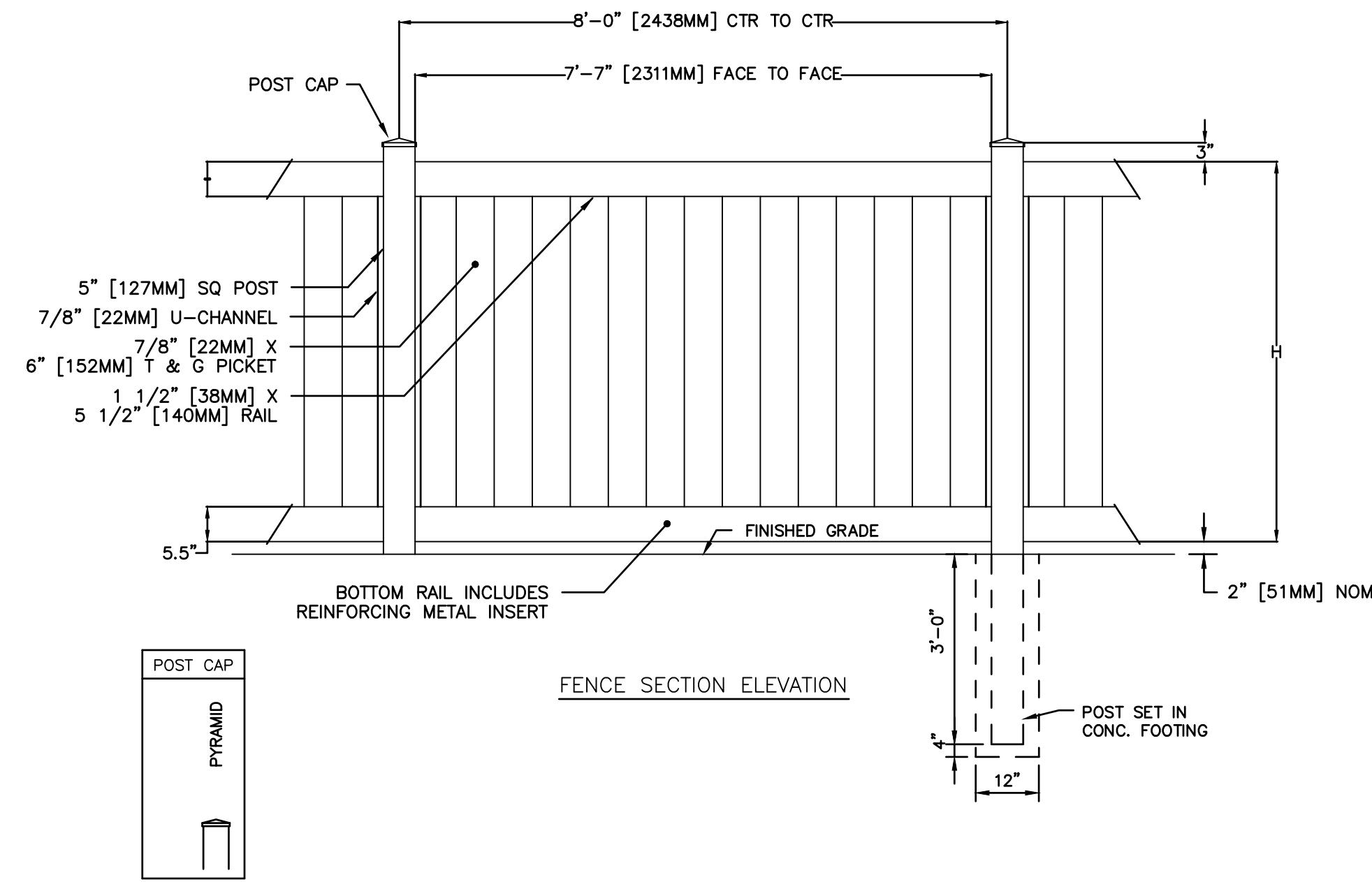
| | |
|-------------|--------------|
| Designed | M.A.G. |
| Drawn | M.A.G. |
| Reviewed | R.M.R. |
| Scale | NONE |
| Project No. | 2502197 |
| Date | 04/01/2026 |
| CAD File: | C2502197-110 |

Title
SITE DETAILS

Sheet No.

C1.101

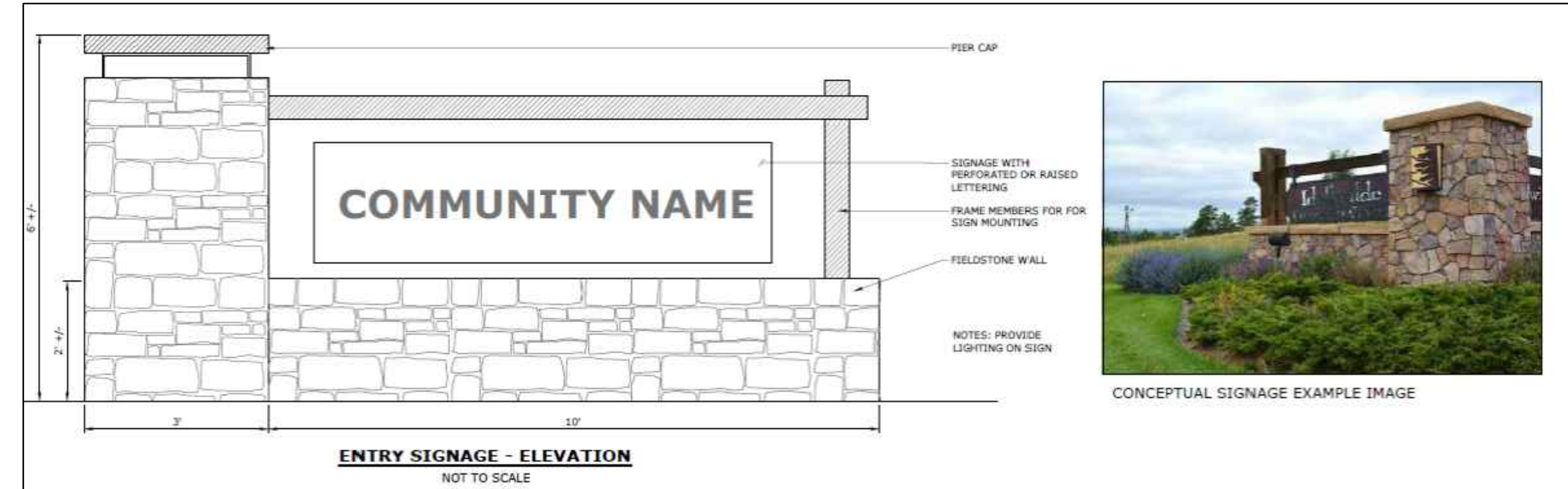
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NOTES: 1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
2. FOOTING WIDTH TO BE (2)x POST WIDTH. MINIMUM DEPTH 30" [762MM].

**6' HIGH VINYL
PRIVACY FENCE DETAIL**

N.T.S.

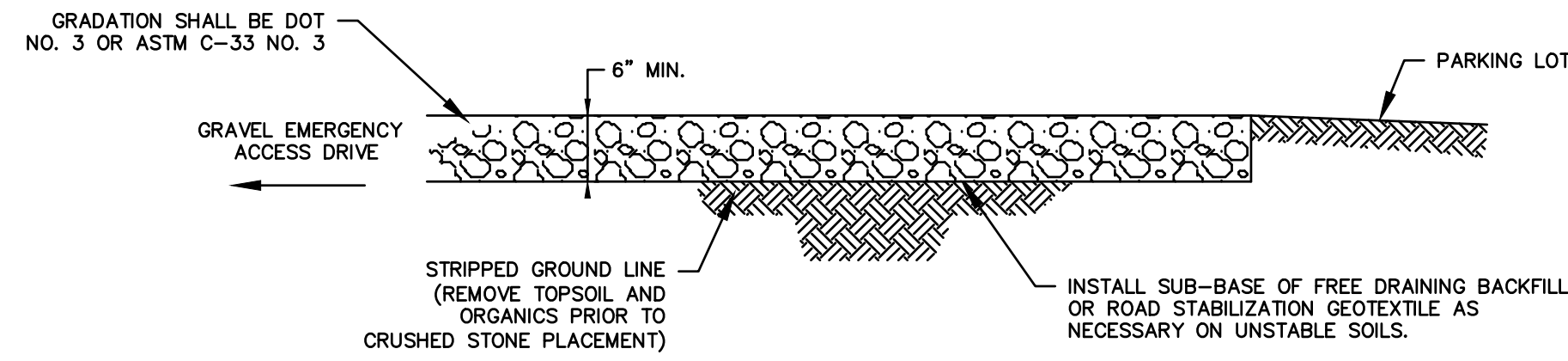


ENTRY SIGNAGE - ELEVATION

NOT TO SCALE

ENTRY SIGNAGE DETAIL

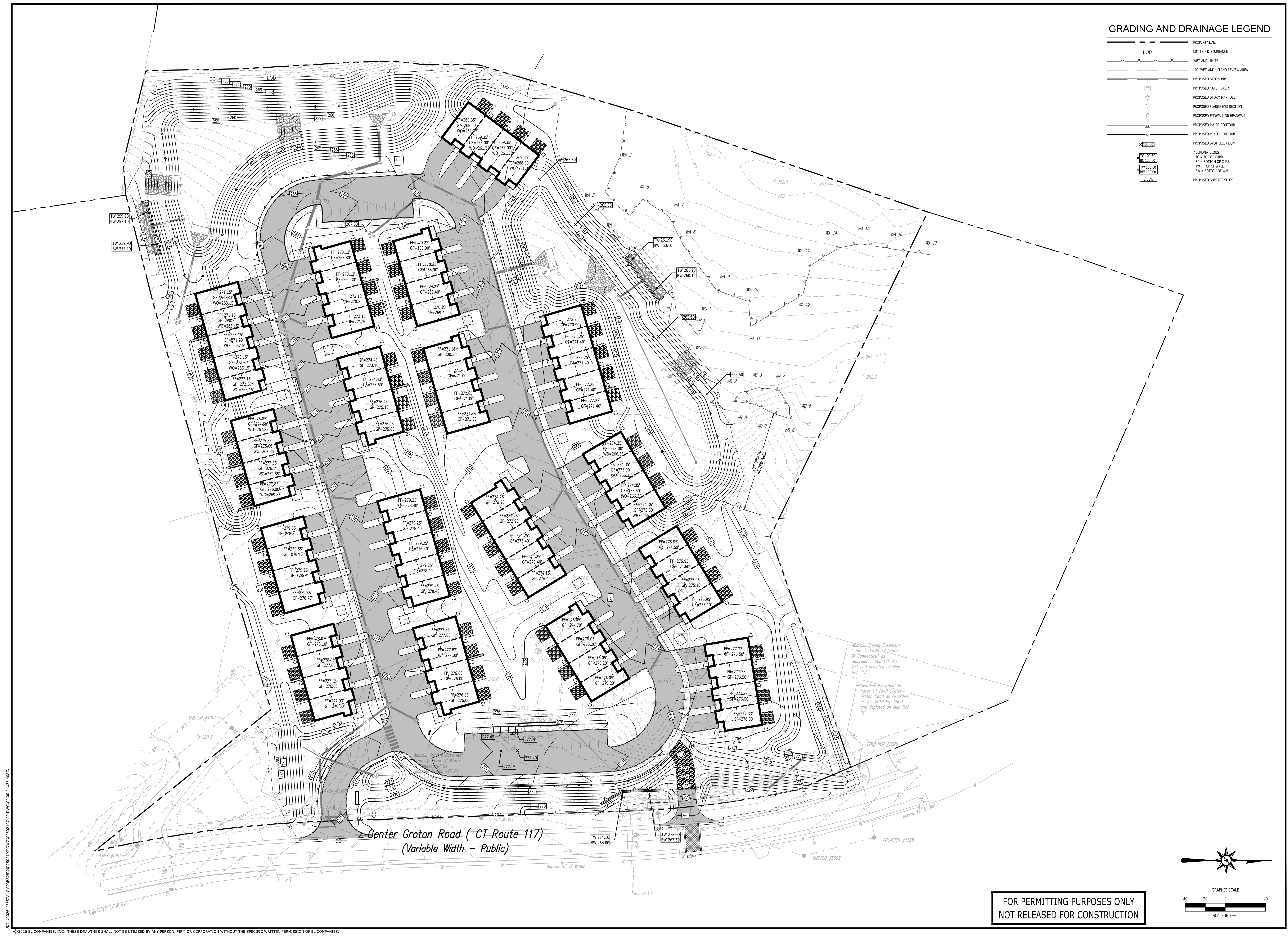
N.T.S.



18' WIDE GRAVEL EMERGENCY ACCESS DRIVE

N.T.S.

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GRADING AND DRAINAGE LEGEND

- PROPERTY LINE
 - LOD
 - WETLAND LIMITS
 - 100' WETLAND UPLAND REVIEW AREA
 - PROPOSED STORM PIPE
 - PROPOSED CATCH BASIN
 - PROPOSED STORM MANHOLE
 - ◇ PROPOSED FLARED END SECTION
 - PROPOSED ENDWALL OR HEADWALL
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED SPOT ELEVATION
- ABBREVIATIONS
 TC = TOP OF CURB
 BC = BOTTOM OF CURB
 TW = TOP OF WALL
 BW = BOTTOM OF WALL
- PROPOSED SURFACE SLOPE
 2.00%

**PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT
 1947 CENTER GROTON ROAD
 LEDYARD, CT 06339**

REVISIONS
 No. 1 2 3
 Date: 04/22/2026
 05/04/2026
 05/21/2026

DESC: REVISED GRADING AND DRAINAGE PER GEOTECHNICAL TESTING
 REVISED PER GROTON UTILITIES COMMENTS
 REVISED UTILITY PLAN & PER ENGINEERING COMMENTS

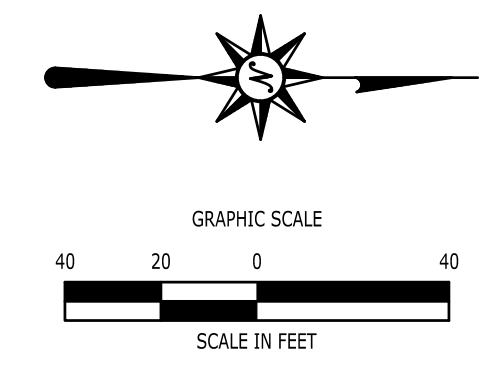
Designed A.S.
 Drawn A.S.
 Reviewed R.M.R.
 Scale 1"=40'
 Project No. 2502197
 Date 04/01/2026
 CAD File: C2502197-20

GRADING PLAN

Sheet No.

C2.00

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5/21/2026, 11:57:24 AM, C:\Users\jstest\OneDrive\Documents\C2502197-20\DWG\C2502197-20.DWG, C2.00, 24x36, 40SC



**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1947 CENTER GROTON ROAD
LEDYARD, CT 06339

REVISIONS
Date: 04/22/2026
Revised: 05/04/2026
Revised: 05/21/2026

Designed: T.R.
Drawn: T.R.
Reviewed: R.M.R.
Scale: 1"=40'
Project No: 2502197
Date: 04/01/2026

CAD File: C2502197-25
Title: DRAINAGE PLAN

Sheet No.

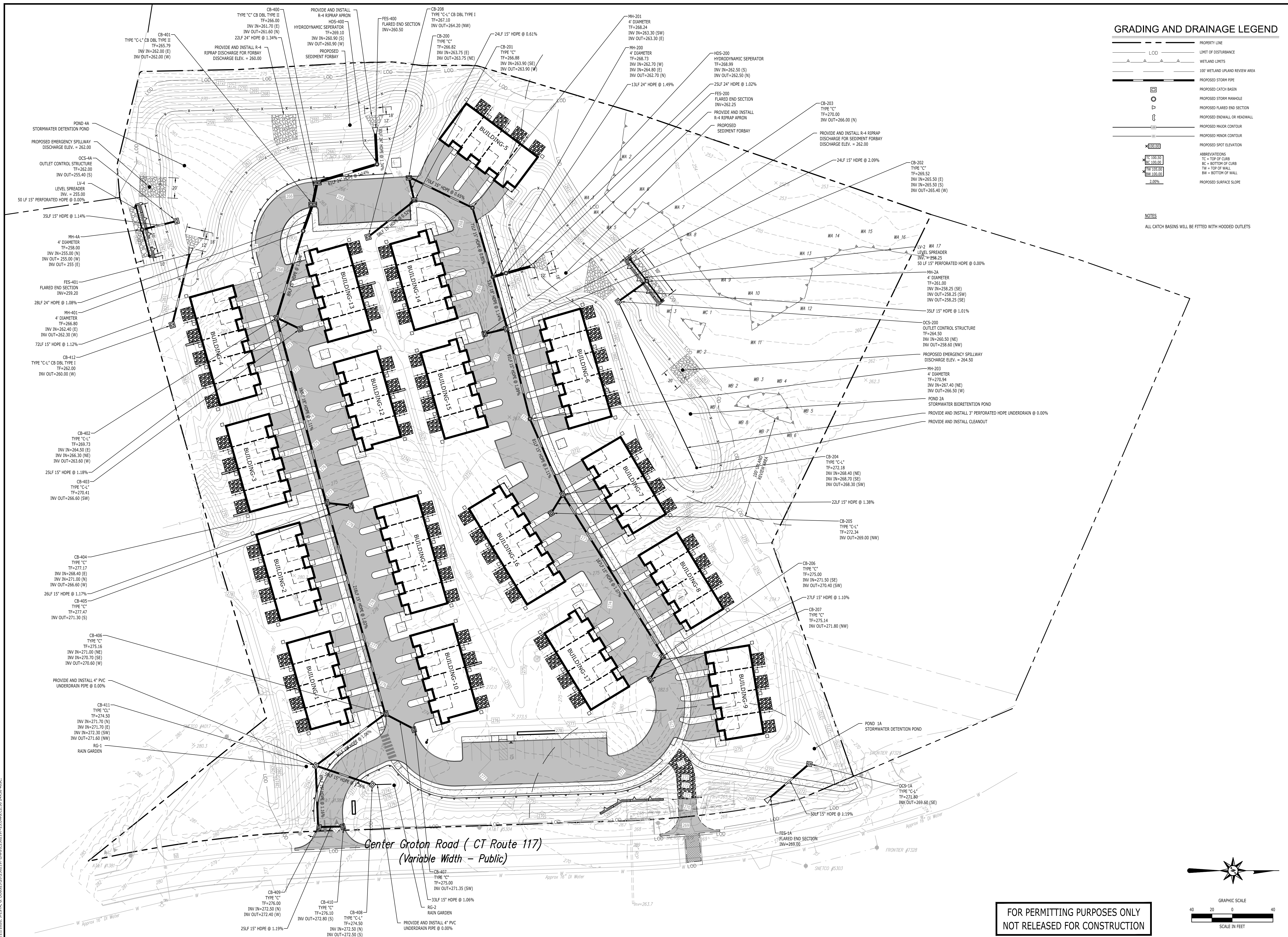
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GRADING AND DRAINAGE LEGEND

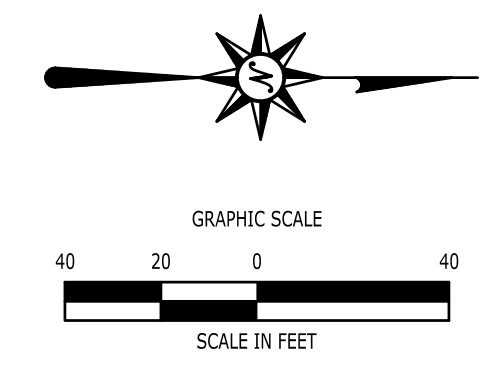
- PROPERTY LINE
- L.O.D. LIMIT OF DISTURBANCE
- WETLAND LIMITS
- 100' WETLAND UPLAND REVIEW AREA
- PROPOSED STORM PIPE
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED FLARED END SECTION
- PROPOSED ENDWALL OR HEADWALL
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEVATION
- ABBREVIATIONS
TC = TOP OF CURB
BC = BOTTOM OF CURB
TW = TOP OF WALL
BW = BOTTOM OF WALL
- PROPOSED SURFACE SLOPE

NOTES

ALL CATCH BASINS WILL BE FITTED WITH HOODED OUTLETS

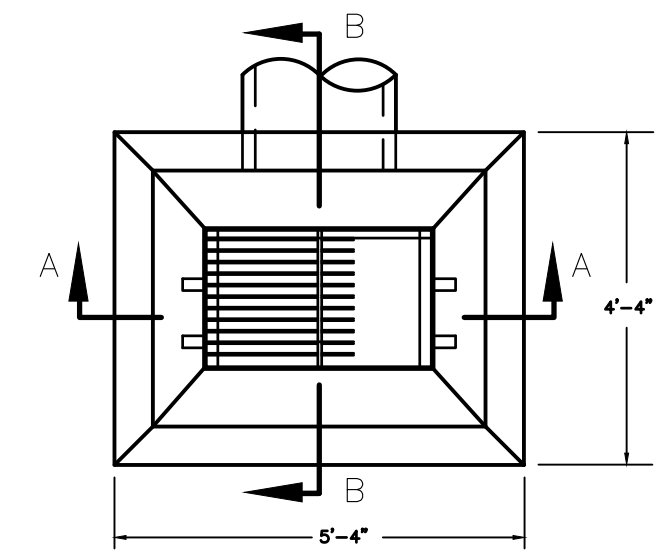
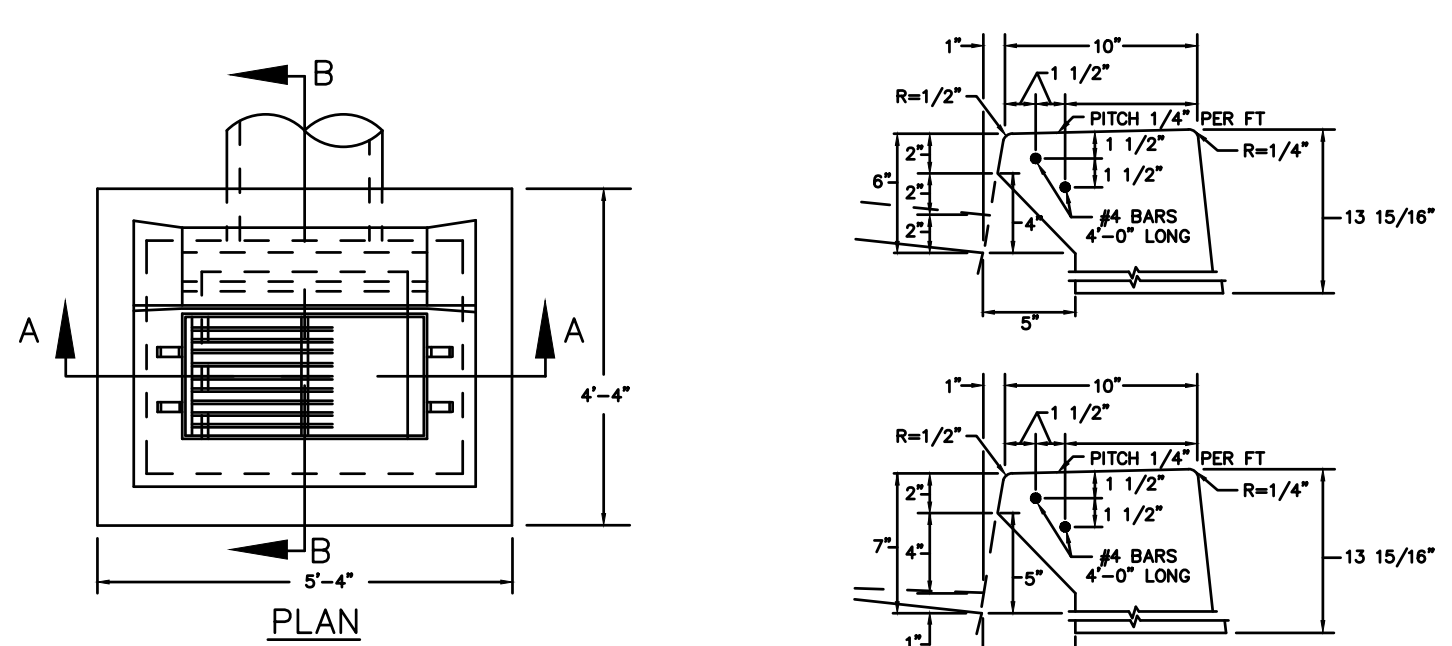


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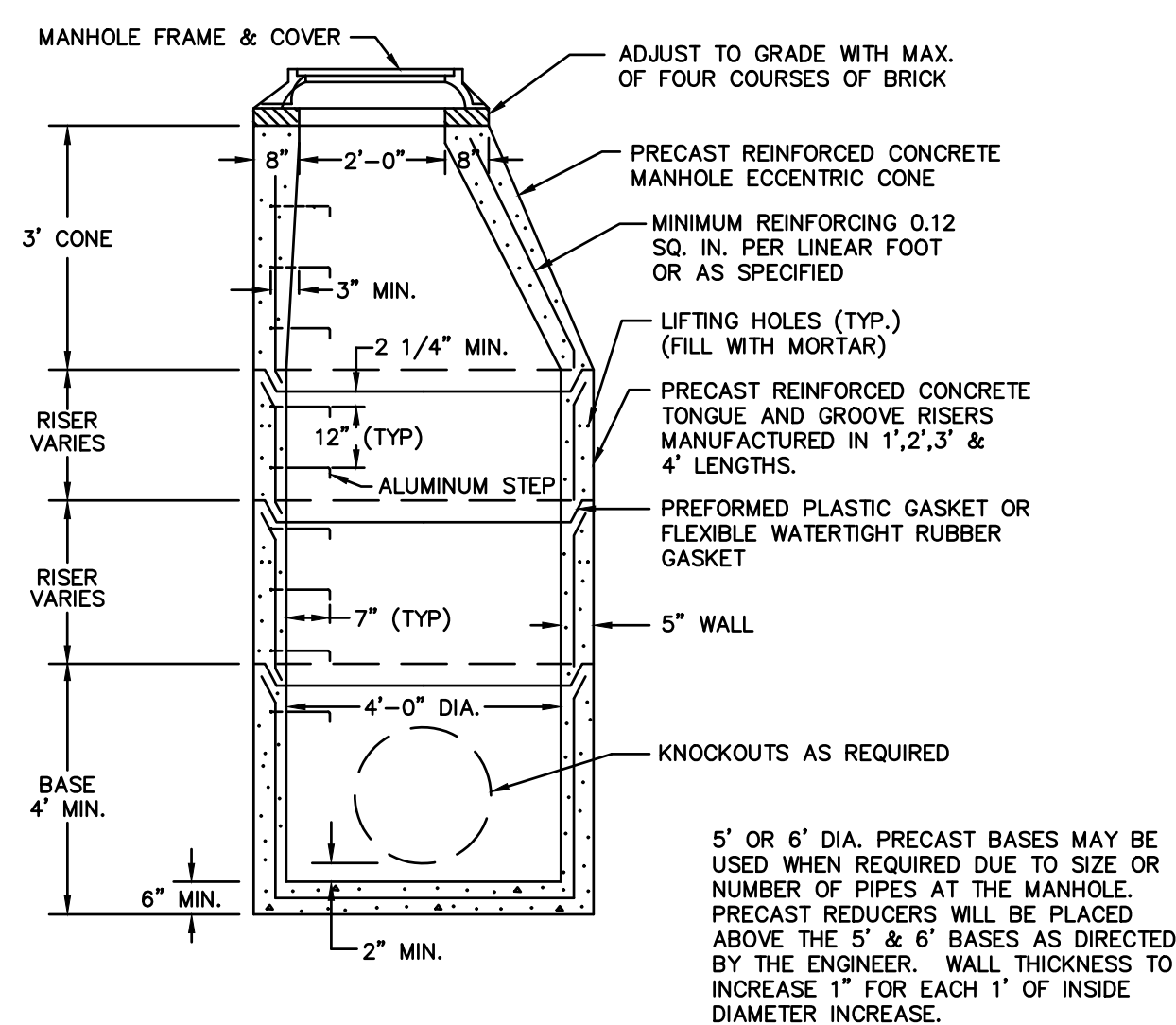
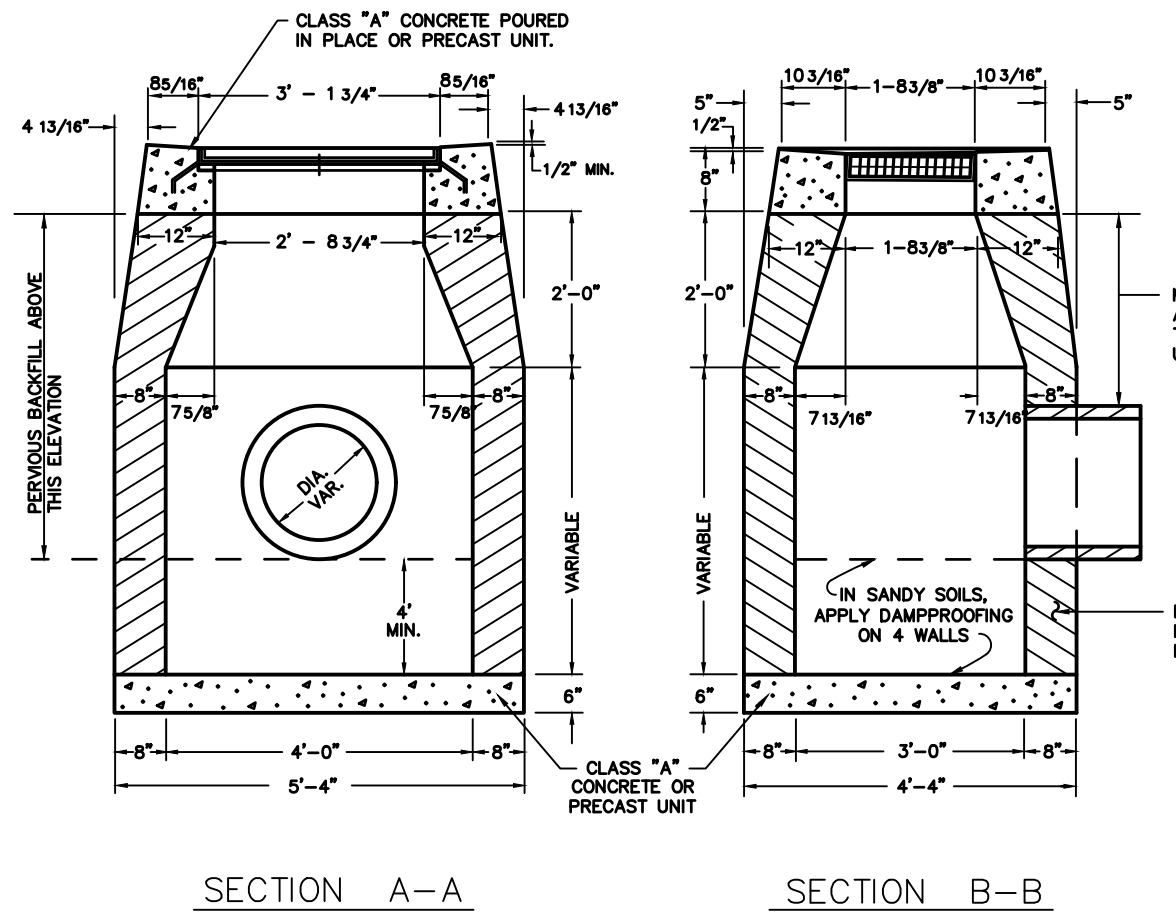
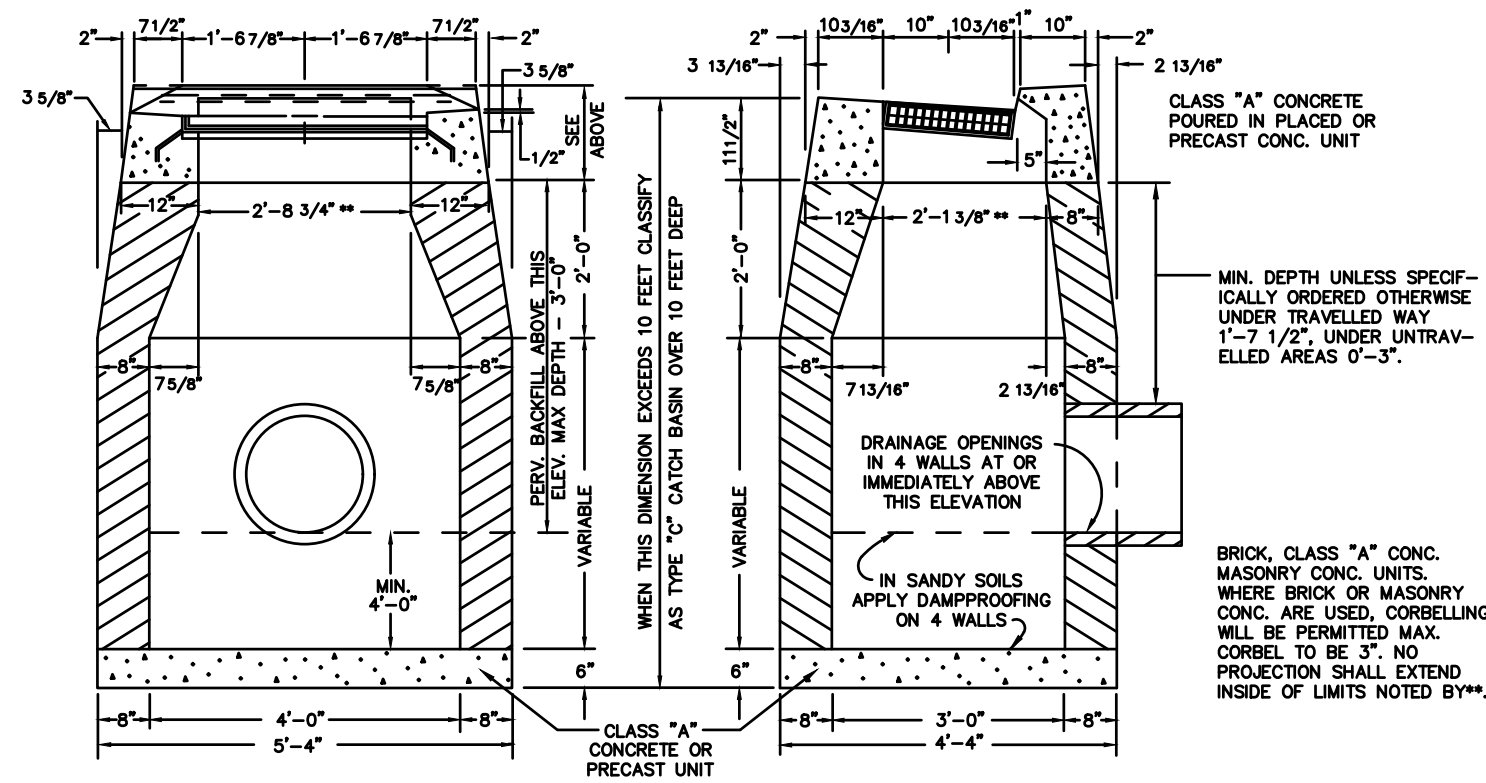


5/21/2026: JRESTA, G:\08853\3012502197\DWG\C2502197-25.DWG,CS,50 24X36 40SC

DETAIL OF CURB INLET PLAIN CURB TYPE

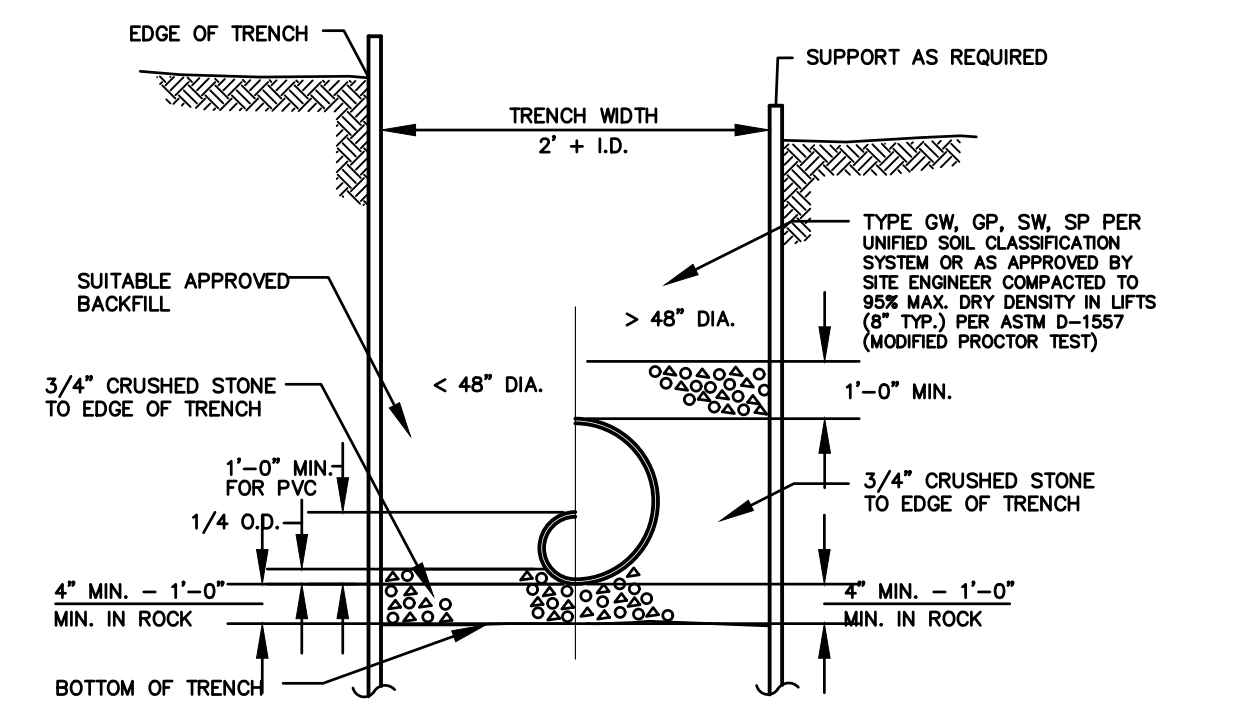


NOTE:
DRAINAGE OPENINGS IN 4 WALLS AT OR IMMEDIATELY ABOVE THE BOTTOM OF THE PERVIOUS BACKFILL.



PRECAST STORM MANHOLE DETAIL

N.T.S. ZDD-049



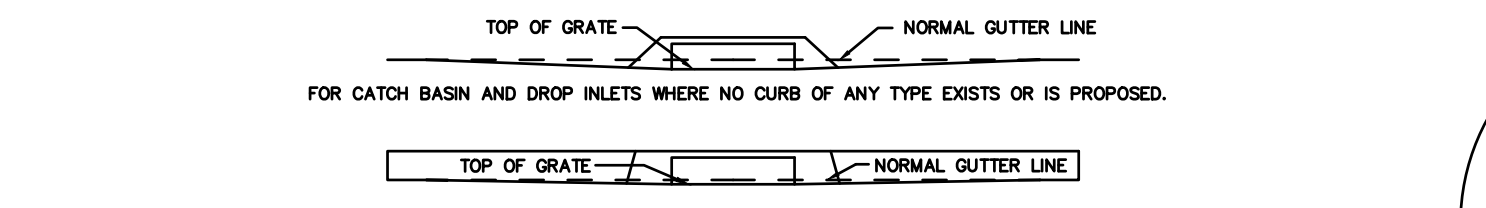
TYPICAL STORM SEWER TRENCH SECTION

N.T.S. BLDD-004

WHERE PRECAST CONC. UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN

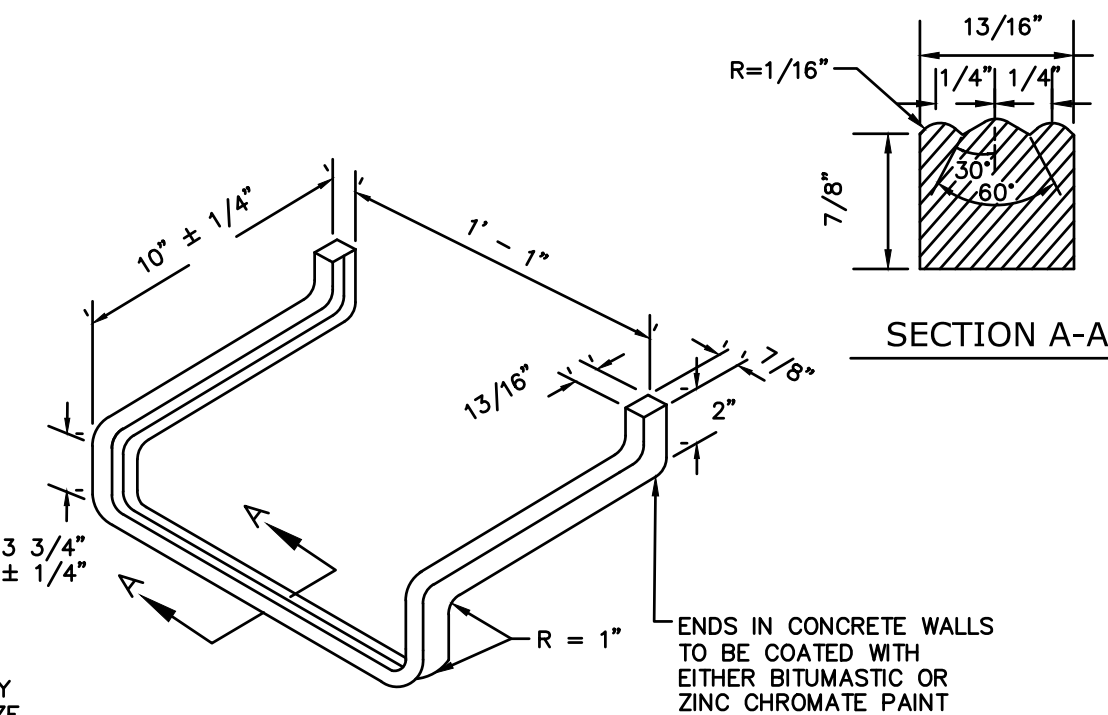
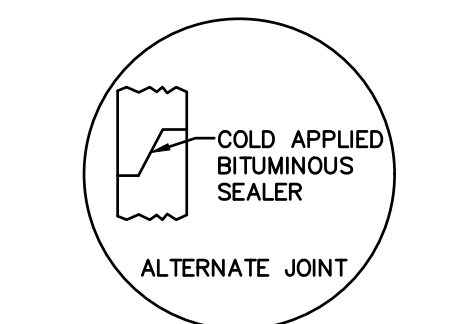
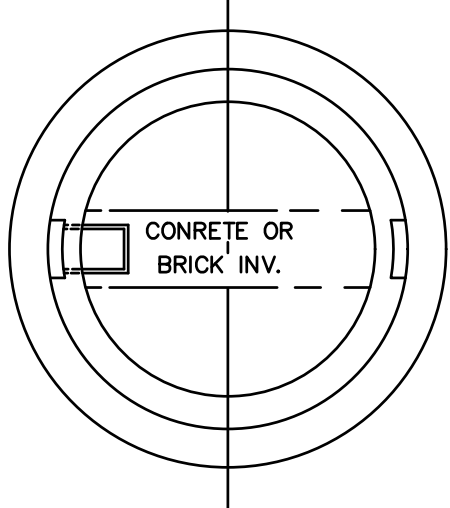
TYPE "C-L" CATCH BASIN

N.T.S. ZDD-028



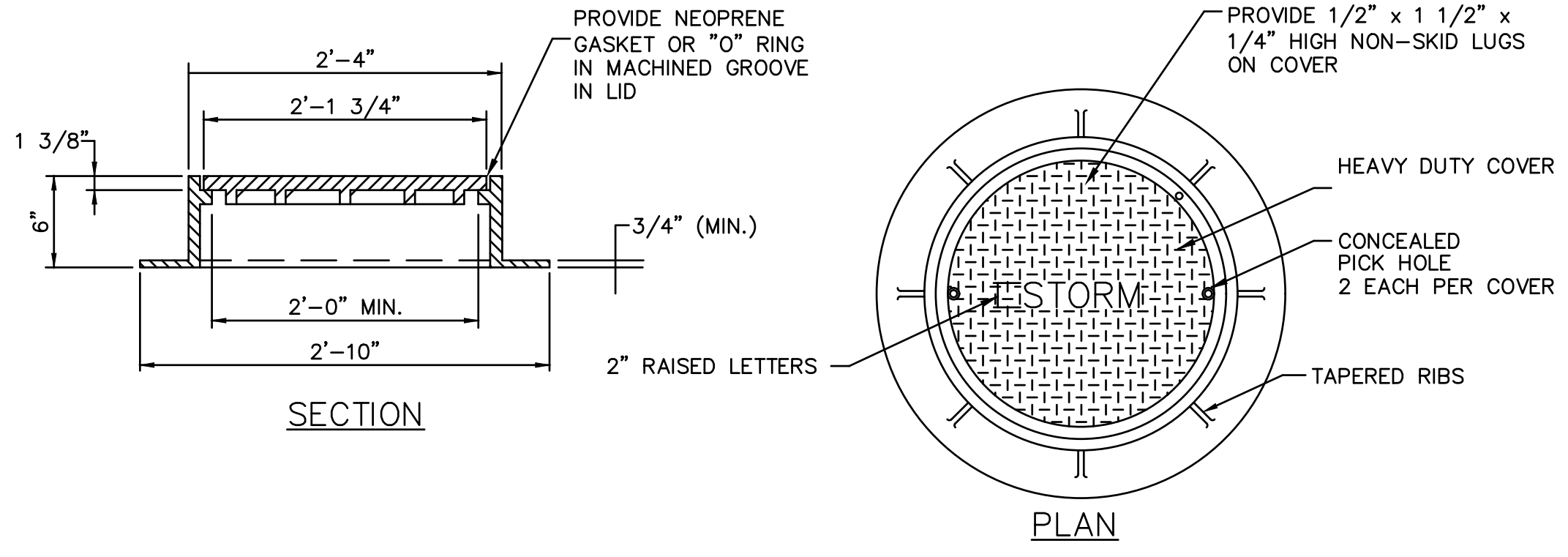
TYPE "C" CATCH BASIN WITH HOOD

N.T.S. ZDD-027



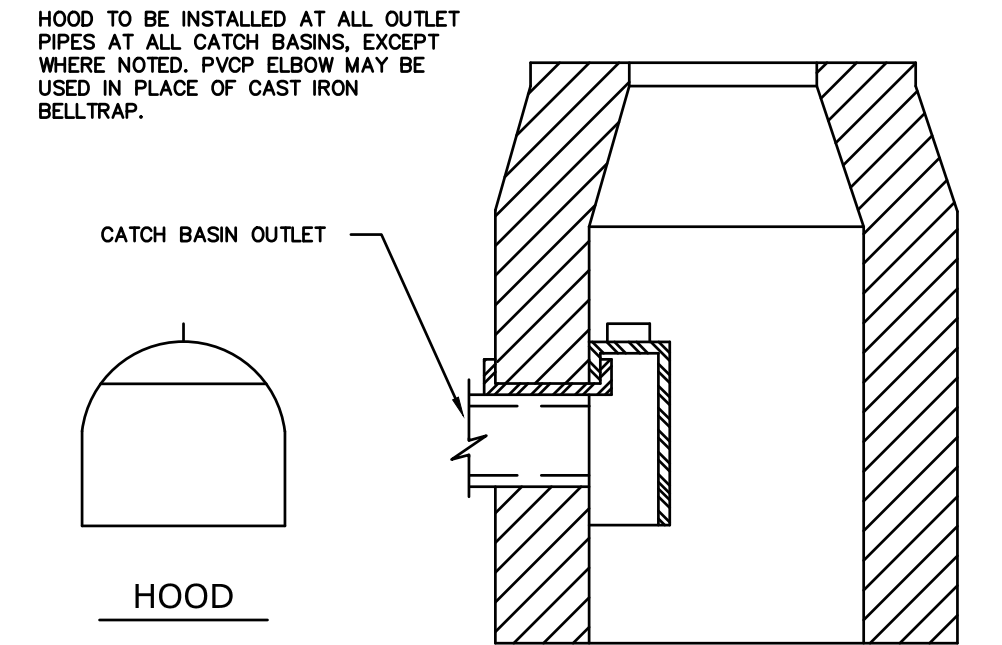
STANDARD MANHOLE STEP

N.T.S. BLS-005



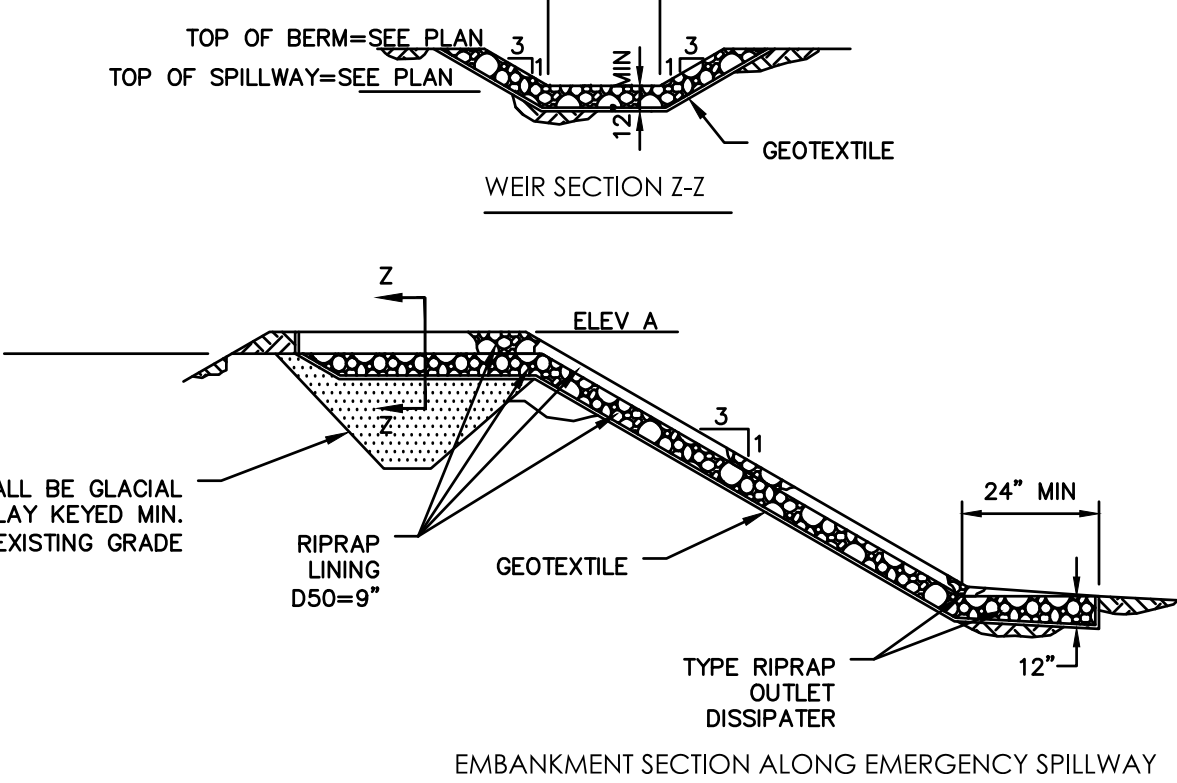
STANDARD MANHOLE FRAME AND COVER

N.T.S. RA_C202_06



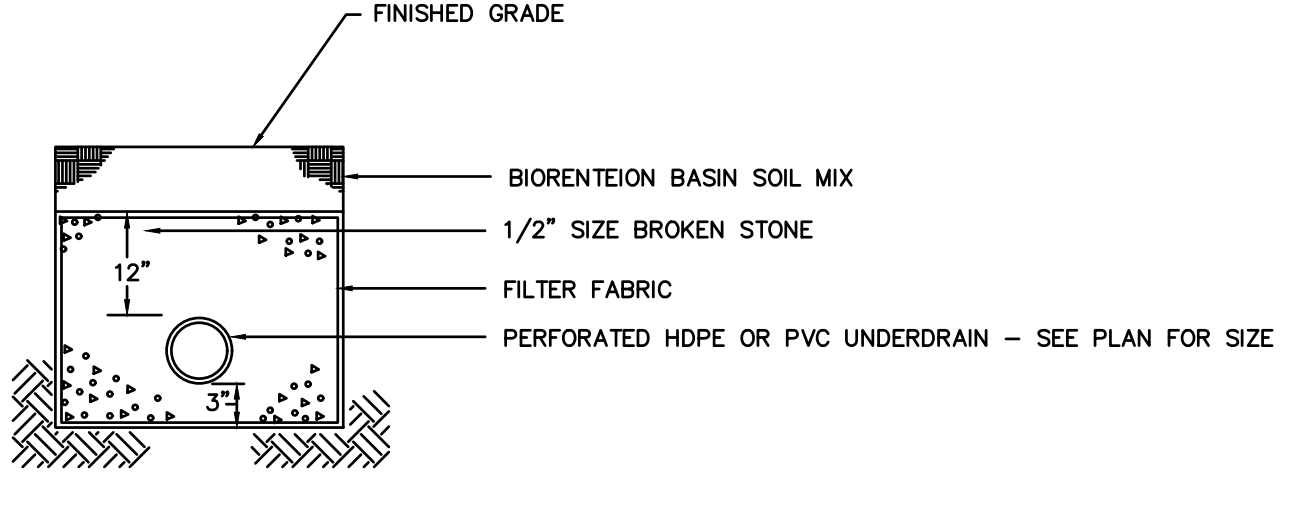
HOODED OUTLET

N.T.S. CDD-004



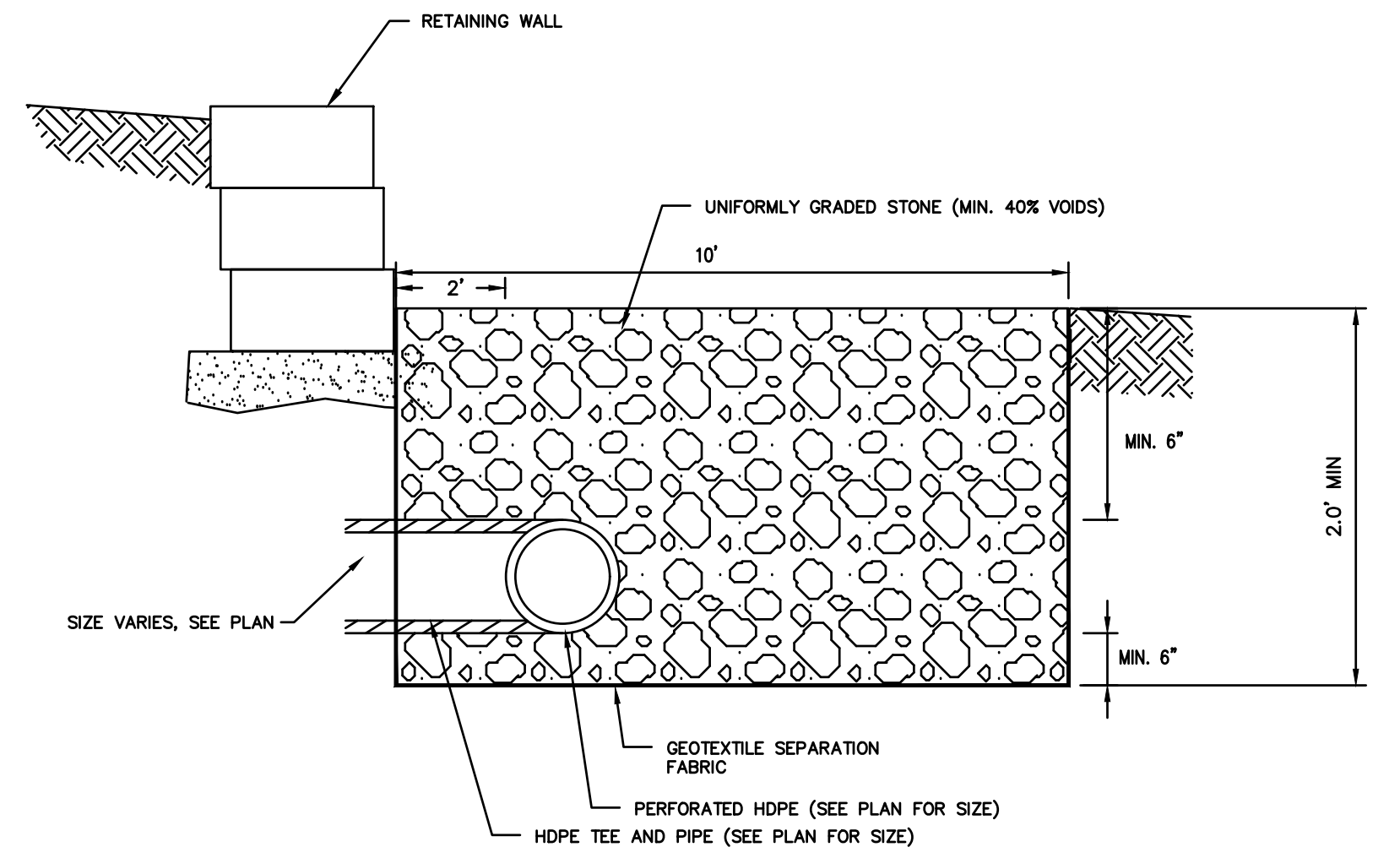
EMERGENCY SPILLWAY WITH RIPRAP LINING DETAIL

N.T.S.



UNDERDRAIN TRENCH SECTION

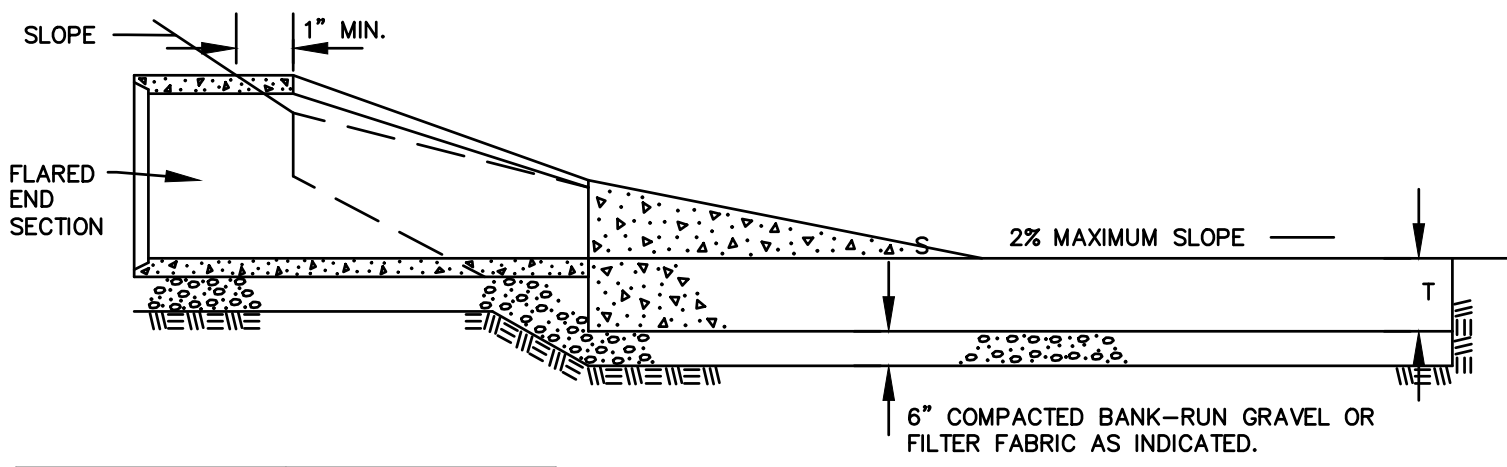
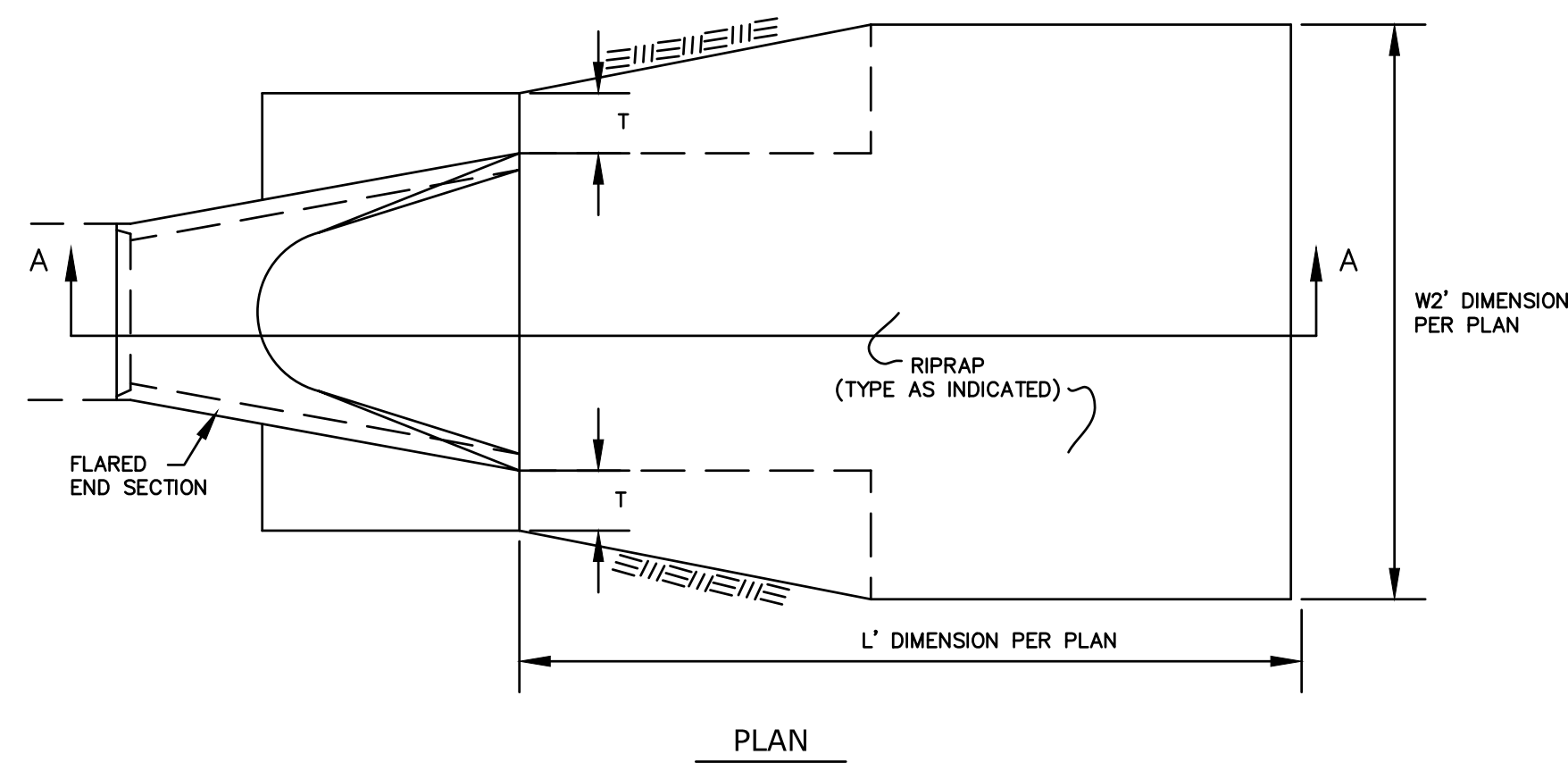
N.T.S. ZDD-029



LEVEL SPREADER DETAIL

N.T.S.

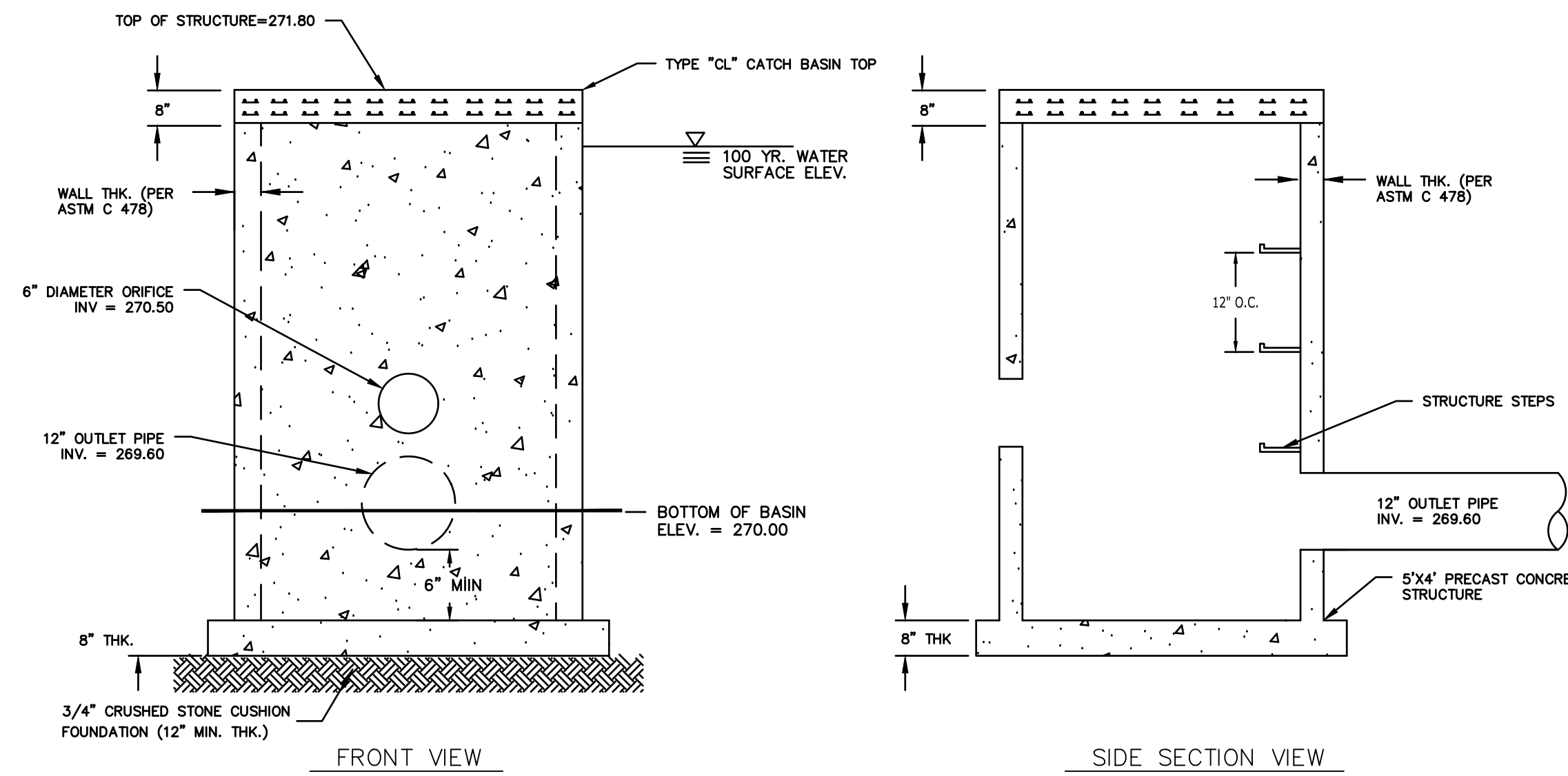
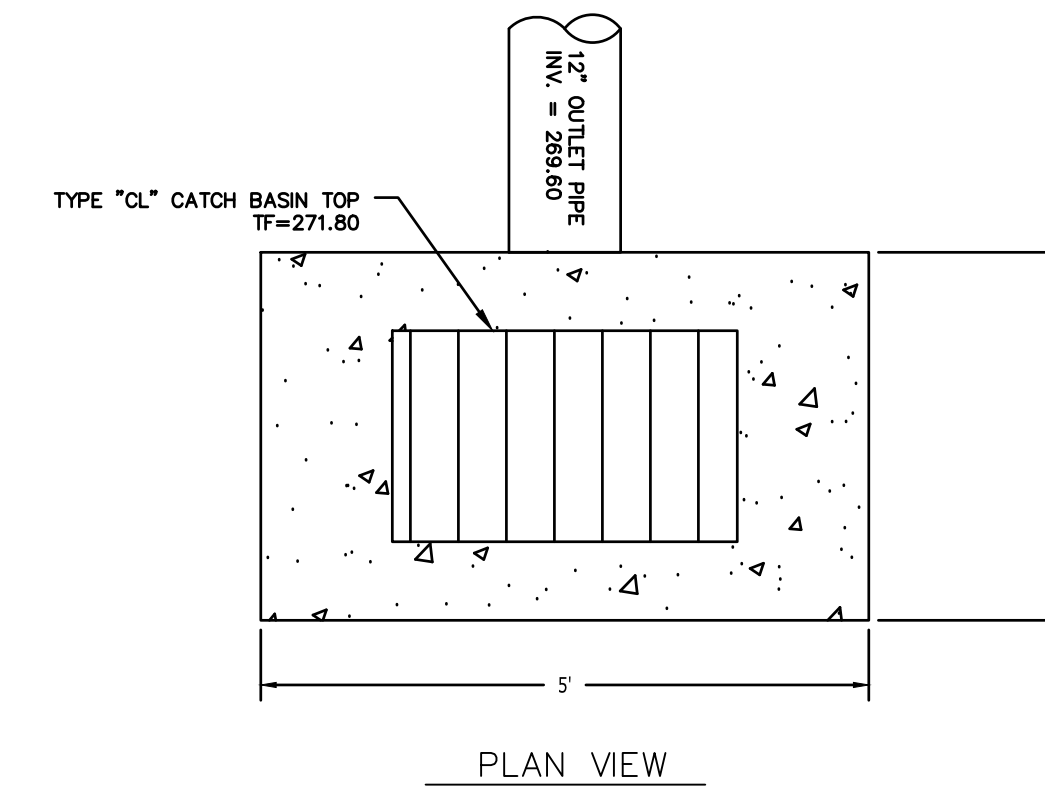
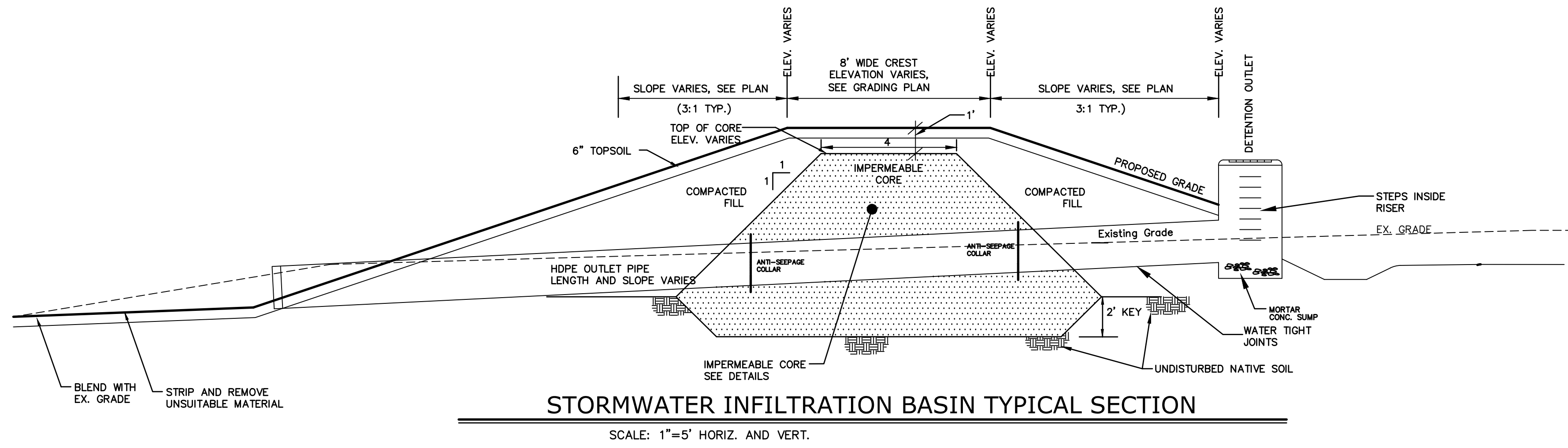
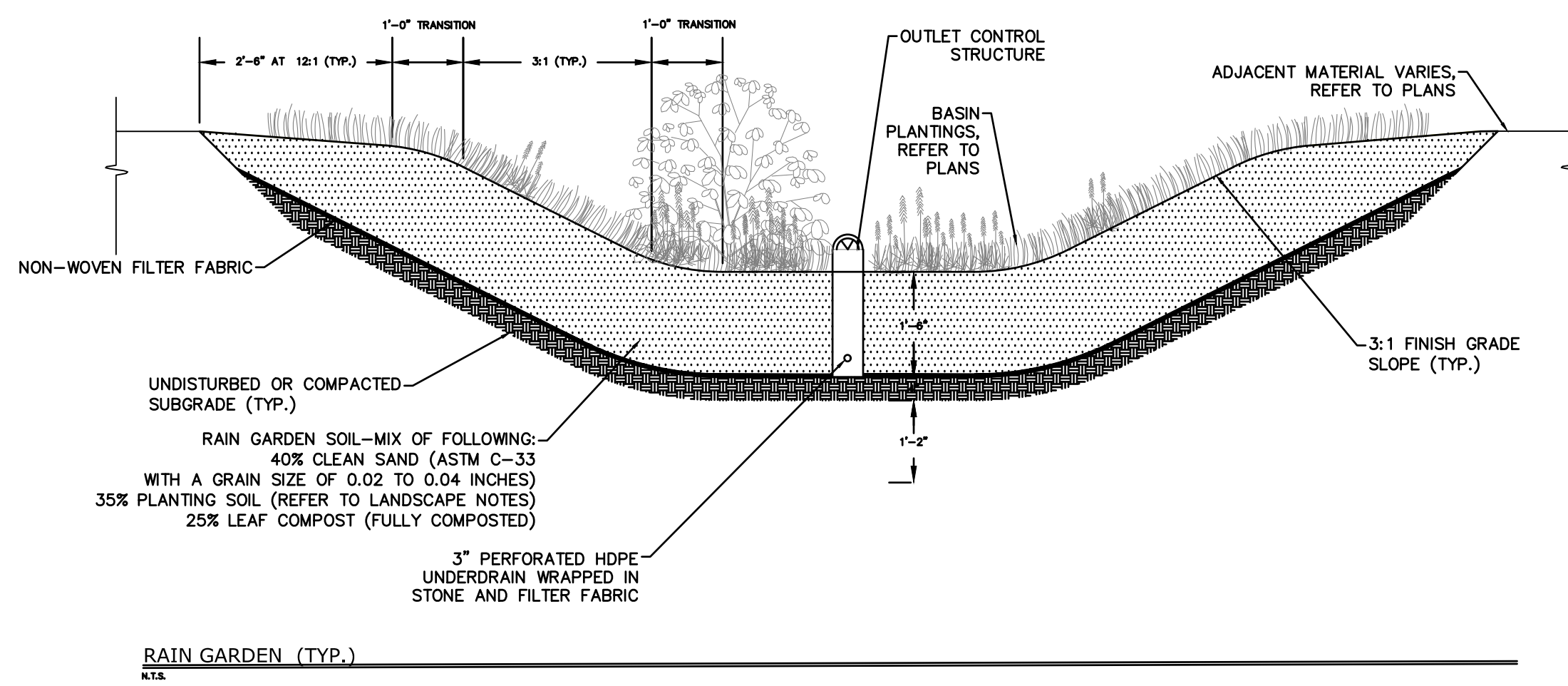
FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



| RIPRAP TYPE | "T" (INCHES) |
|--------------|--------------|
| INTERMEDIATE | 18 |
| MODIFIED | 12 |

RIPRAP AT FLARED SECTION

N.T.S. CTDD-010



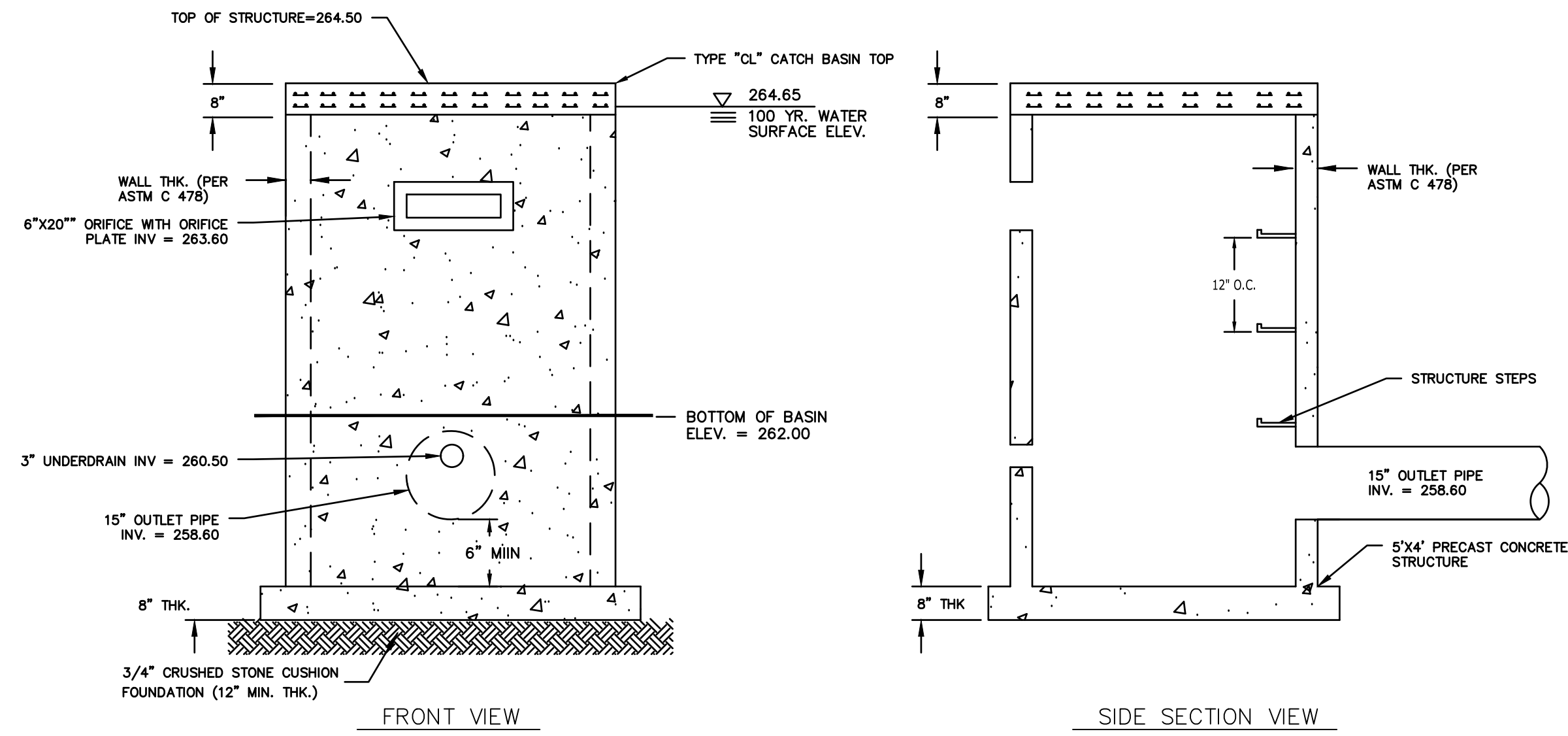
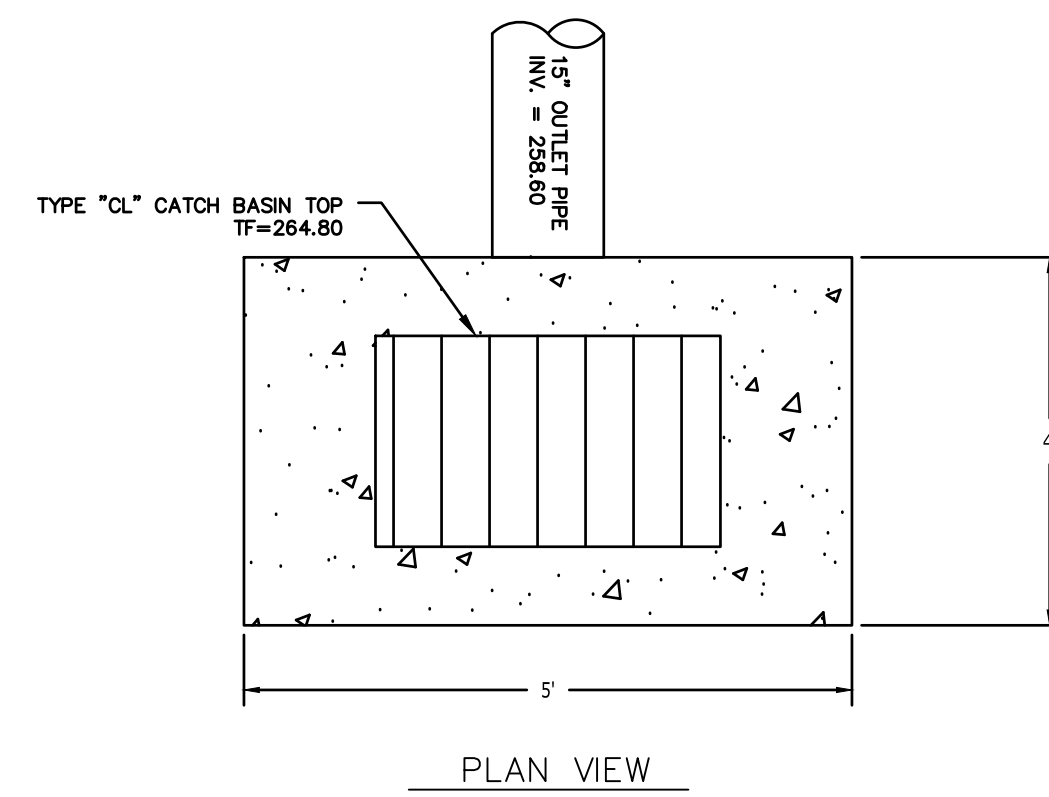
NOTES:

- WEIR PLATE SHALL BE 3/8" ALUMINUM PLATE, PAINTED BLACK. PLATE TO HAVE 1"x3" ELONGATED HOLES FOR MOUNTING
- MOUNT WEIR PLATE TO OUTLET WITH 3/4" STAINLESS STEEL BOLTS AND WASHERS. ADJUST WEIR TO FINAL ELEVATIONS.
- SUBMIT SHOP DRAWINGS OF OUTLET STRUCTURE TO OWNER FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.

OUTLET CONTROL STRUCTURE - OCS 1A

N.T.S.

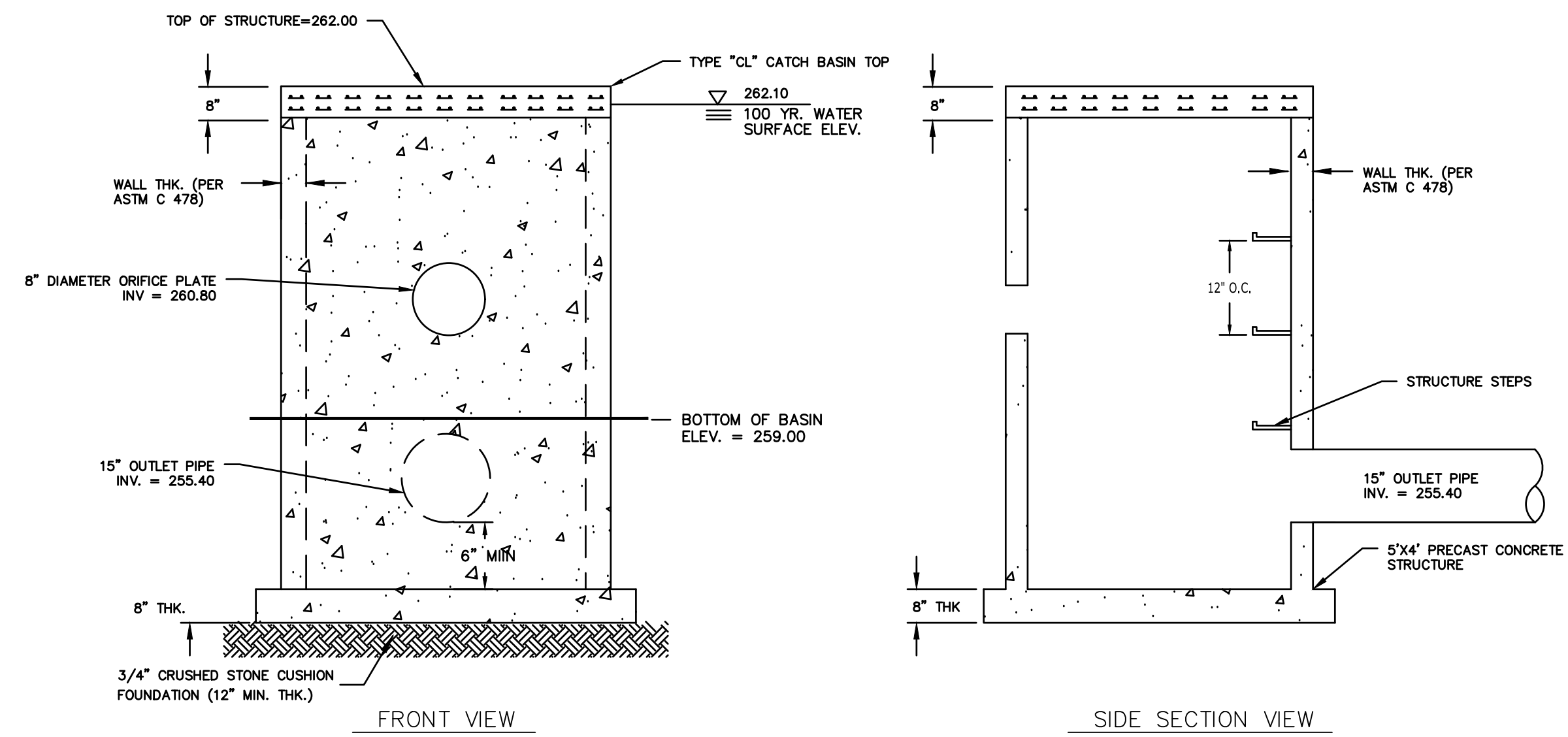
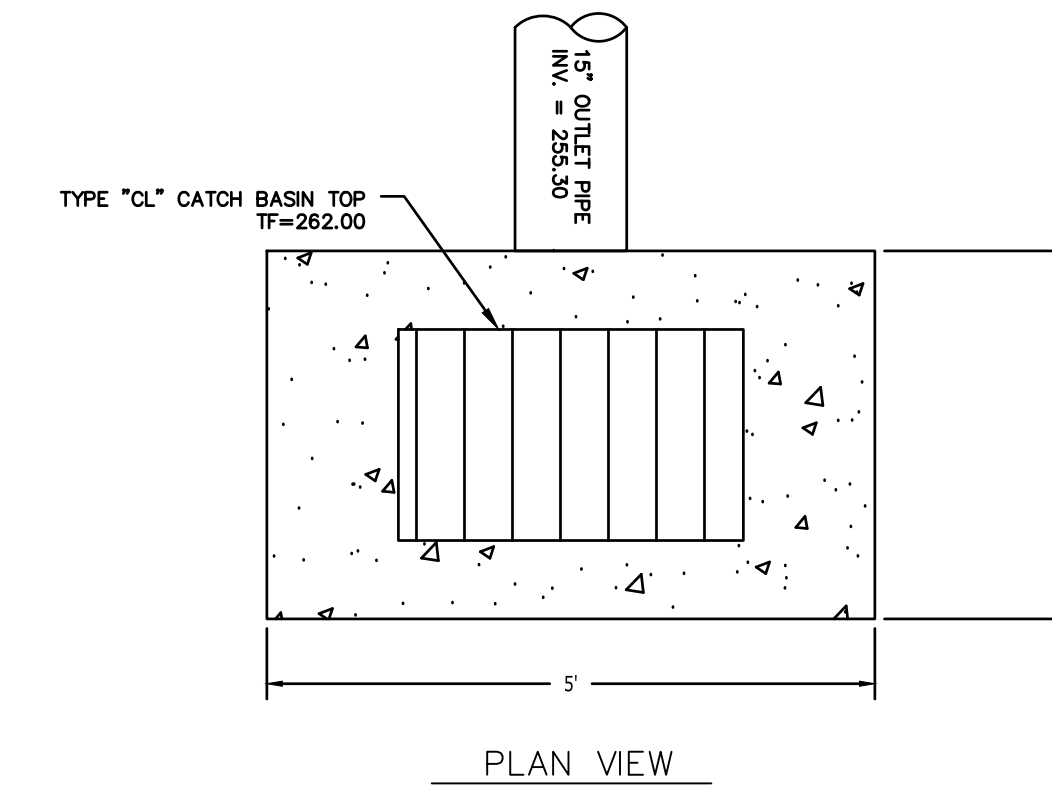
FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



- NOTES:
- WEIR PLATE SHALL BE 3/8\"/>
 - MOUNT WEIR PLATE TO OUTLET WITH 3/4\"/>
 - SUBMIT SHOP DRAWINGS OF OUTLET STRUCTURE TO OWNER FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.

OUTLET CONTROL STRUCTURE - OCS-200

N.T.S.



- NOTES:
- WEIR PLATE SHALL BE 3/8\"/>
 - MOUNT WEIR PLATE TO OUTLET WITH 3/4\"/>
 - SUBMIT SHOP DRAWINGS OF OUTLET STRUCTURE TO OWNER FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.

OUTLET CONTROL STRUCTURE - OCS 4A

N.T.S.

PLAN VIEW B-B
NOT TO SCALE

CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

| CONFIGURATION DESCRIPTION | |
|---------------------------------------|--|
| GRATED INLET ONLY (NO INLET PIPE) | |
| GRATED INLET WITH INLET PIPE OR PIPES | |
| CURB INLET ONLY (NO INLET PIPE) | |
| CURB INLET WITH INLET PIPE OR PIPES | |

ELEVATION A-A
NOT TO SCALE

SITE SPECIFIC DATA REQUIREMENTS

| STRUCTURE ID | WATER QUALITY FLOW RATE (cfs [L/s]) | PEAK FLOW RATE (cfs [L/s]) | RETURN PERIOD OF PEAK FLOW (yrs) | RIM ELEVATION |
|--------------|-------------------------------------|----------------------------|----------------------------------|---------------|
| | | | | |

| PIPE DATA | INVERT | MATERIAL | DIAMETER |
|--------------|--------|----------|----------|
| INLET PIPE 1 | | | |
| INLET PIPE 2 | | | |
| OUTLET PIPE | | | |

NOTES / SPECIAL REQUIREMENTS:

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE: www.contechES.com
- CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H2010 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' (610), AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO A900 AND BE CAST WITH THE CONTECH LOGO.
- CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm).

INSTALLATION NOTES:

- ANY SUBGRADE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE ORIGIN CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

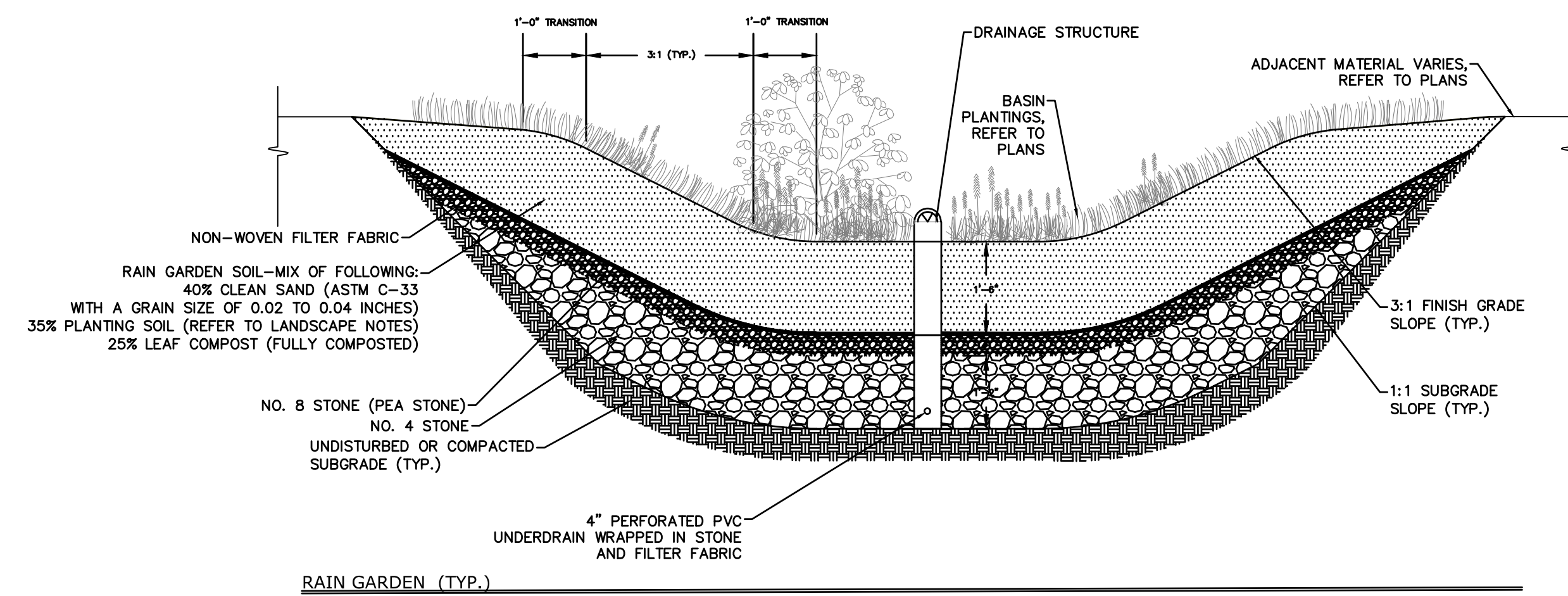
CONTECH
ENGINEERED SOLUTIONS LLC

8025 Center Pointe Dr., Suite 100, West Chester, OH 45388
937-338-1122 513-645-7000 513-645-7883 FAX

CS-4
CASCADE SEPARATOR
STANDARD DETAIL

HYDRODYNAMIC SEPERATOR - HDS-200 & HDS-400

N.T.S.



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**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1947 CENTER GROTON ROAD
LEDYARD, CT 06339

REVISIONS
Date: 04/22/2026
Revised: 05/04/2026
Revised: 05/21/2026

Designed: M.A.G.
Drawn: M.A.G.
Reviewed: R.M.R.
Scale: 1"=40'
Project No: 2502197
Date: 04/01/2026

CAD File: C2502197-30
Title: **SITE UTILITIES PLAN**

Sheet No.

C3.00

SITE UTILITIES LEGEND

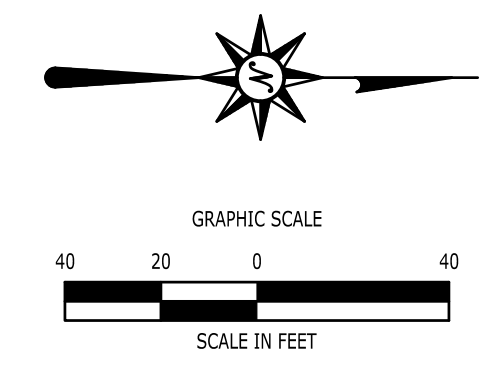
| | |
|----------------------------------|------------|
| PROPERTY LINE | --- |
| LIMIT OF DISTURBANCE LINE | LOD |
| ELECTRIC LINE | E |
| ELECTRIC/TELECOMMUNICATIONS LINE | E/T |
| GAS LINE | G |
| WATER LINE | W |
| SANITARY SEWER LINE | S |
| SANITARY SEWER FORCE MAIN | SFM |
| TRANSFORMER / SWITCHGEAR | OH |
| HYDRANT | ⊠ |
| UTILITY POLE | ⊙ |
| SANITARY MANHOLE | ⊙ |
| SANITARY CLEANOUT | ⊙ |
| WATER VALVE | ⊙ |
| GATE VALVE | ⊙ |
| THRUST BLOCK | ⊙ |
| GREASE TRAP | ⊙ |
| OUTLET CONTROL STRUCTURE | ⊙ |
| HYDRODYNAMIC SEPARATOR | ⊙ |
| STORM PIPE | --- |
| CATCH BASIN | ⊙ |
| STORM MANHOLE | ⊙ |
| FLARED END | ⊙ |
| END WALL OR HEADWALL | ⊙ |
| PROPOSED CONTOUR LINE | ---(2%)--- |
| PROPOSED SPOT GRADE | ⊙(100.00) |
| ABBREVIATIONS: | |
| -TC=TOP OF CURB | ⊙(100.00) |
| -BC=BOTTOM OF CURB | ⊙(100.00) |
| -TW=TOP OF WALL | ⊙(100.00) |
| -BW=BOTTOM OF WALL | ⊙(100.00) |
| PROPOSED SURFACE SLOPE | 2% |

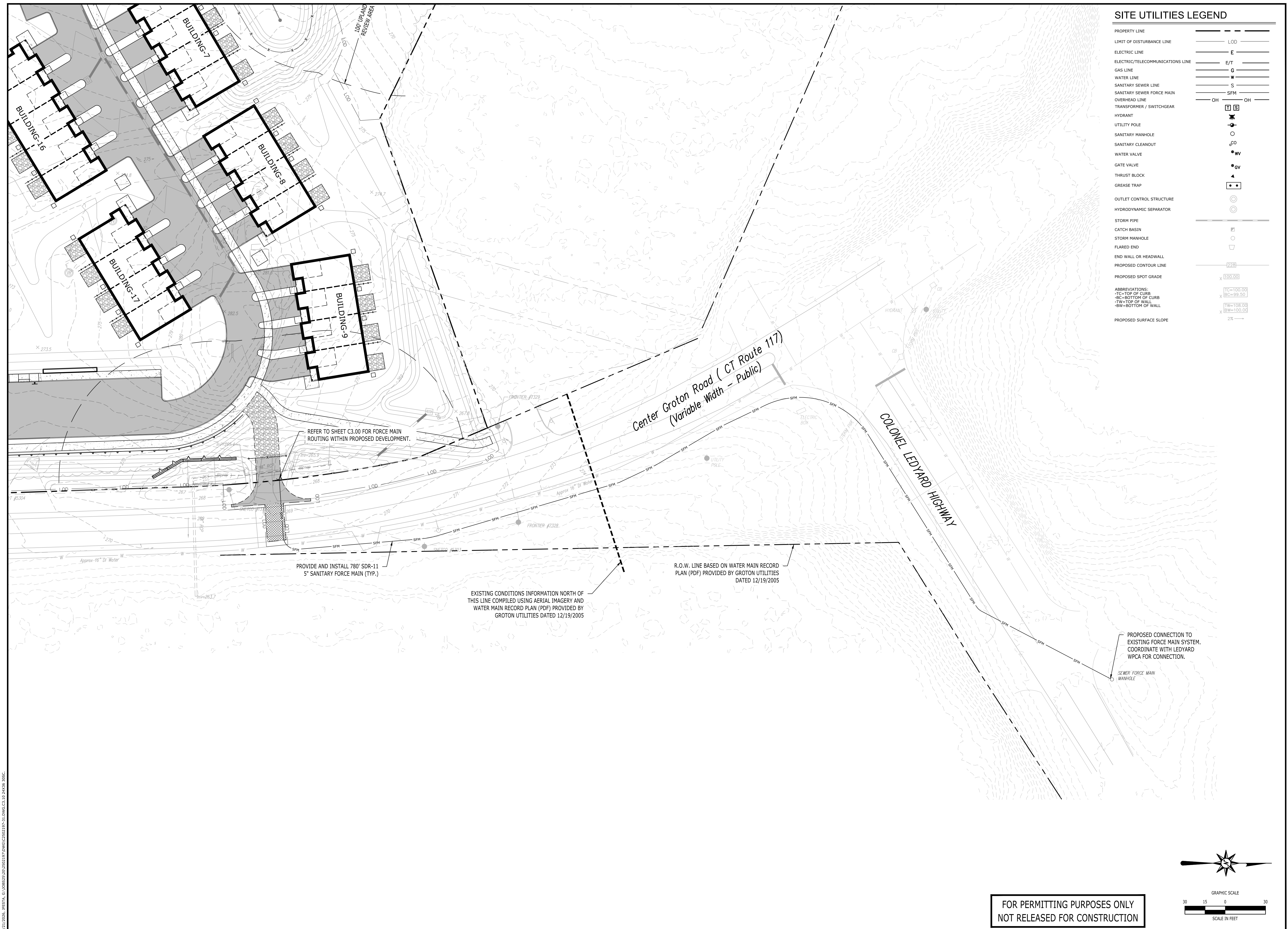
NOTES

- CONTRACTOR TO PROVIDE AS-BUILT RECORDS WATER SERVICE RECORDS TO GROTON UTILITIES UPON COMPLETION OF THE PROJECT.



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NOT RELEASED FOR CONSTRUCTION**





SITE UTILITIES LEGEND

| | |
|----------------------------------|----------|
| PROPERTY LINE | --- |
| LIMIT OF DISTURBANCE LINE | LOD |
| ELECTRIC LINE | E |
| ELECTRIC/TELECOMMUNICATIONS LINE | E/T |
| GAS LINE | G |
| WATER LINE | W |
| SANITARY SEWER LINE | S |
| SANITARY SEWER FORCE MAIN | SFM |
| OVERHEAD LINE | OH |
| TRANSFORMER / SWITCHGEAR | OH |
| HYDRANT | ⊗ |
| UTILITY POLE | ⊙ |
| SANITARY MANHOLE | ⊙ |
| SANITARY CLEANOUT | ⊙ |
| WATER VALVE | ⊙ |
| GATE VALVE | ⊙ |
| THRUST BLOCK | ⊙ |
| GREASE TRAP | ⊙ |
| OUTLET CONTROL STRUCTURE | ⊙ |
| HYDRODYNAMIC SEPARATOR | ⊙ |
| STORM PIPE | --- |
| CATCH BASIN | ⊙ |
| STORM MANHOLE | ⊙ |
| FLARED END | ⊙ |
| END WALL OR HEADWALL | ⊙ |
| PROPOSED CONTOUR LINE | 275 |
| PROPOSED SPOT GRADE | x 100.00 |
| ABBREVIATIONS: | |
| -TC=TOP OF CURB | x 100.00 |
| -BC=BOTTOM OF CURB | x 100.00 |
| -TW=TOP OF WALL | x 100.00 |
| -BW=BOTTOM OF WALL | x 100.00 |
| PROPOSED SURFACE SLOPE | 2% → |



355 Research Parkway
Meriden, CT 06450
(203) 630-1406



**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1947 CENTER GROTON ROAD
LEDYARD, CT 06339

DESIGNED AND DRAINAGE PER GEOTECHNICAL TESTING
REVISED PER GROTON UTILITIES COMMENTS
REVISED UTILITY PLAN & PER ENGINEERING COMMENTS

REVISIONS

| No. | Date | Description |
|-----|------------|---|
| 1 | 04/22/2026 | REVISED PER GROTON UTILITIES COMMENTS |
| 2 | 05/04/2026 | REVISED UTILITY PLAN & PER ENGINEERING COMMENTS |
| 3 | 05/21/2026 | |

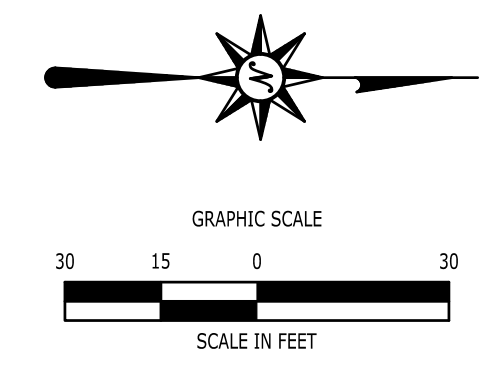
Designed: A.S.
Drawn: T.R.
Reviewed: R.M.R.
Scale: 1"=30'
Project No.: 2502197
Date: 04/01/2026
CAD File: C2502197-31

Title: SCHEMATIC SEWER FORCE MAIN ROUTING

Sheet No.

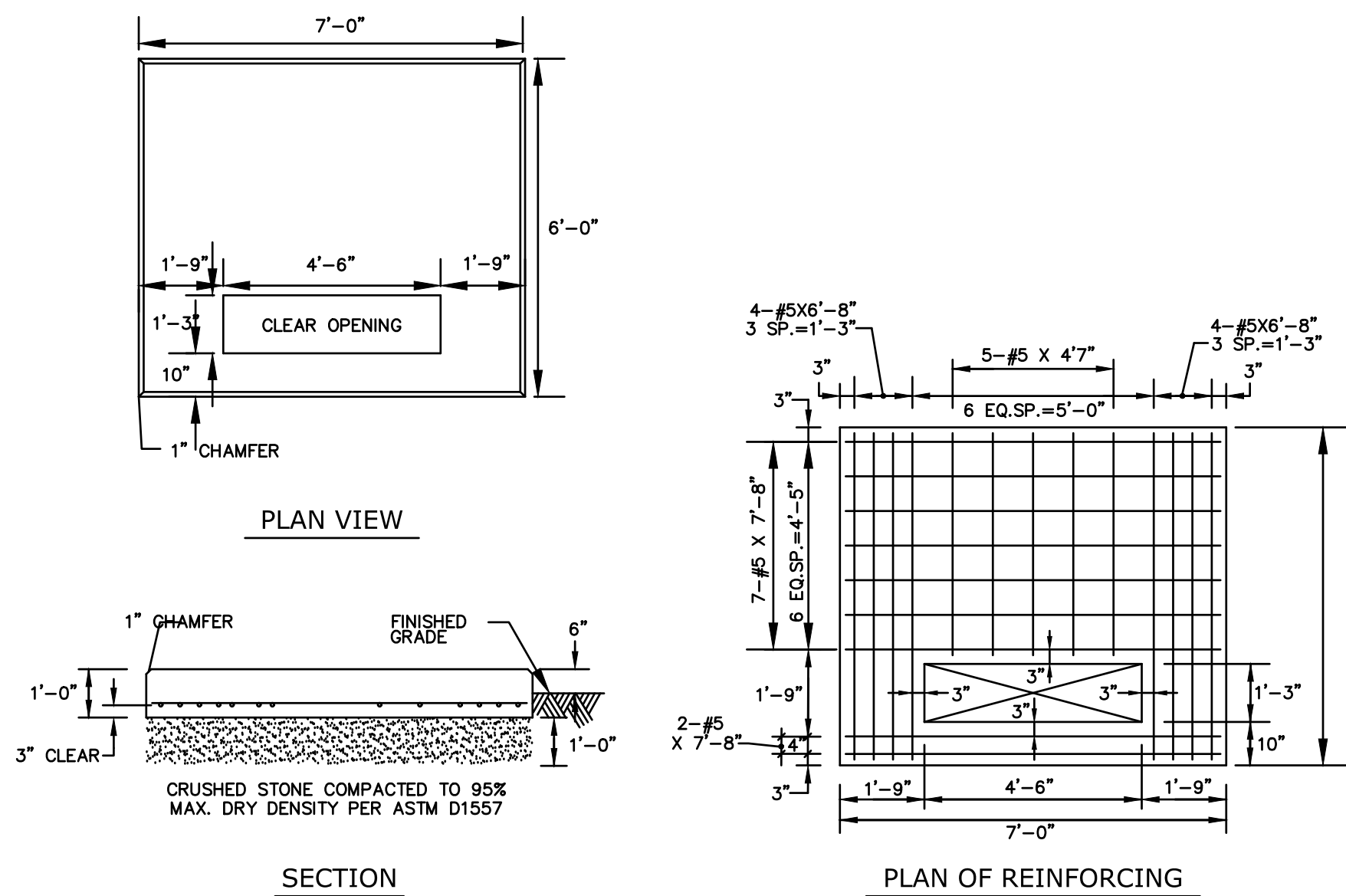
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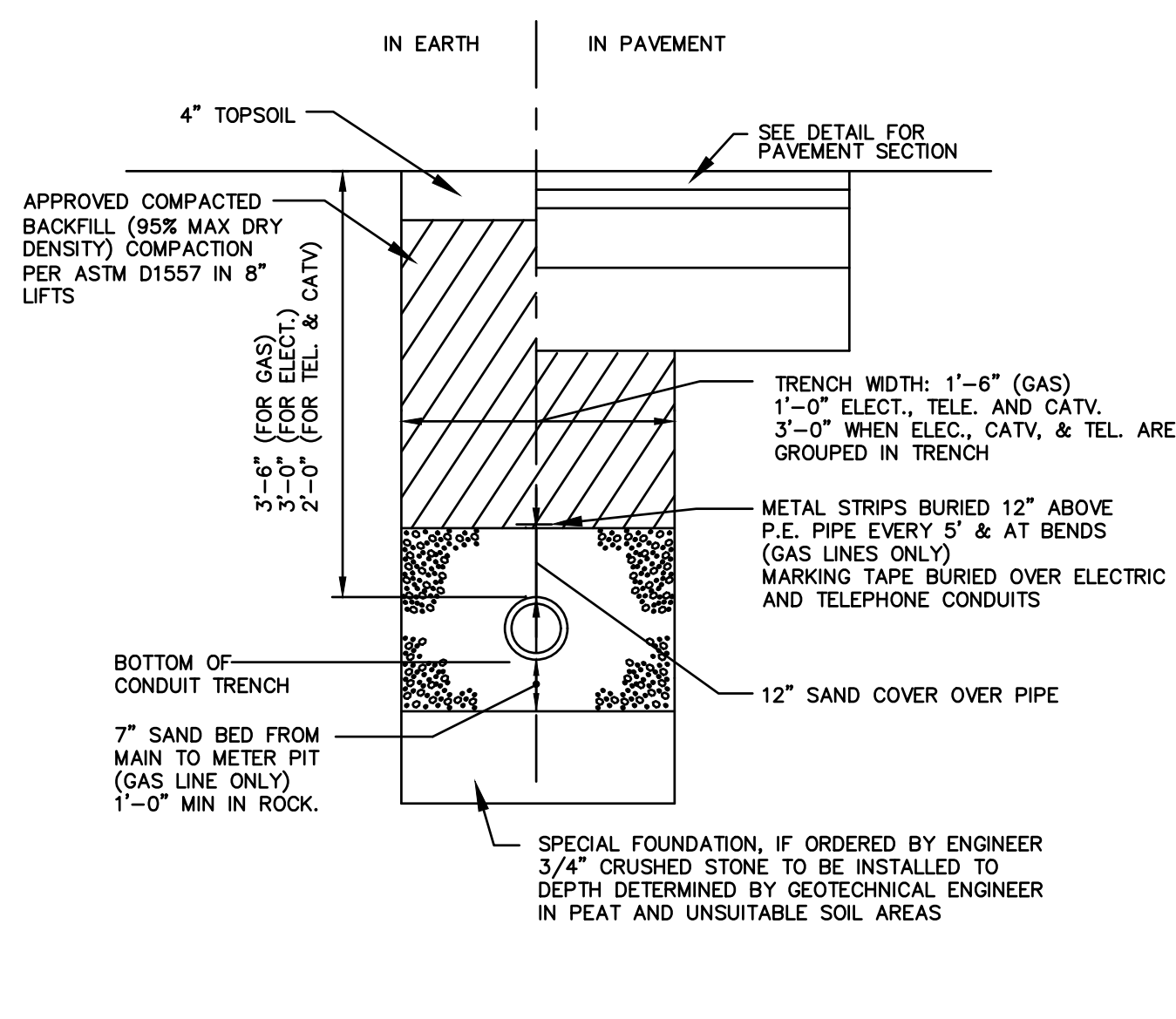
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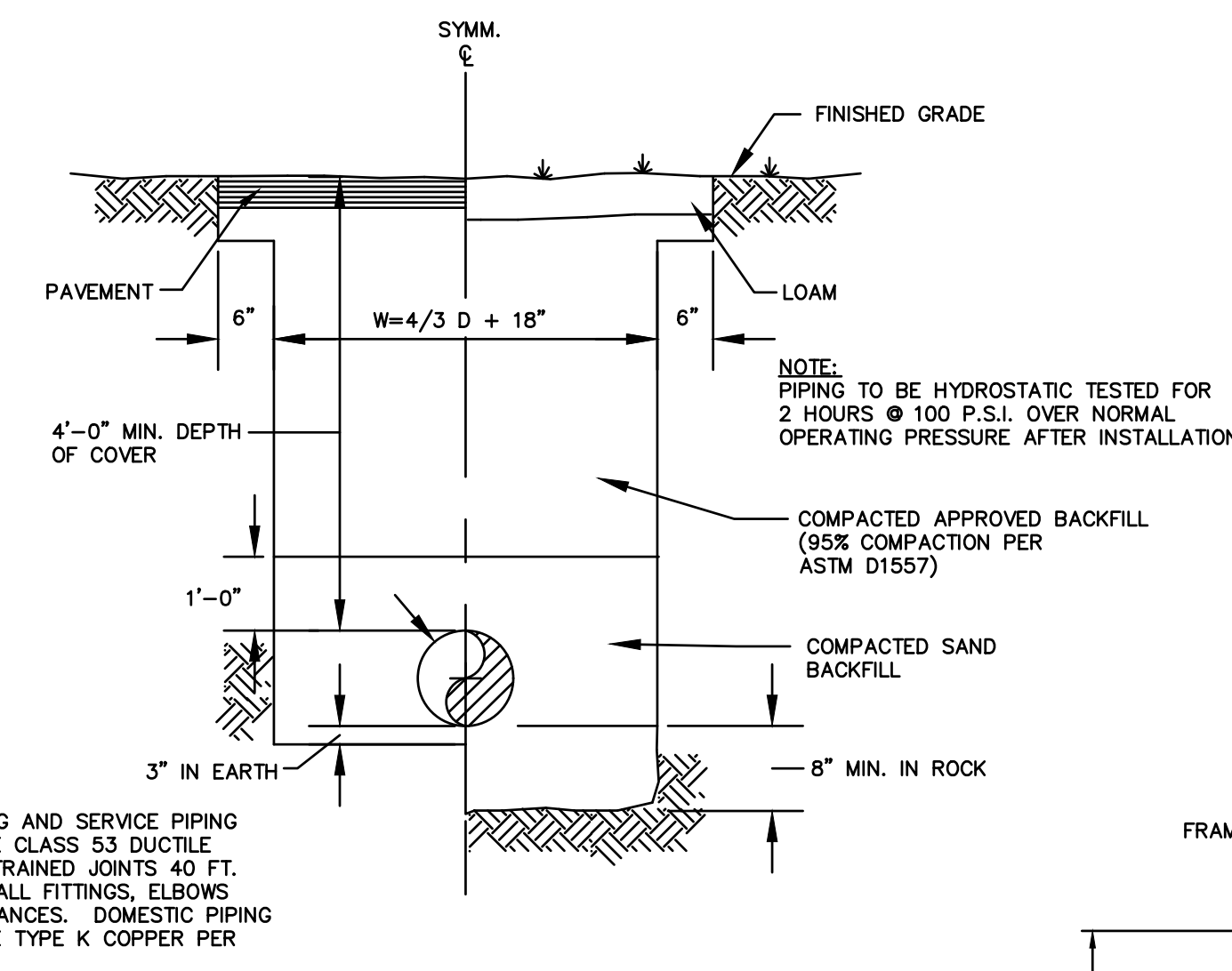
TRANSFORMER PAD

N.T.S. BLLE-001



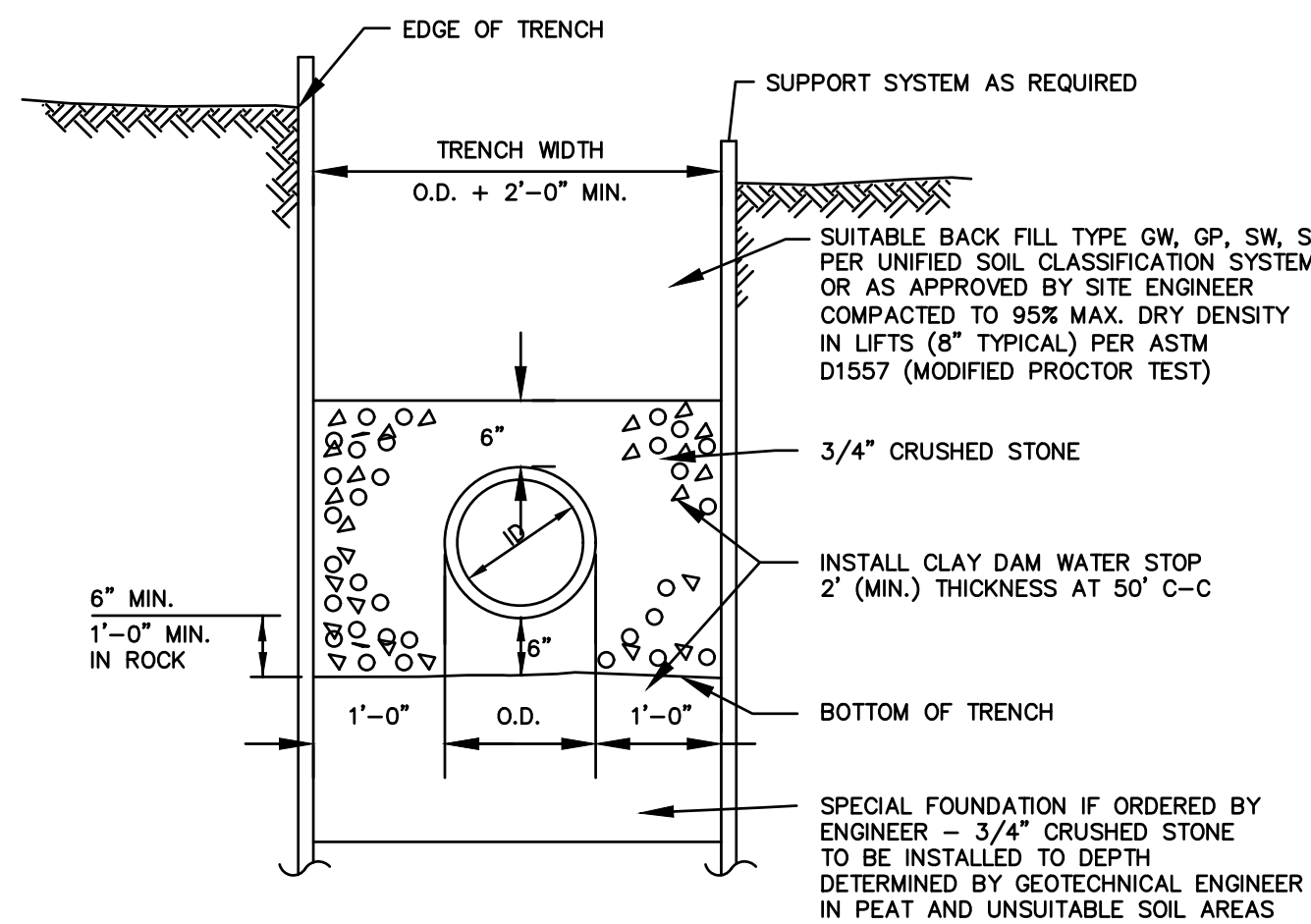
ELECTRICAL, TELEPHONE AND GAS TRENCH DETAIL

N.T.S. BLUD-001



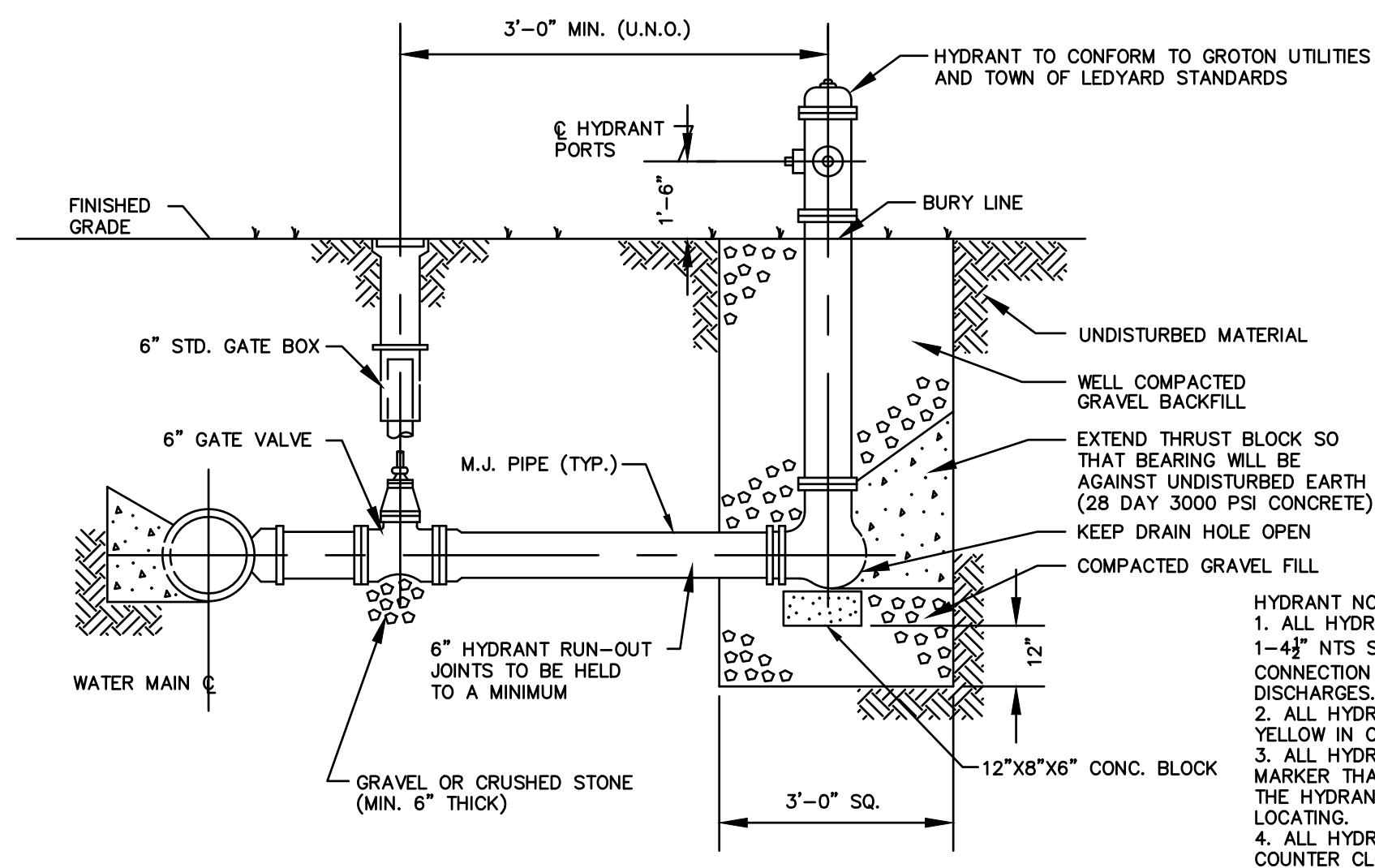
TYPICAL WATER MAIN AND SERVICE TRENCH DETAIL

N.T.S. BLWD-005



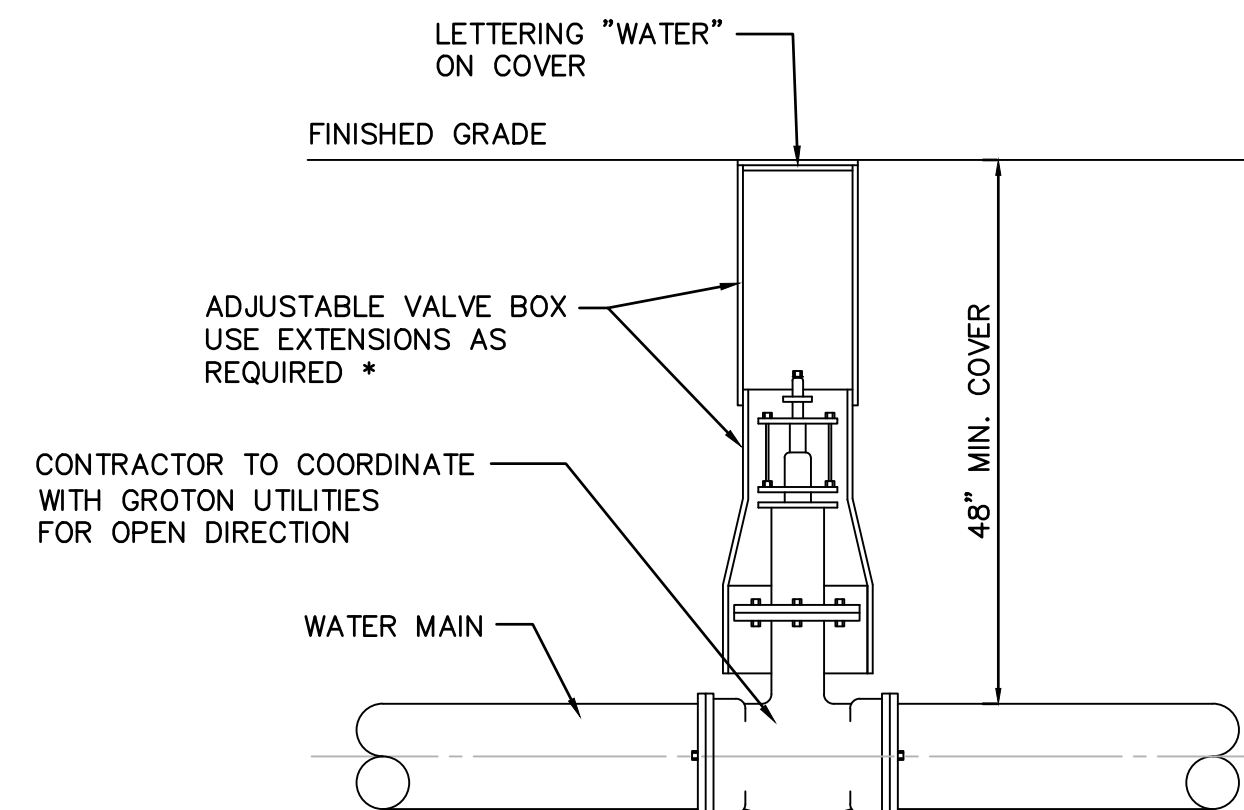
TYPICAL SANITARY SEWER TRENCH SECTION

N.T.S. BLSS-010



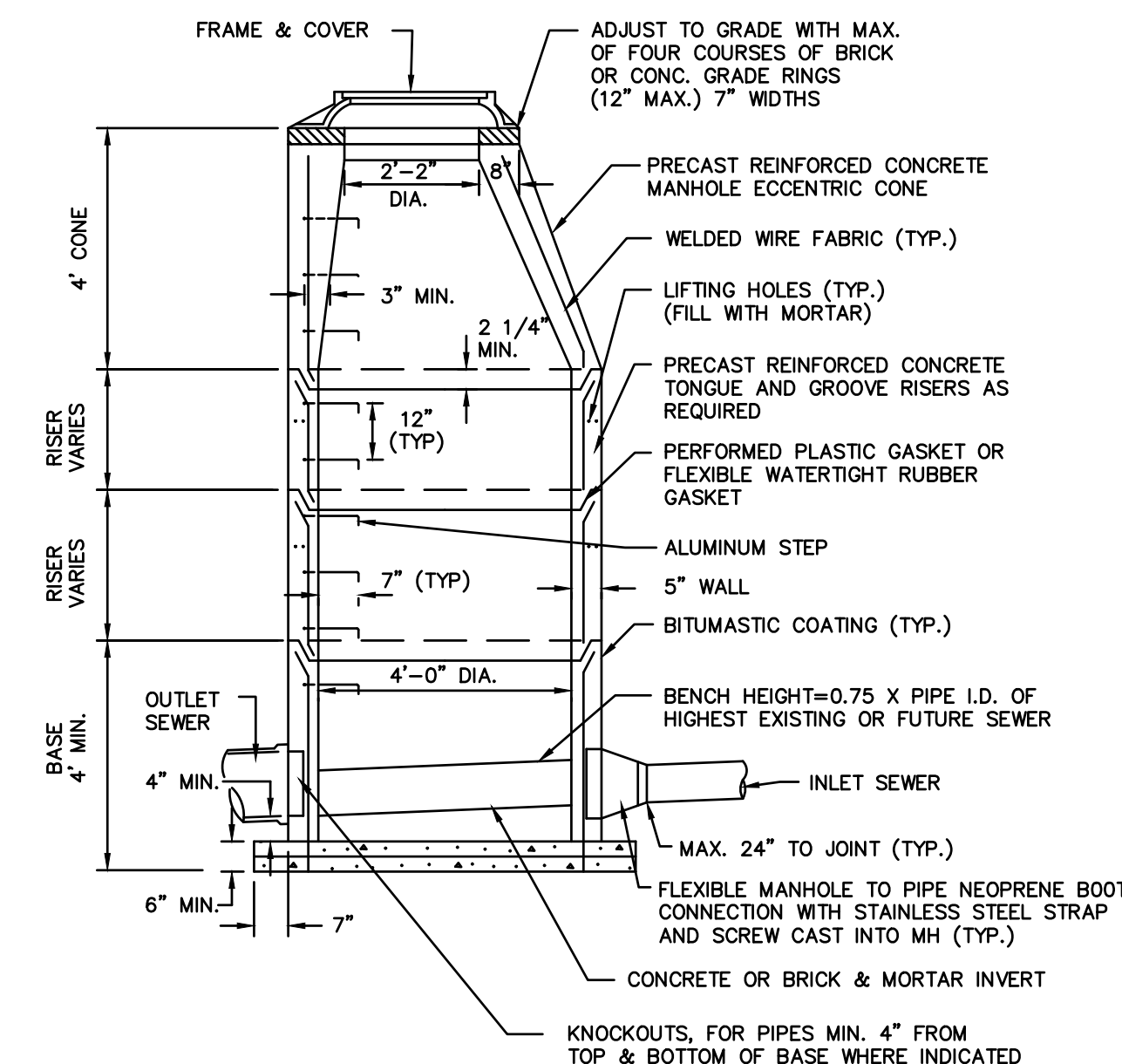
HYDRANT DETAIL WITH GATE BOX

N.T.S. BLWD-003



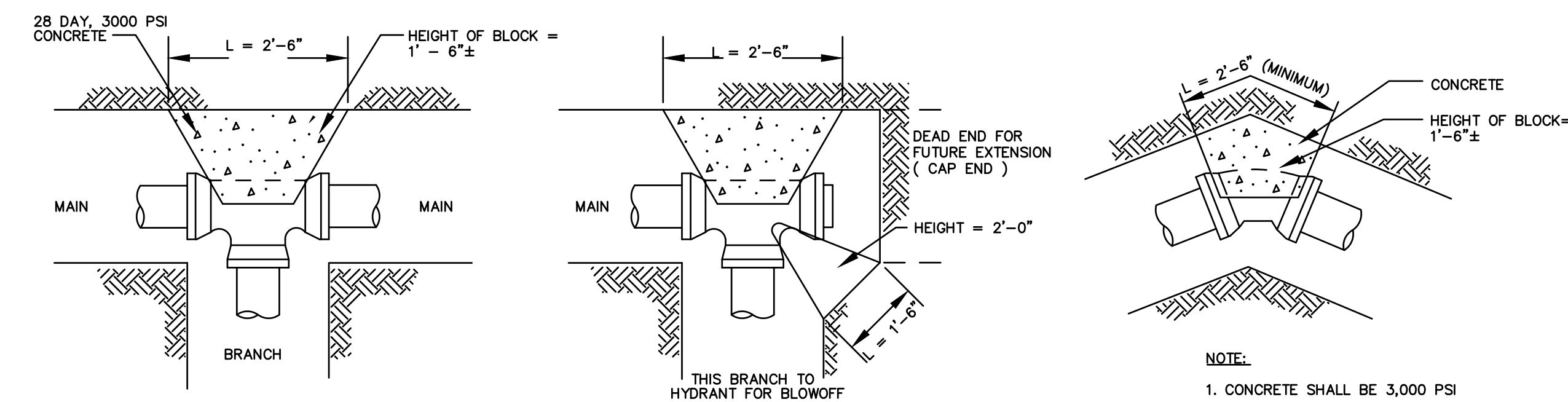
TYPICAL GATE VALVE AND VALVE BOX DETAIL

N.T.S. BLWD-002



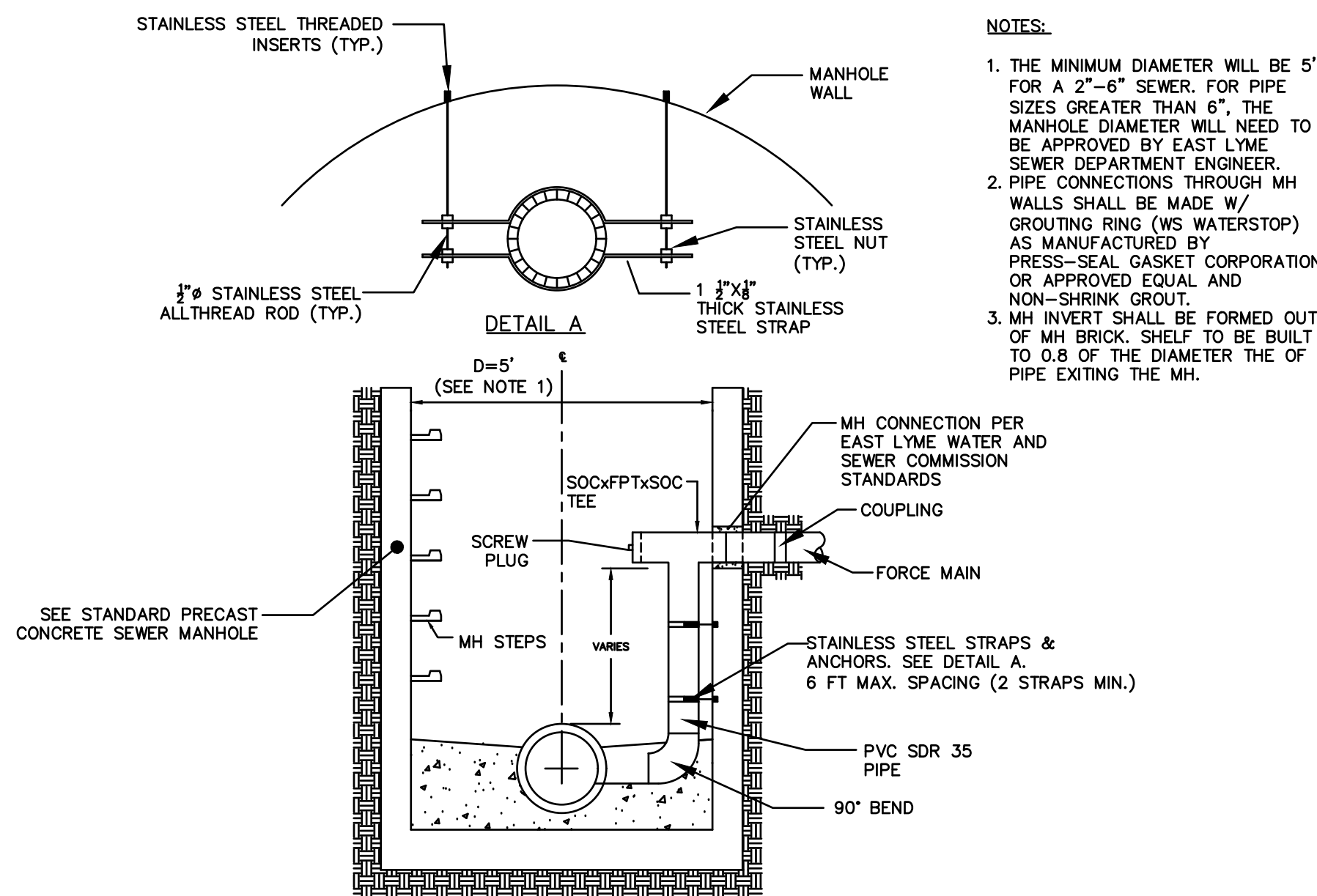
PRECAST SANITARY MANHOLE

N.T.S. BLSS-001



THRUST BLOCKS FOR WATER LINES

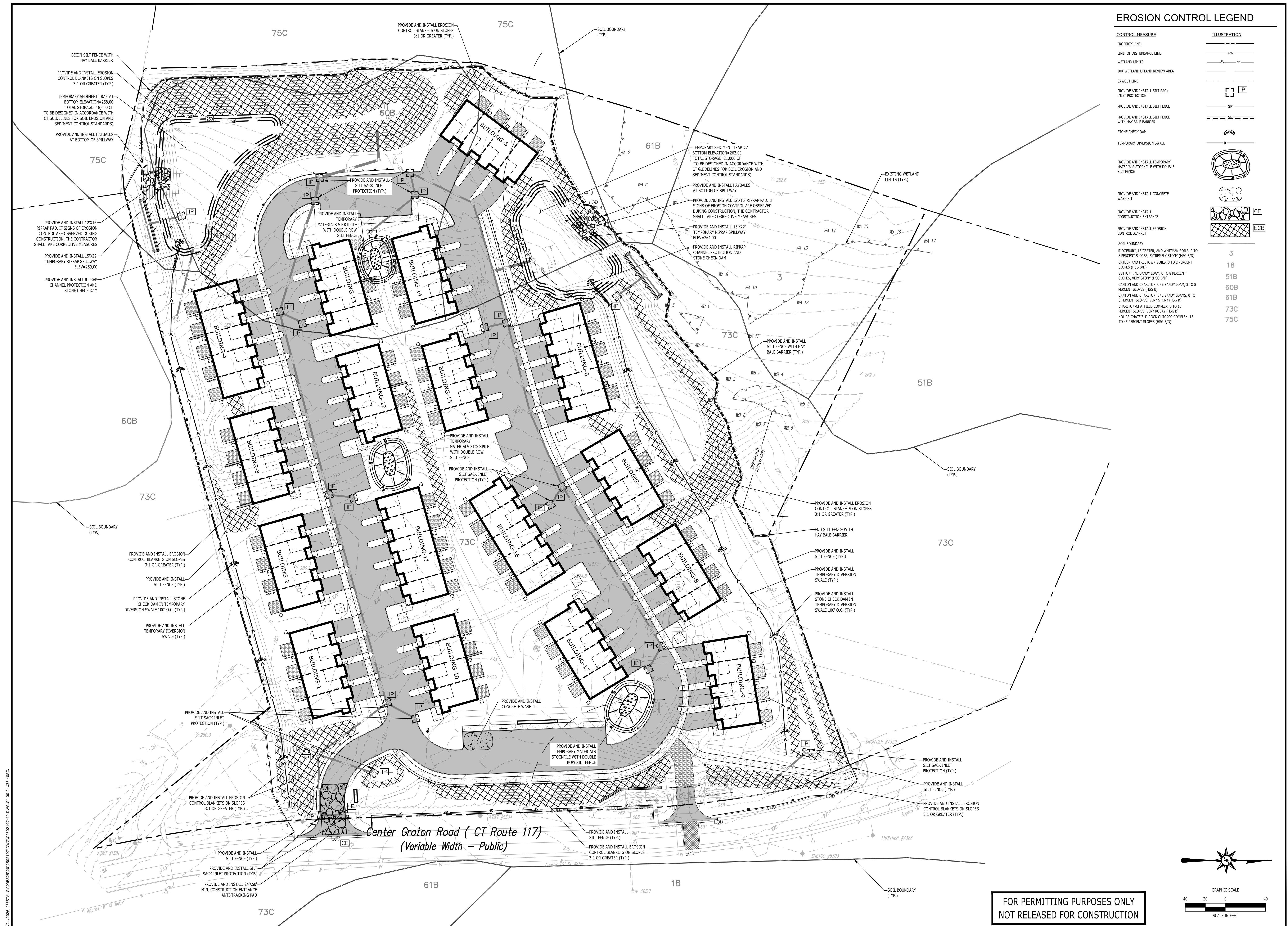
N.T.S. BLWD-001



TYPICAL FORCE MAIN DROP CONNECTION TO MANHOLE

N.T.S. SD523-13

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NOT RELEASED FOR CONSTRUCTION



EROSION CONTROL LEGEND

| CONTROL MEASURE | ILLUSTRATION |
|---|--------------|
| PROPERTY LINE | |
| LIMIT OF DISTURBANCE LINE | |
| WETLAND LIMITS | |
| 100' WETLAND UPLAND REVIEW AREA | |
| SAWCUT LINE | |
| PROVIDE AND INSTALL SILT SACK INLET PROTECTION | |
| PROVIDE AND INSTALL SILT FENCE | |
| PROVIDE AND INSTALL SILT FENCE WITH HAY BALE BARRIER | |
| STONE CHECK DAM | |
| TEMPORARY DIVERSION SWALE | |
| PROVIDE AND INSTALL TEMPORARY MATERIALS STOCKPILE WITH DOUBLE SILT FENCE | |
| PROVIDE AND INSTALL CONCRETE WASH PIT | |
| PROVIDE AND INSTALL CONSTRUCTION ENTRANCE | |
| PROVIDE AND INSTALL EROSION CONTROL BLANKET | |
| SOIL BOUNDARY | |
| RIDGEURRY, LEICESTER, AND WHITMAN SOILS, 0 TO 8 PERCENT SLOPES, EXTREMELY STONY (HSG B/D) | 3 |
| CADEN AND FREETOWN SOILS, 0 TO 2 PERCENT SLOPES (HSG B/D) | 18 |
| SUTTON FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES, VERY STONY (HSG B/D) | 51B |
| CANTON AND CHARLTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES (HSG B) | 60B |
| CANTON AND CHARLTON FINE SANDY LOAMS, 0 TO 8 PERCENT SLOPES, VERY STONY (HSG B) | 61B |
| CHARLTON-CHATHFIELD COMPLEX, 0 TO 15 PERCENT SLOPES, VERY ROCKY (HSG B) | 73C |
| HOLDS-CHATEL-ROCK OUTCROP COMPLEX, 15 TO 45 PERCENT SLOPES (HSG B/D) | 75C |

**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1947 CENTER GROTON ROAD
LEDYARD, CT 06339

REVISIONS

| No. | Date | Description |
|-----|------------|---|
| 1 | 04/22/2026 | REVISED GRADING AND DRAINAGE PER GEOTECHNICAL TESTING |
| 2 | 05/04/2026 | REVISED PER GROTON UTILITIES COMMENTS |
| 3 | 05/21/2026 | REVISED UTILITY PLAN & PER ENGINEERING COMMENTS |

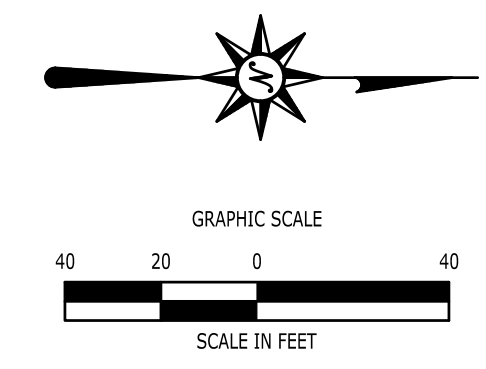
| | |
|-------------|-------------|
| Designed | M.A.G. |
| Drawn | M.A.G. |
| Reviewed | R.M.R. |
| Scale | 1"=40' |
| Project No. | 2502197 |
| Date | 04/01/2026 |
| CAD File: | C2502197-40 |

**EROSION &
SEDIMENT CONTROL
PLAN**

Sheet No.

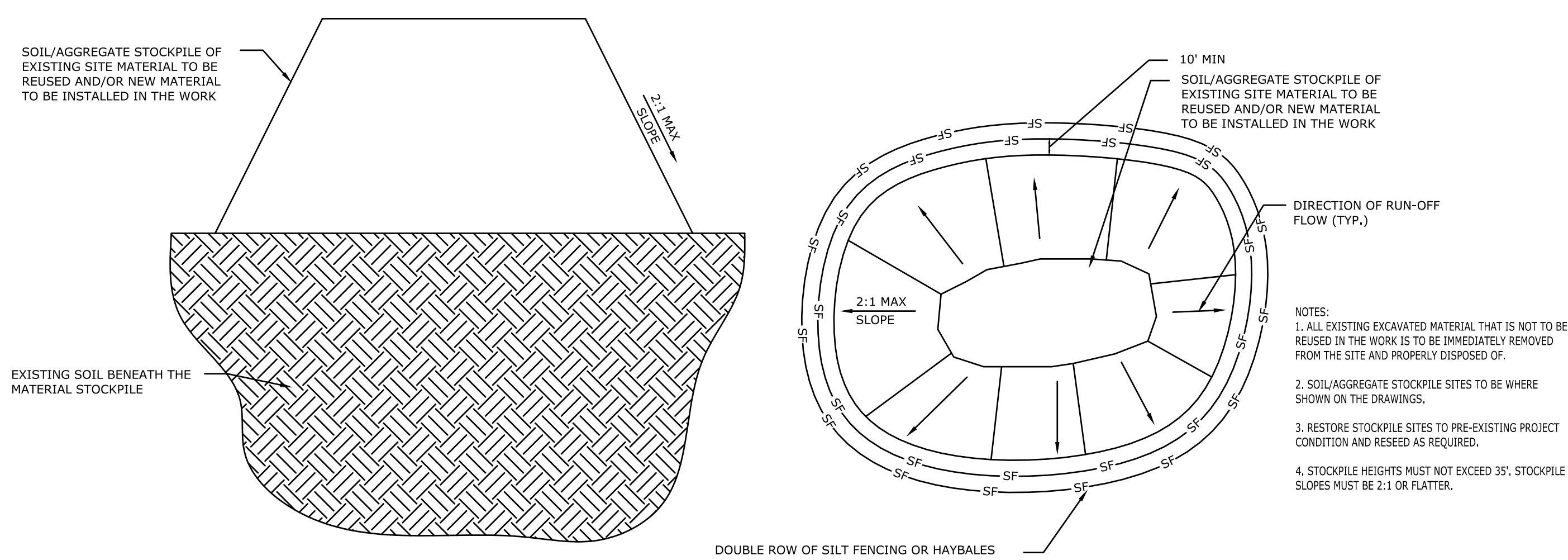
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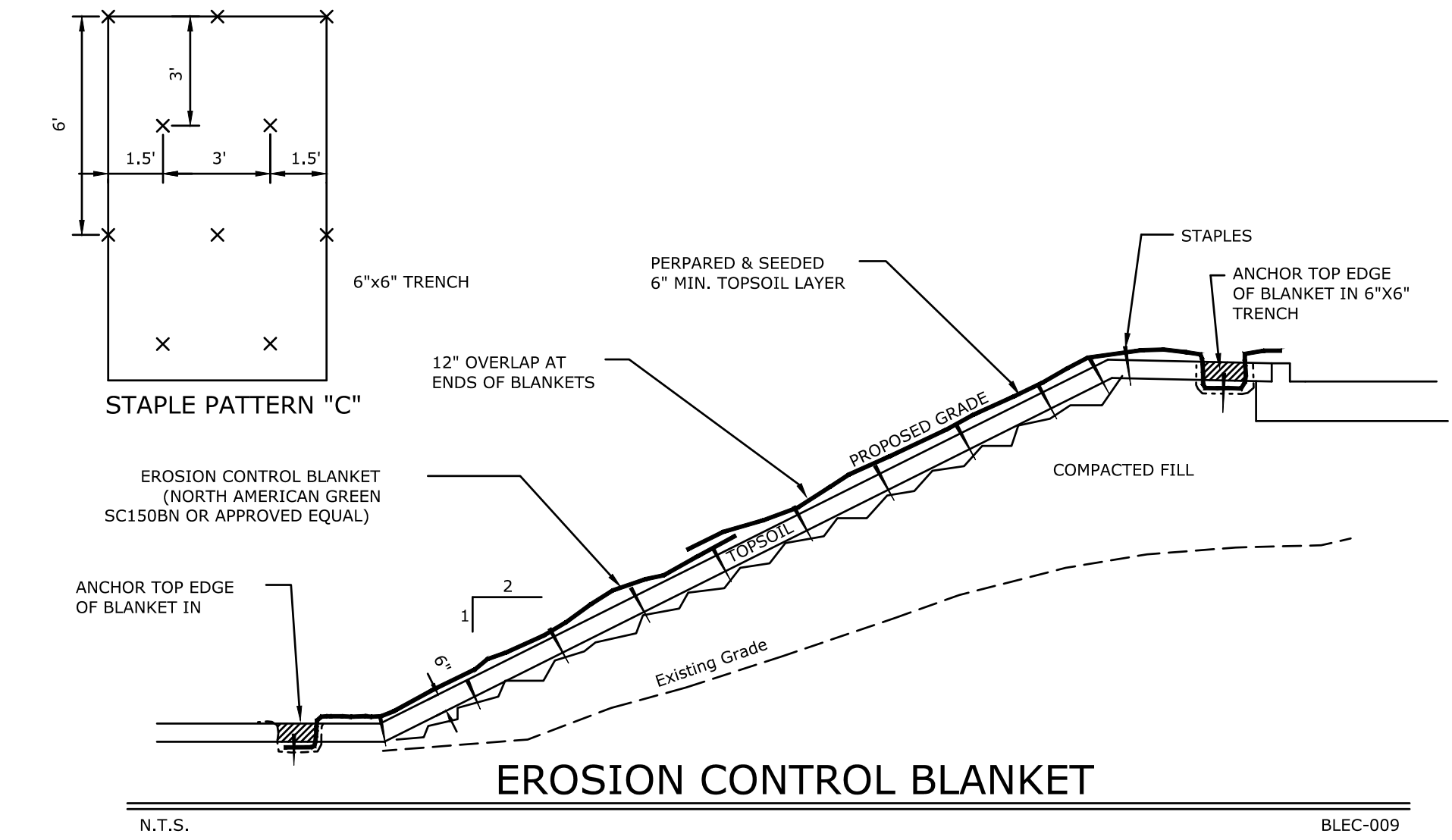


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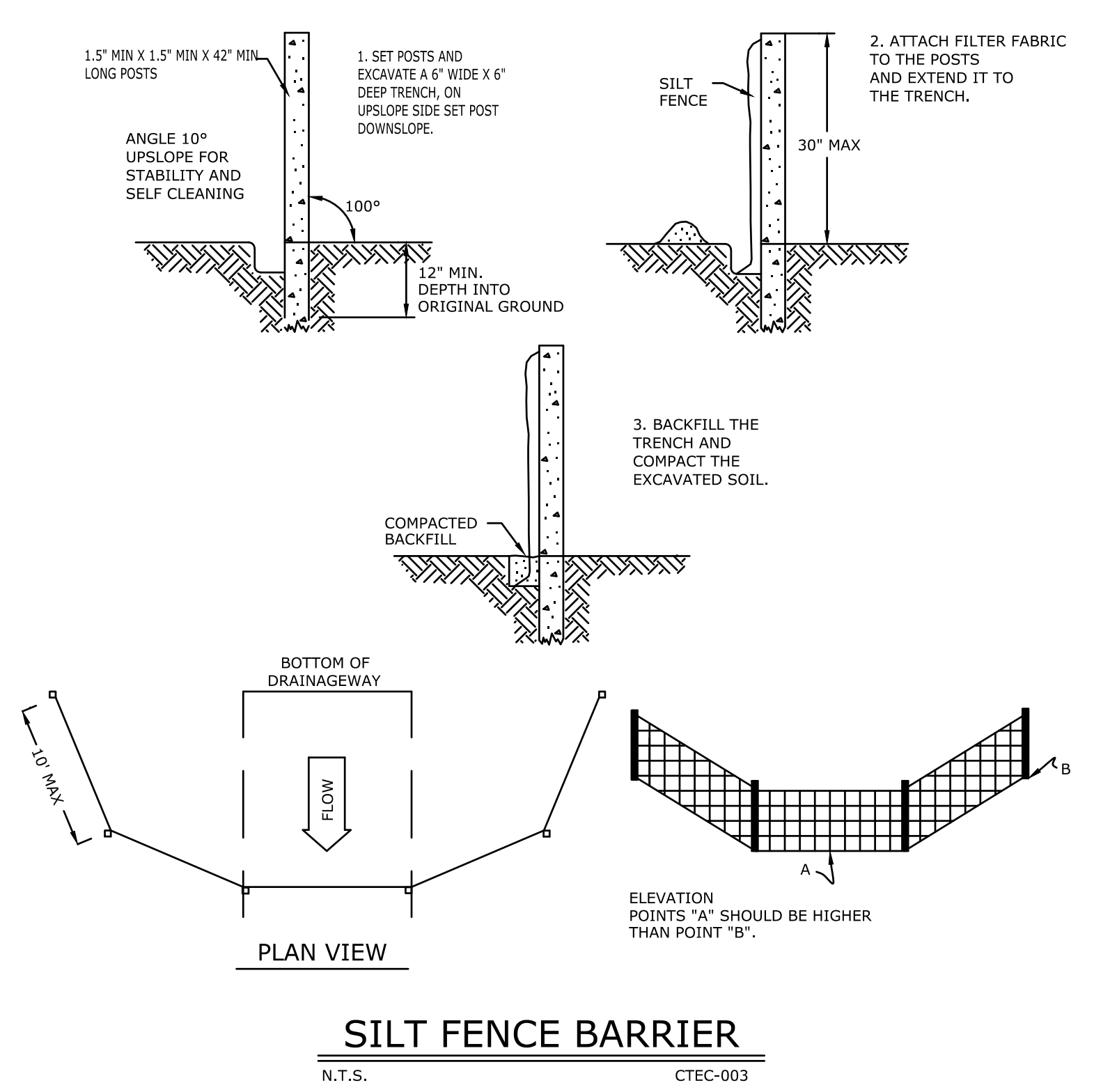
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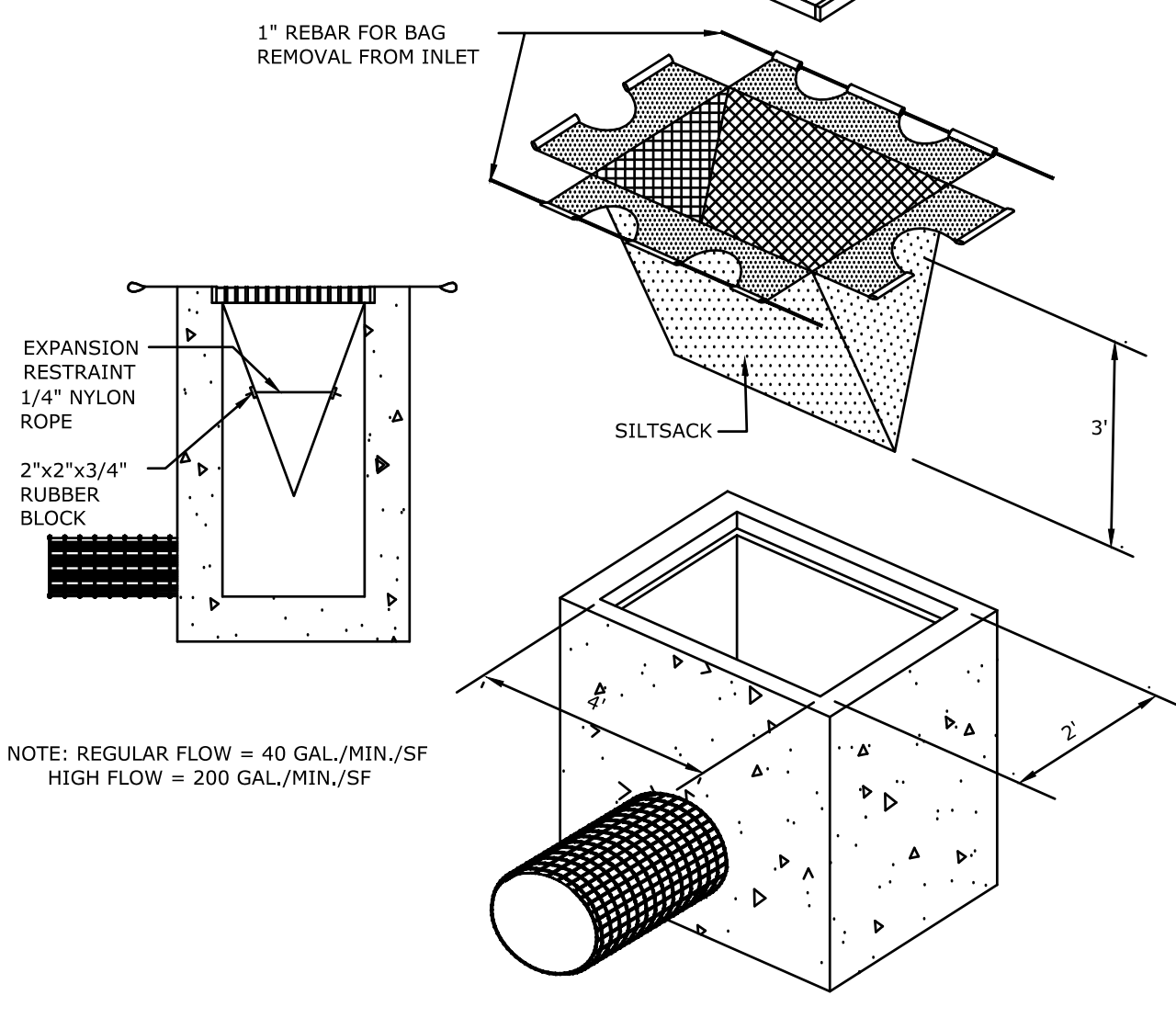
MATERIALS STOCKPILE DETAIL
N.T.S. BLEC-006



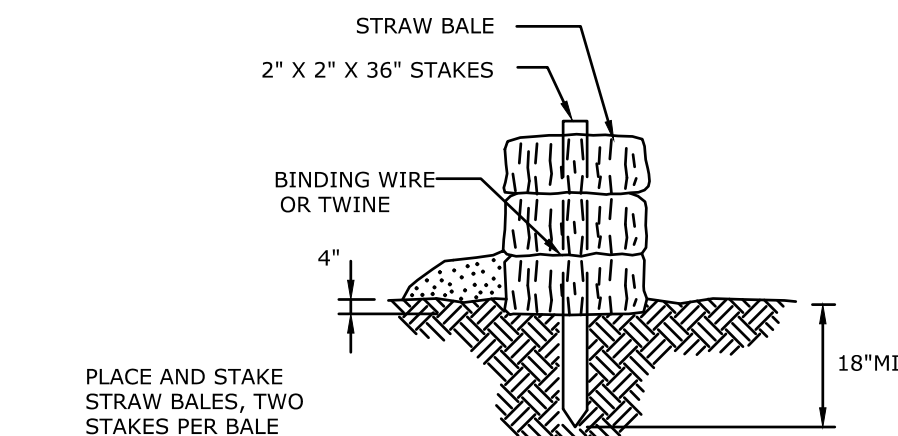
EROSION CONTROL BLANKET
N.T.S. BLEC-009



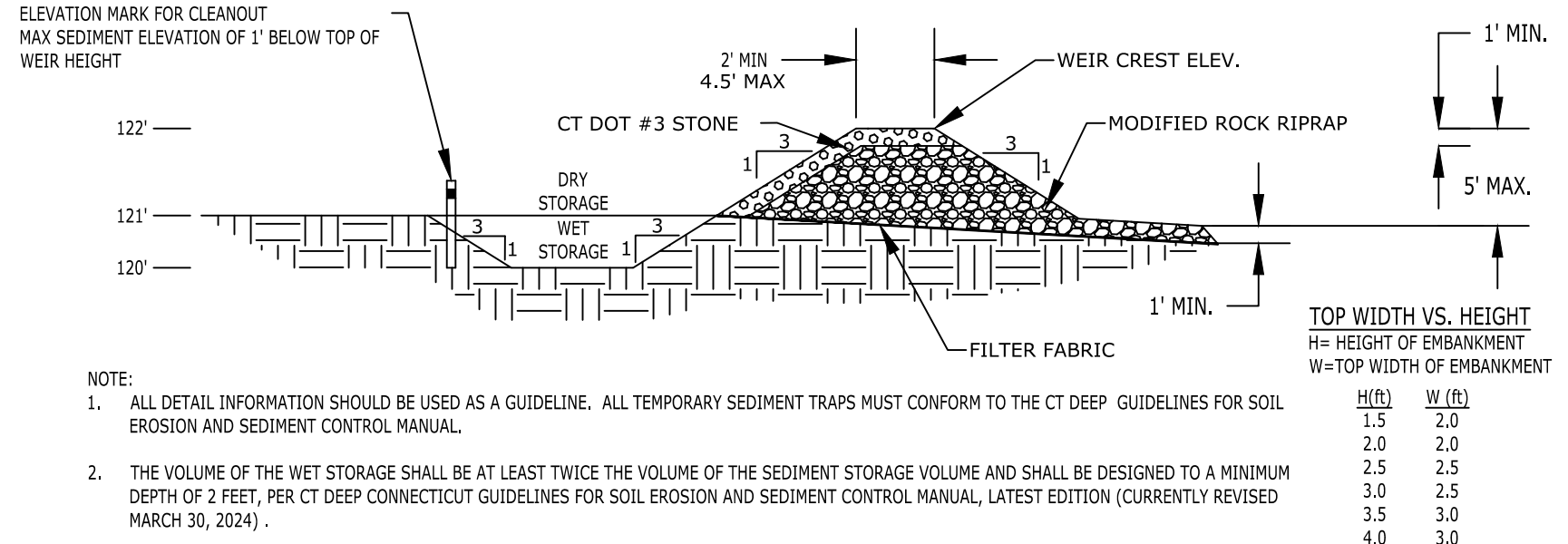
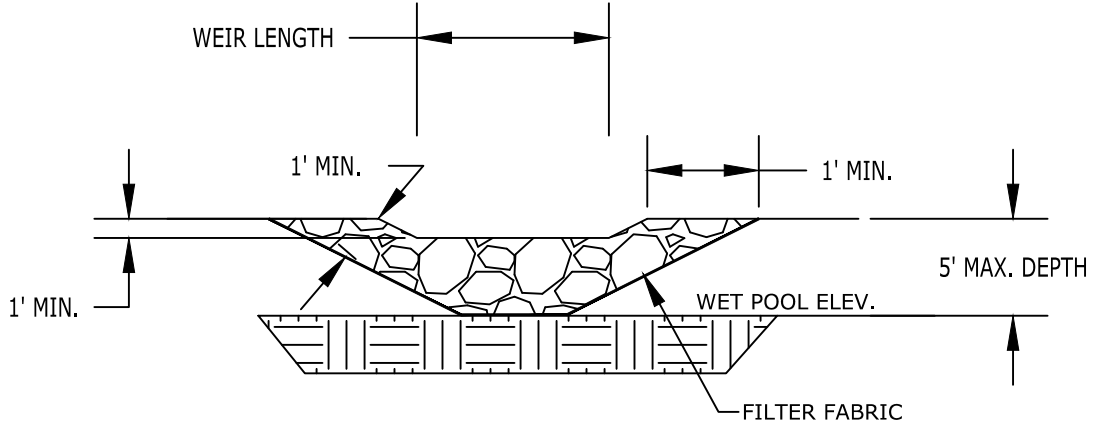
SILT FENCE BARRIER
N.T.S. CTEC-003



SILTSACK DETAIL
N.T.S. BLEC-005



HAY BALE DETAIL
N.T.S. BLEC-007



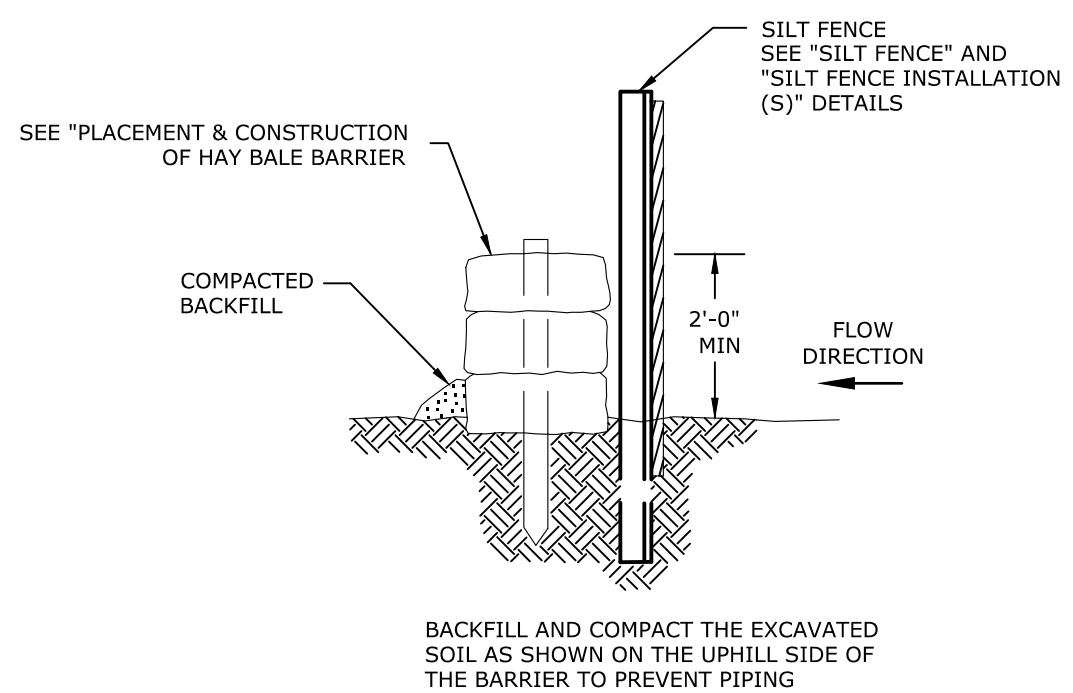
TEMP. SEDIMENT TRAP #1

| ELEVATION (FEET) | SURFACE AREA (SF) | INC. STORAGE (CF) | CUM. STORAGE (CF) |
|------------------|-------------------|-------------------|-------------------|
| 258.0 | 7,905 | 0 | 0 |
| 259.0 | 9,154 | 8,530 | 8,530 |
| 260.0 | 10,460 | 9,807 | 18,337 |

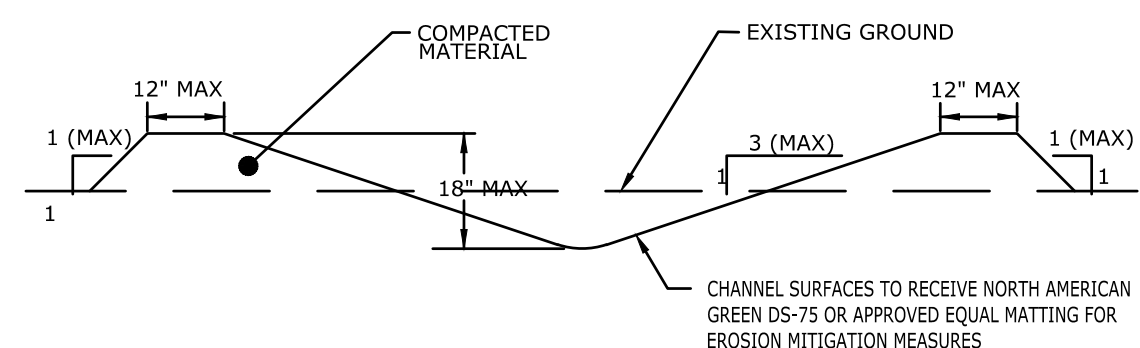
TEMP. SEDIMENT TRAP #2

| ELEVATION (FEET) | SURFACE AREA (SF) | INC. STORAGE (CF) | CUM. STORAGE (CF) |
|------------------|-------------------|-------------------|-------------------|
| 262.0 | 5,602 | 0 | 0 |
| 263.0 | 6,524 | 6,063 | 6,063 |
| 264.0 | 7,502 | 7,013 | 13,076 |
| 265.0 | 8,537 | 8,020 | 21,096 |

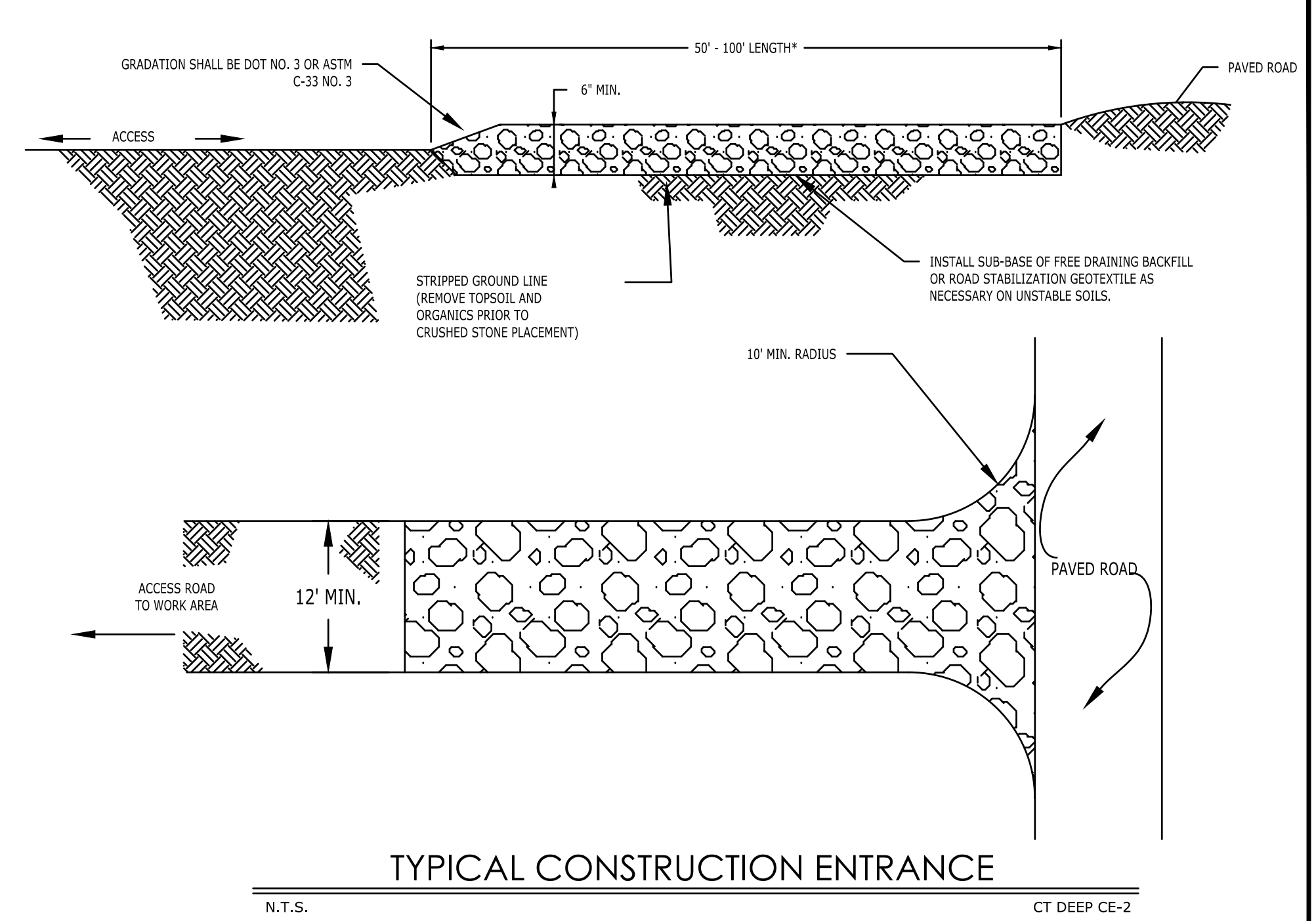
TEMPORARY SEDIMENT TRAP
N.T.S. BLEC-002



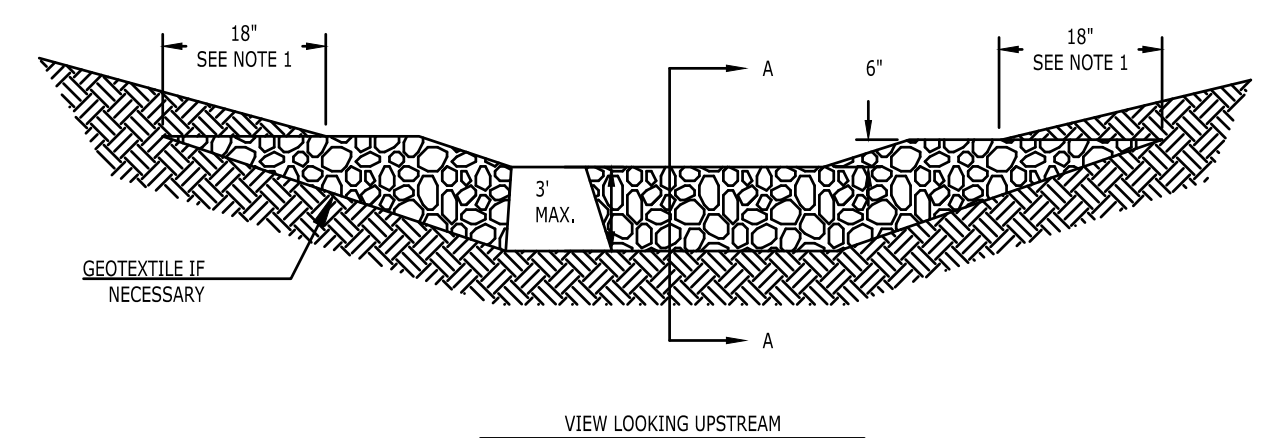
SILT FENCE WITH HAY BALE BARRIER
N.T.S. ZEC-003



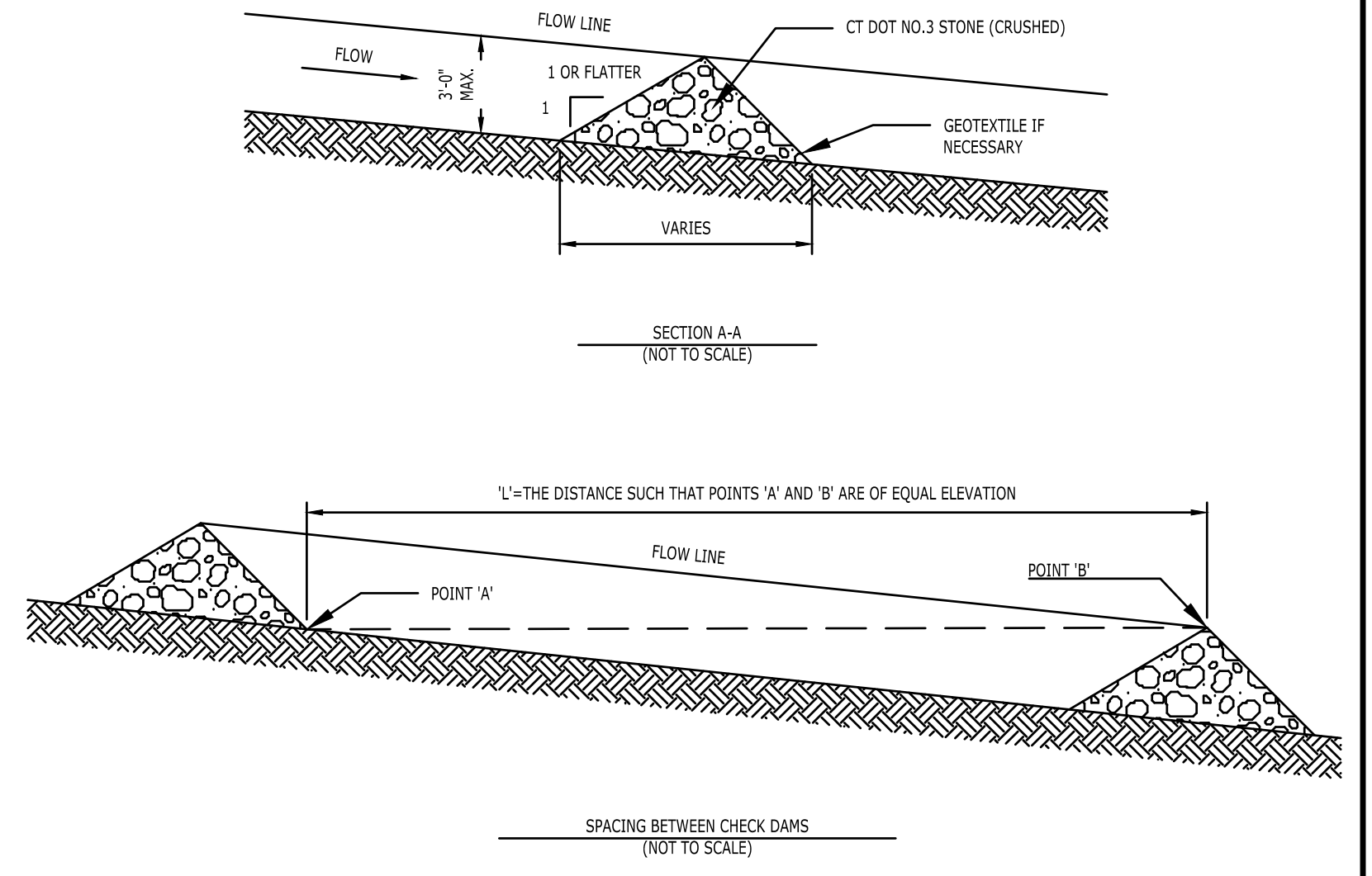
NON-ENGINEERED TEMPORARY DIVERSION DITCH DETAIL
N.T.S.



TYPICAL CONSTRUCTION ENTRANCE
N.T.S. CT DEEP CE-2



VIEW LOOKING UPSTREAM
(NOT TO SCALE)



STONE CHECK DAM INSTALLATION IN DRINGAGWAYS
N.T.S. FIGURE SCD-2

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



LANDSCAPE REQUIREMENTS INFORMATION

| LOCATION: LEDYARD, CT | | | | |
|--|---|---|---|----------|
| ZONE: LCDD (LEDYARD CENTER DEVELOPMENT DISTRICT) | | | | |
| USE: TOWNHOMES (AS A RIGHT), SITE PLAN APPROVAL | | | | |
| ITEM # | ITEM | REQUIREMENTS | PROPOSED | VARIANCE |
| 1 | PUBLIC OR PRIVATE UTILITY INSTALLATIONS ZONING REGULATIONS-SEC. 8.27.A.2. | ANY EQUIPMENT OR UTILITY FACILITIES NOT LOCATED IN A BUILDING SHALL BE ENCLOSED ON ALL SIDES BY EVERGREEN SHRUBS OR TREES, OR BY BUILDINGS, FENCES, WALLS OR EMBANKMENTS SO AS TO BE SCREENED FROM VIEW FROM ANY OTHER LOT OR FROM ANY STREET | EVERGREEN SHRUBS PROP. TO SCREEN ANY EQUIPMENT OR UTILITY FACILITIES. | NO |
| 2 | RESIDENCE, MULTI-FAMILY (APARTMENTS, CONDOMINIUMS, TOWNHOUSES) - BUFFERS ZONING REGULATIONS-SEC. 8.28.D.1. | A SUITABLE LANDSCAPED BUFFER STRIP NOT LESS THAN 10 FEET WIDE SHALL BE PROVIDED ALONG THE PARCEL'S SIDE AND REAR BOUNDARY LINES. | MINIMUM 10 FEET WIDE BUFFER AREA PROP. ALONG THE PARCEL'S SIDE AND REAR BOUNDARY LINES. | NO |
| 3 | PERIMETER LANDSCAPE AREA REQUIREMENTS ZONING REGULATIONS-SEC. 9.3.C. | THE LANDSCAPED AREAS SHALL BE A MINIMUM OF 10 FEET IN WIDTH BETWEEN ADJACENT PROPERTIES | MINIMUM 10 FEET WIDE BUFFER AREA PROP. ALONG THE PARCEL'S SIDE AND REAR BOUNDARY LINES. | NO |
| 4 | PARKING FACILITIES - OTHER STANDARDS ZONING REGULATIONS-SEC. 9.4.4.C.3. | ALL INTERIOR LANDSCAPED ISLANDS SHALL BE A MINIMUM WIDTH OF 18 FEET | COMPLIES. ALL INTERIOR LANDSCAPED ISLANDS HAVE A MINIMUM WIDTH OF 18 FEET. | NO |
| 5 | PARKING LOT LANDSCAPING REQUIREMENTS ZONING REGULATIONS-SEC. 9.4.6. | ANY LOT THAT CONTAINS PARKING FACILITIES FOR MORE THAN 10 CARS SHALL PROVIDE LANDSCAPED END ISLANDS AND AT LEAST 1 LANDSCAPED CENTER ISLAND (PER 20) WITHIN THE PARKING AREA. | END ISLANDS WITH LANDSCAPING ARE PROVIDED. | NO |

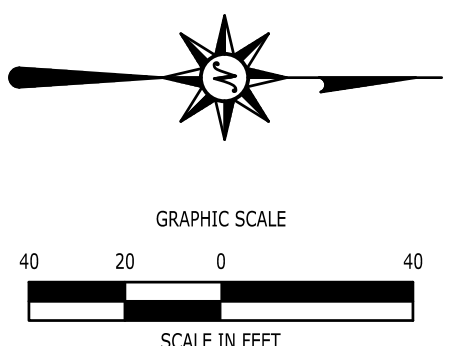
- NOTES:**
- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
 - 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
 - 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.

PLANT SCHEDULE

| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER |
|--------------------|------|---|--------------------------------------|--------------------|-------|-----------|
| TREES | | | | | | |
| AR | 6 | ACER RUBRUM 'FRANK JR.' | REDPOINTE®MAPLE | 2-2.5" CAL. | B&B | |
| AG | 17 | AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' | AUTUMN BRILLIANCE APPLE SERVICEBERRY | 2-2.5" CAL. | B&B | |
| CK | 17 | CORNUS KOUSA | KOUSA DOGWOOD | 2-2.5" CAL. | B&B | |
| MS | 17 | MAGNOLIA STELLATA 'ROYAL STAR' | ROYAL STAR MAGNOLIA | 2-2.5" CAL. | B&B | |
| MX | 21 | MALUS X 'SNOWDRIFT' | SNOWDRIFT CRABAPPLE | 2-2.5" CAL. | B&B | |
| PY | 2 | PRUNUS X YEDOENSIS 'AKEBONO' | AKEBONO YOSHINO CHERRY | 2-2.5" CAL. | B&B | |
| QP | 13 | QUERCUS PALUSTRIS | PIN OAK | 2-2.5" CAL. | B&B | |
| SHRUBS | | | | | | |
| ADV | 96 | AZALEA X 'DELAWARE VALLEY WHITE' | VALLEY WHITE AZALEA | 12"-18" HT. & SPD. | CONT. | |
| IGS | 123 | ILEX CRENATA 'SOFT TOUCH' | SOFT TOUCH JAPANESE HOLLY | 18"-21" HT. & SPD. | CONT. | |
| IGS | 154 | ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY HOLLY | 24"-30" HT. & SPD. | CONT. | |
| IMB | 12 | ILEX X MESERVEAE 'BLUE PRINCESS' | BLUE PRINCESS HOLLY | 24"-36" HT. & SPD. | CONT. | |
| IVS | 108 | ITEA VIRGINICA 'SPRICH' | LITTLE HENRY®SWEETSPIRE | 18"-24" HT. & SPD. | CONT. | |
| SBA | 129 | SPIRAEA X BUMALDA 'ANTHONY WATERER' | ANTHONY WATERER SPIREA | 18"-24" HT. & SPD. | CONT. | |
| GROUNDCOVER | | | | | | |
| HHR | 105 | HEMEROCALLIS X 'HAPPY RETURNS' | HAPPY RETURNS DAYLILY | 1 GAL. | CONT. | |
| JBH | 101 | JUNIPERUS HORIZONTALIS 'BAR HARBOR' | BAR HARBOR CREEPING JUNIPER | 3 GAL. | CONT. | |

LANDSCAPE PLAN LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE LINE
- PROVIDE AND INSTALL LAWN SEED MIX FOR ALL DISTURBED AREA UNLESS OTHERWISE NOTED
- PROVIDE AND INSTALL BASIN SEED MIX
- PROVIDE AND INSTALL CONSERVATION SEED MIX



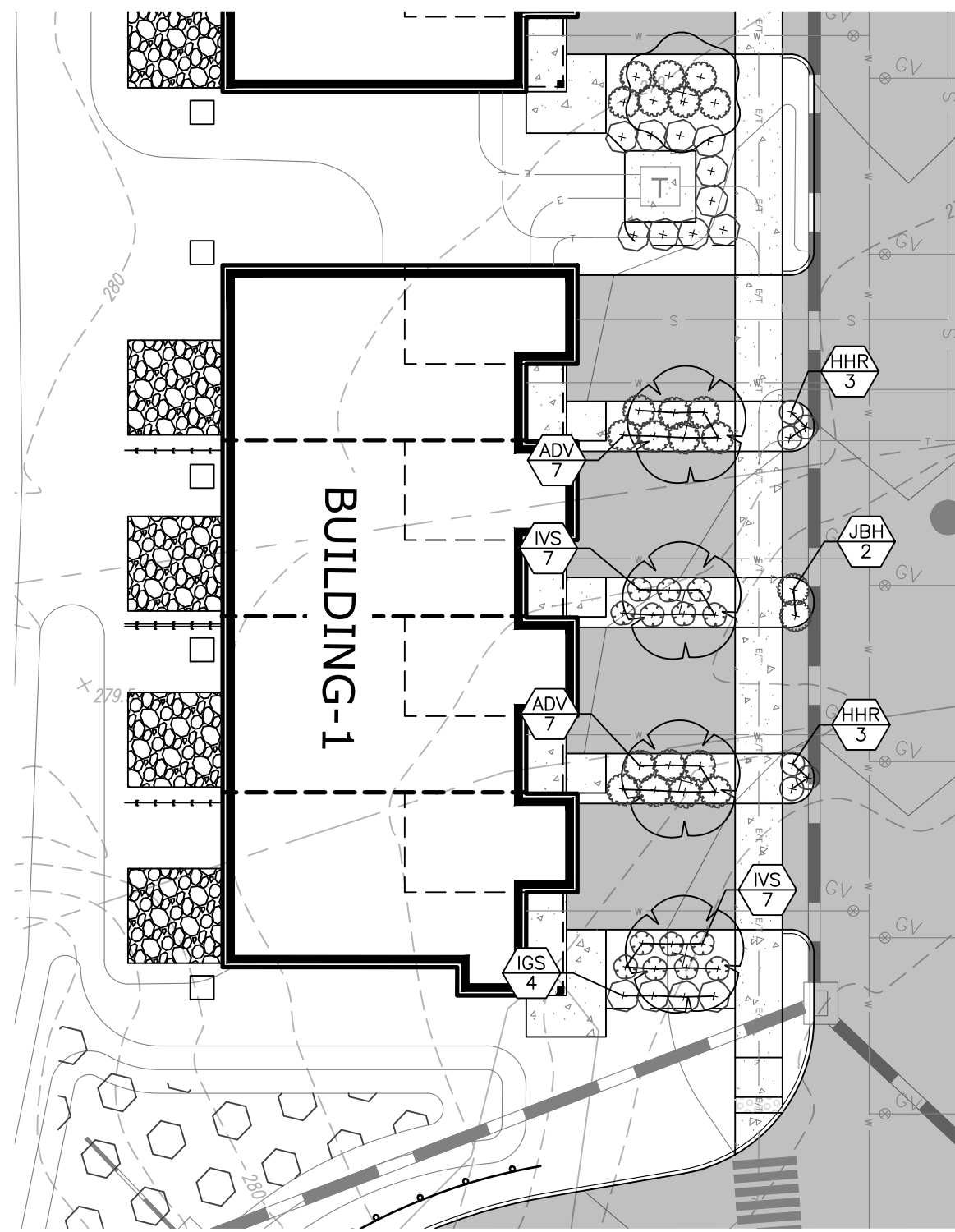
SEE SHEET C5.100 FOR LANDSCAPE NOTES AND DETAILS

SEE SHEET C5.00 FOR DETAILED PLANT SCHEDULE

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION

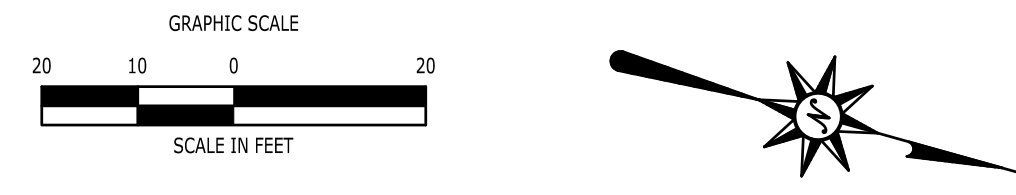
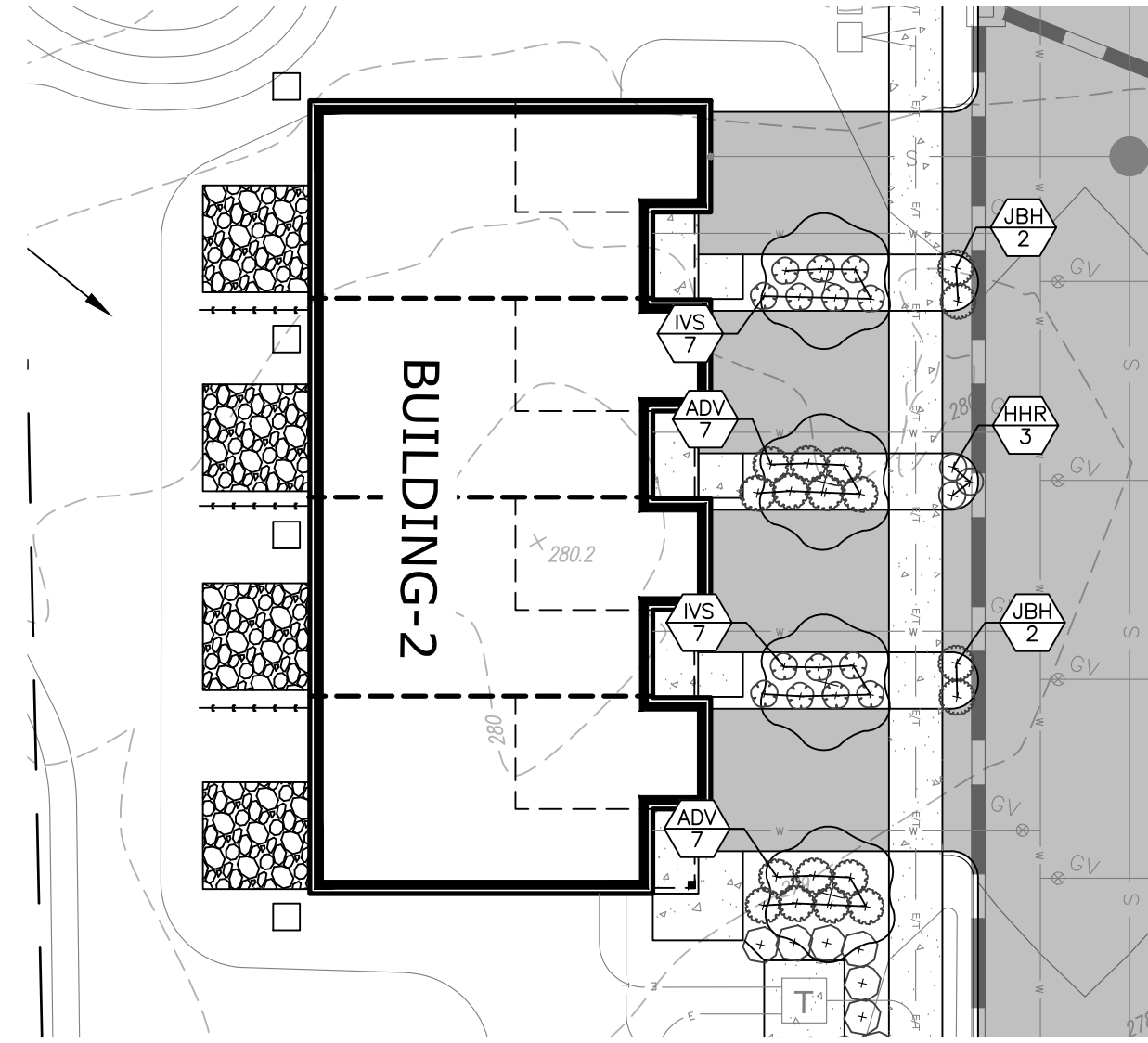
5/21/2026, 11:57:24 AM, J:\ESTATA_G\1008532\2502197\DWG\C2502197-50.DWG, LANDSCAPING PLAN

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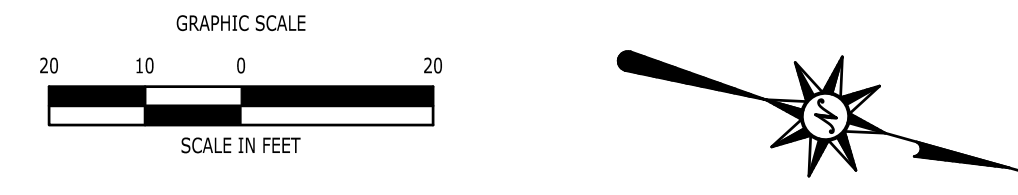
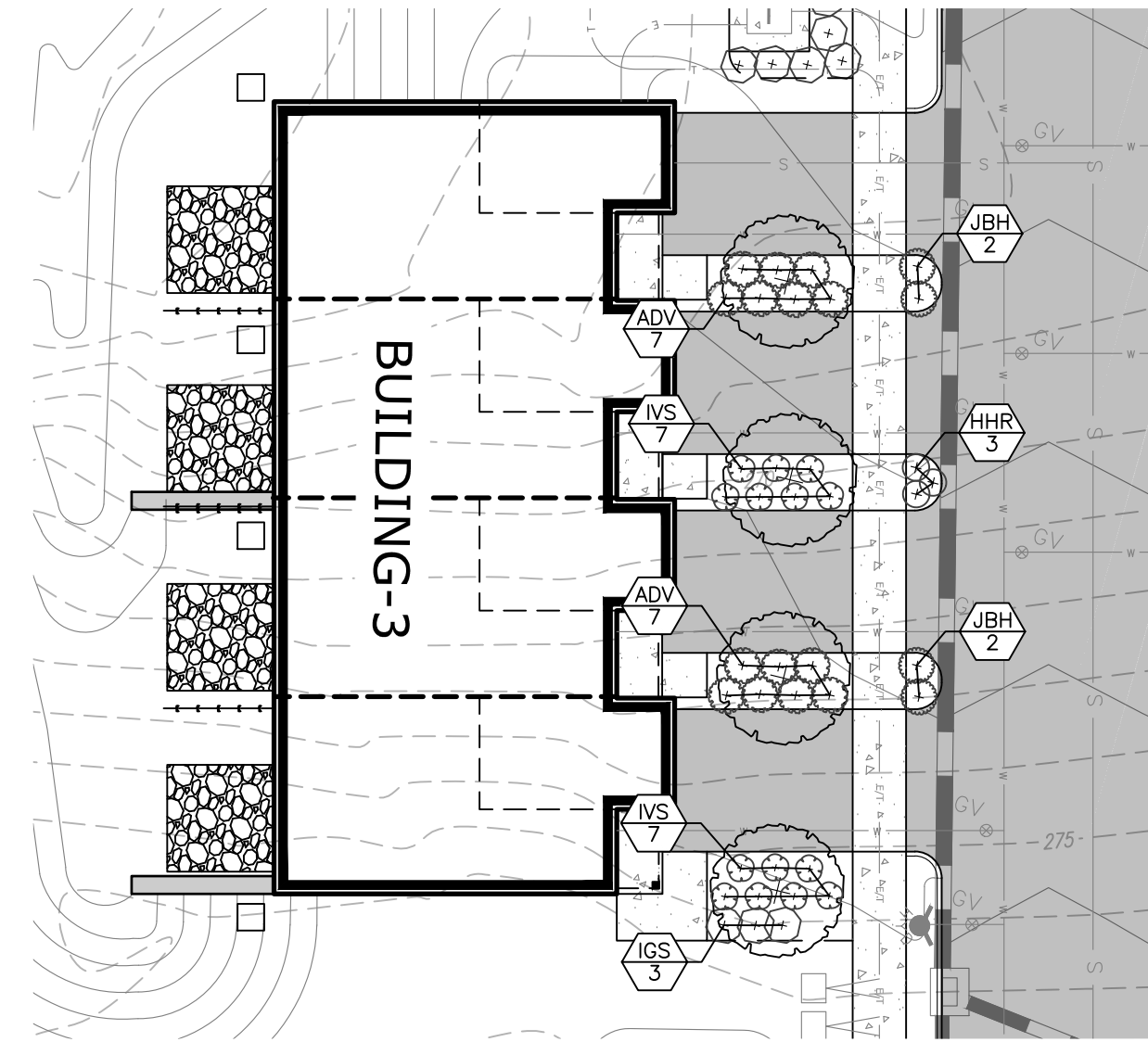
BUILDING 1 ENLARGEMENT

1"=20'



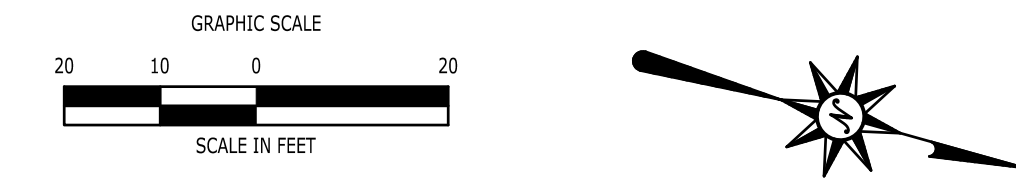
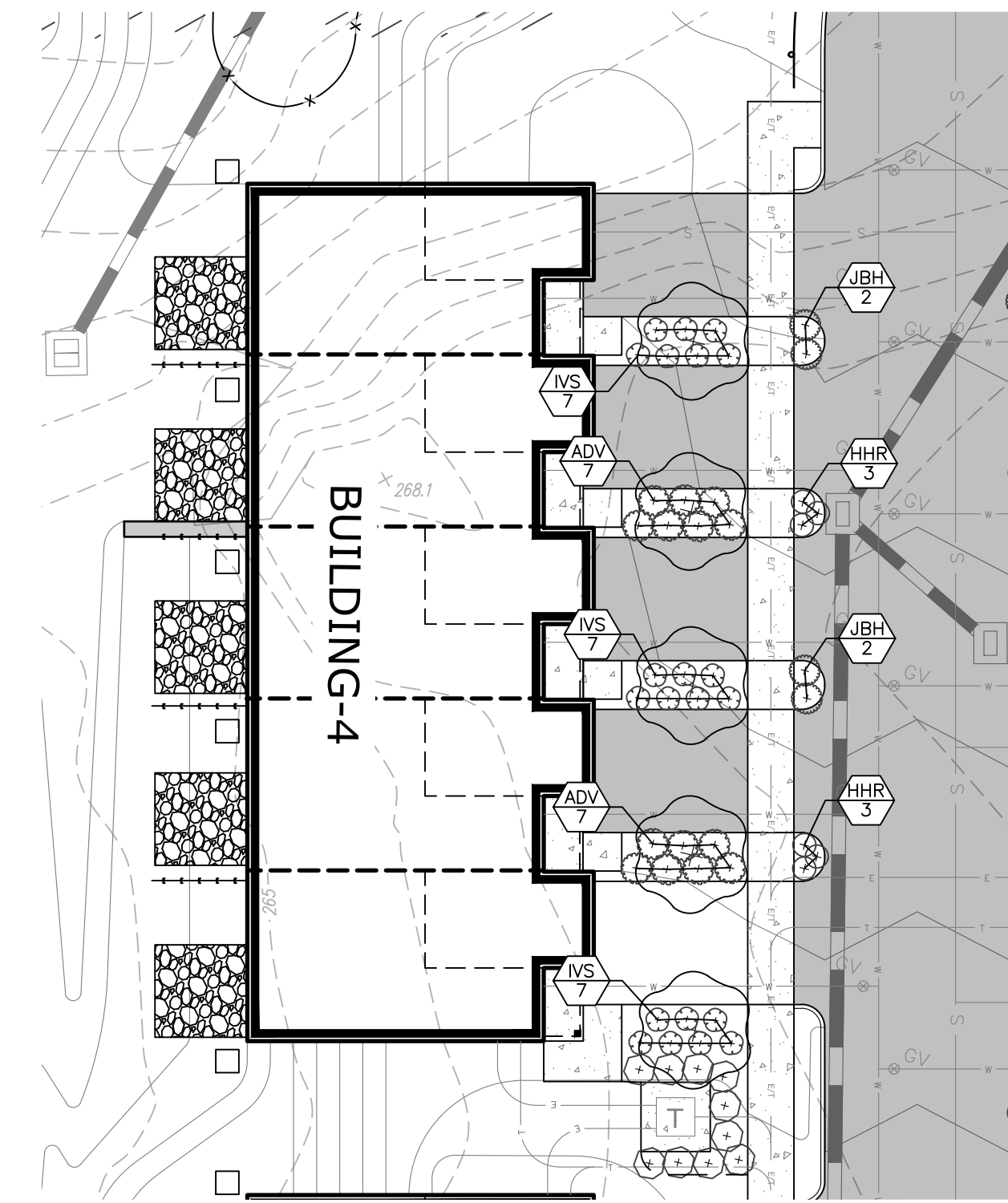
BUILDING 2 ENLARGEMENT

1"=20'



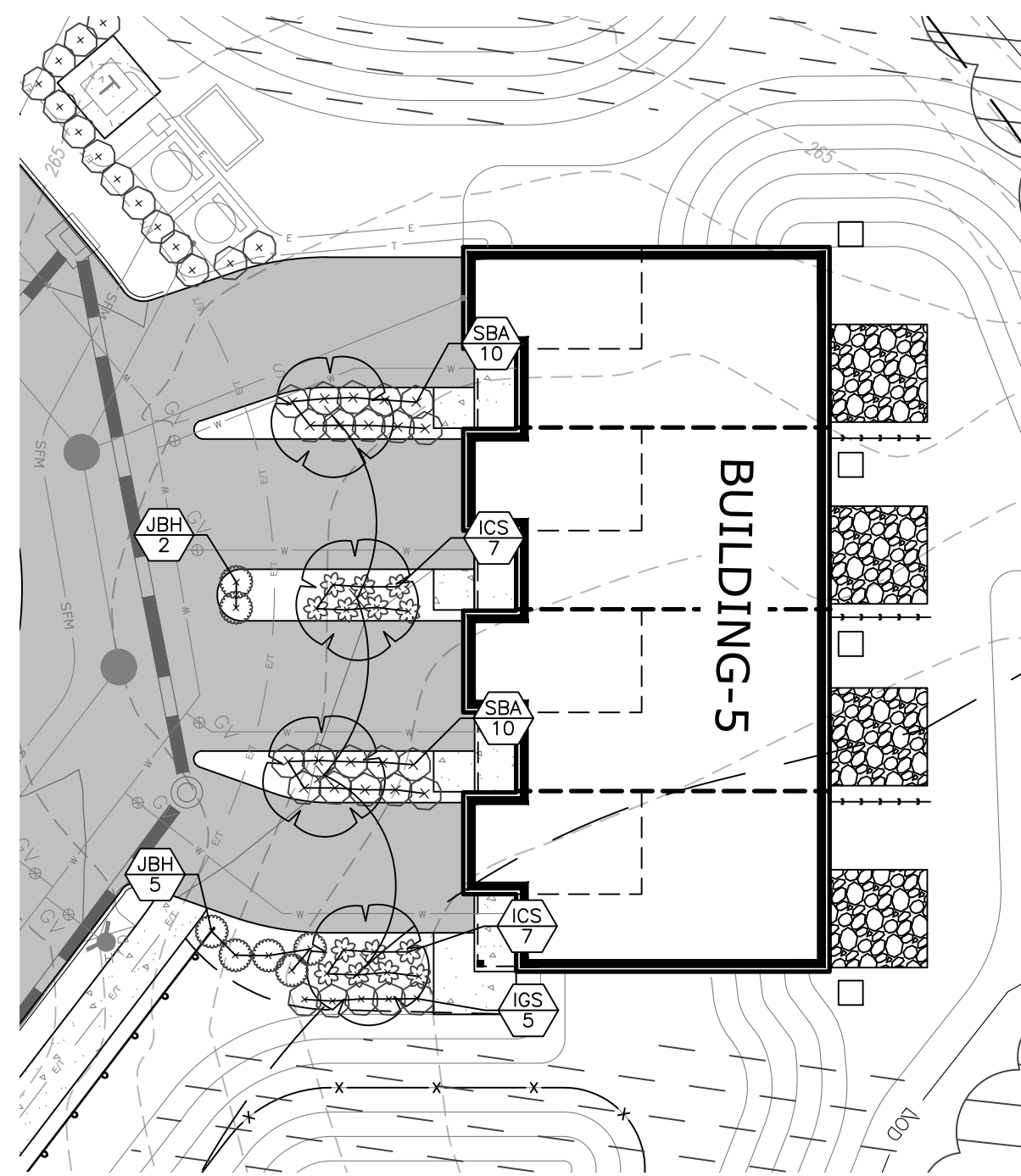
BUILDING 3 ENLARGEMENT

1"=20'



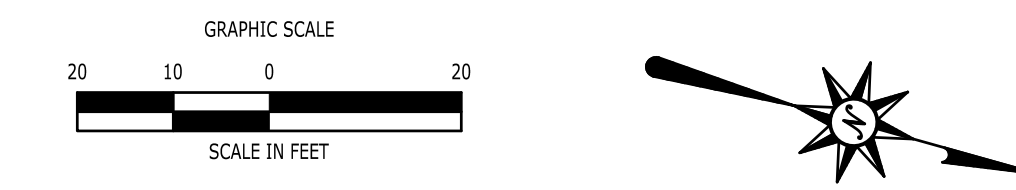
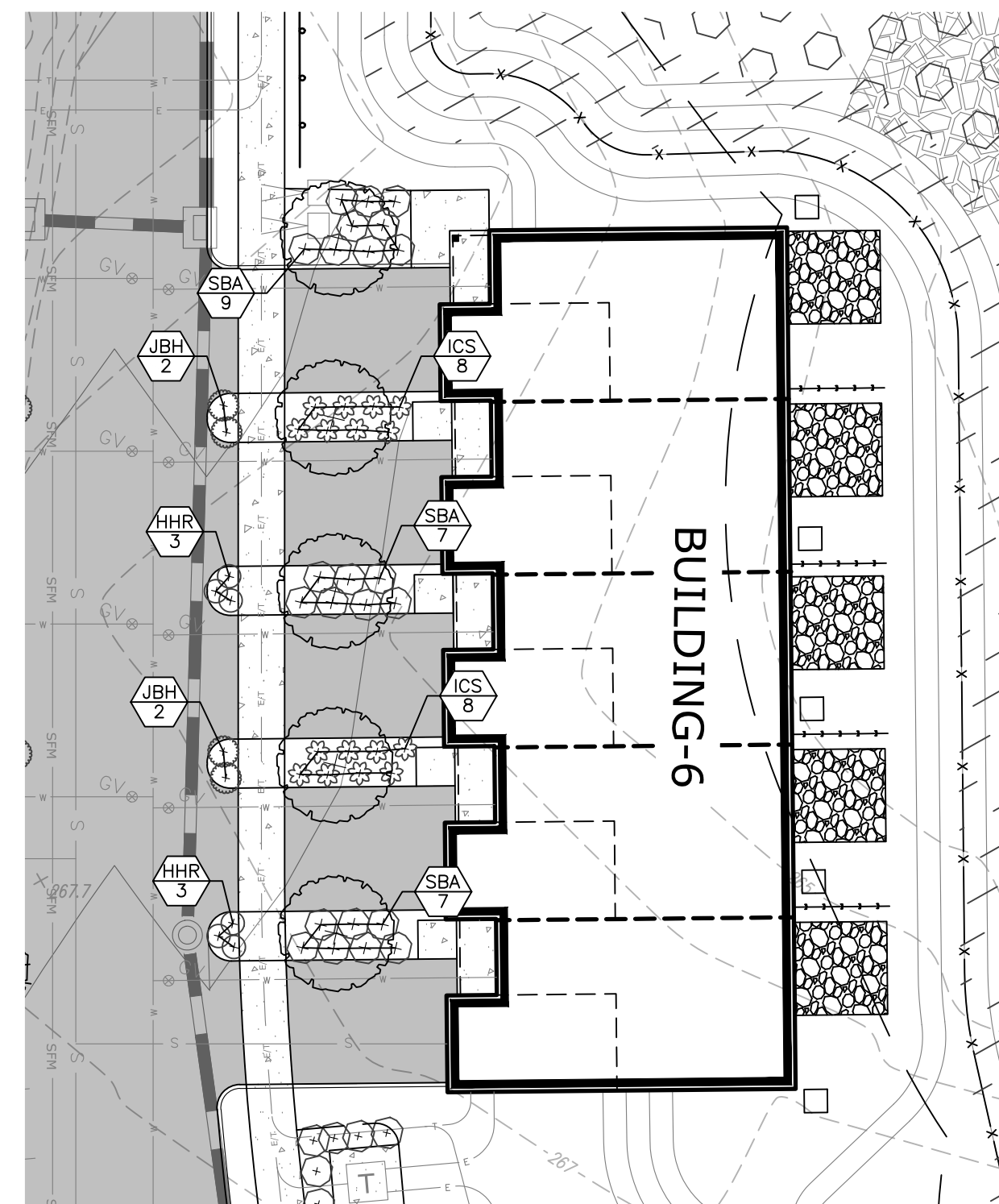
BUILDING 4 ENLARGEMENT

1"=20'



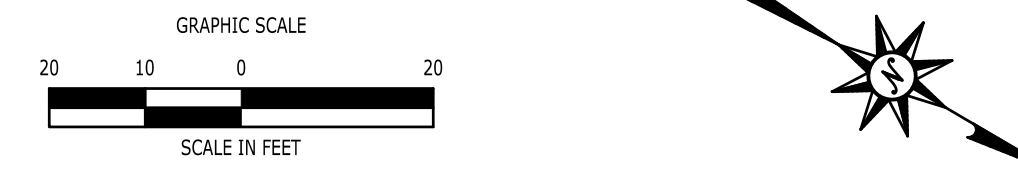
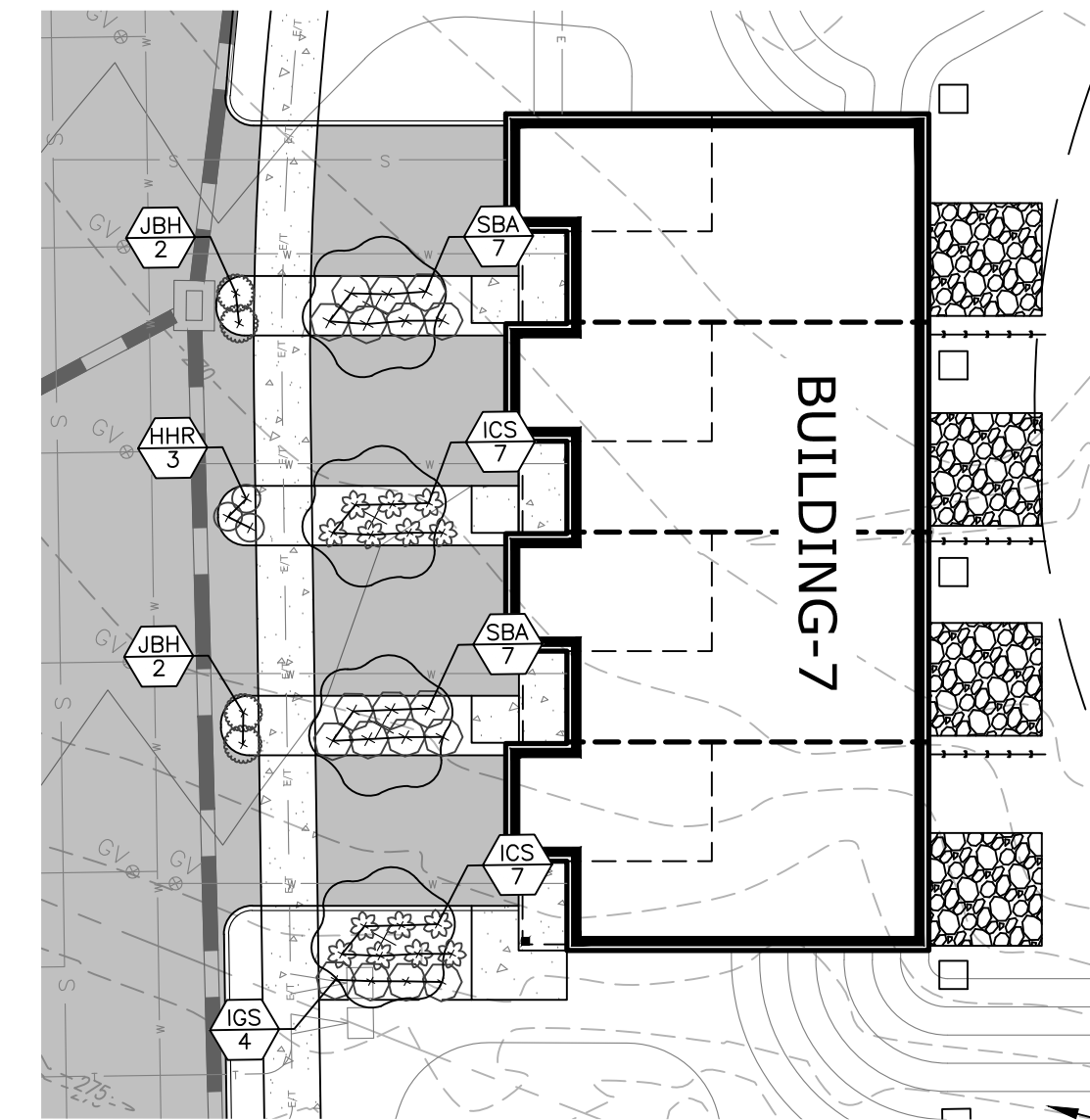
BUILDING 5 ENLARGEMENT

1"=20'



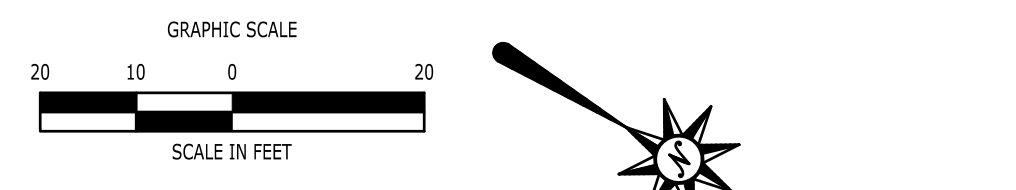
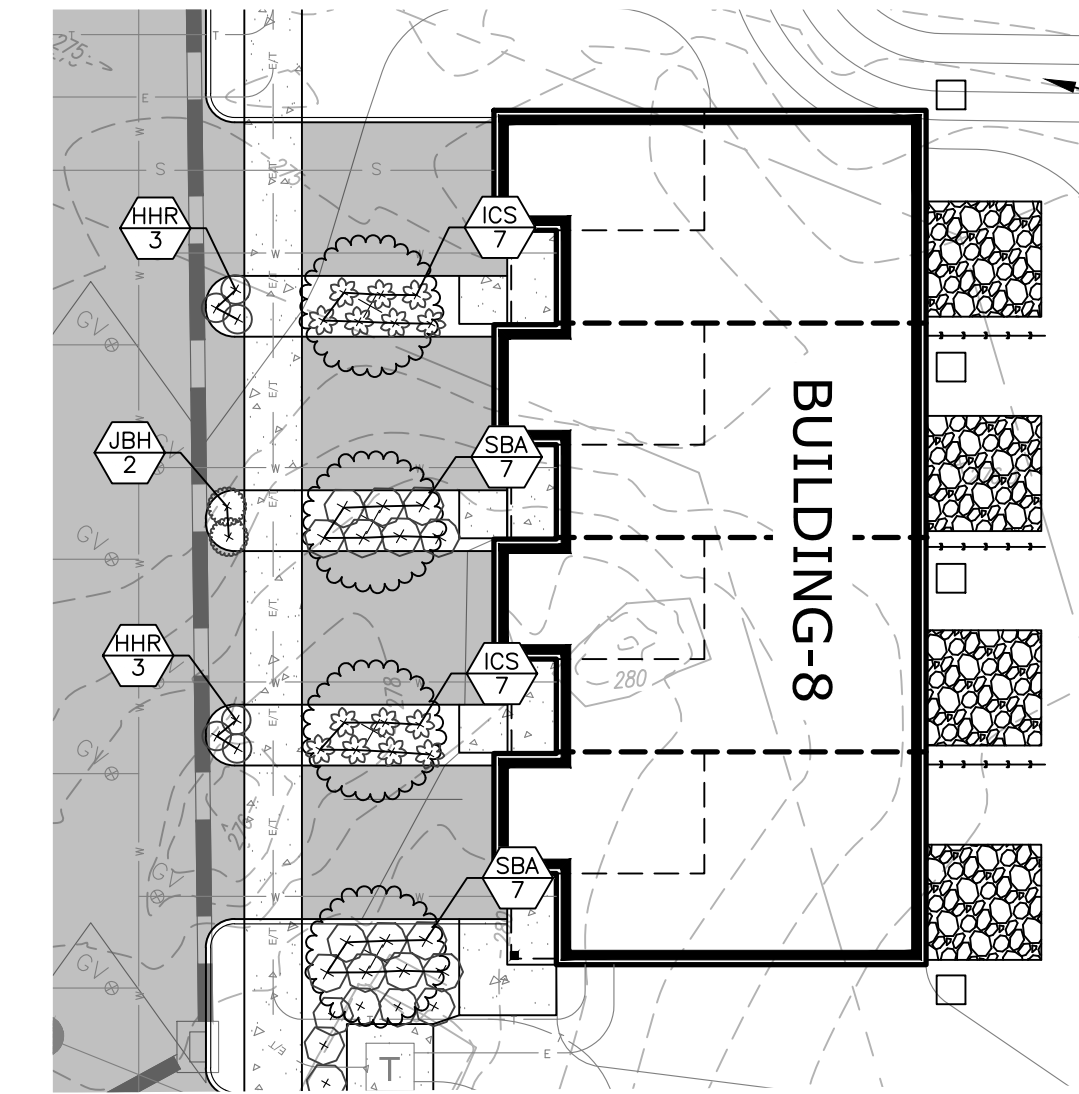
BUILDING 6 ENLARGEMENT

1"=20'



BUILDING 7 ENLARGEMENT

1"=20'



BUILDING 8 ENLARGEMENT

1"=20'

**SEE SHEET C5.100 FOR
LANDSCAPE NOTES AND DETAILS**

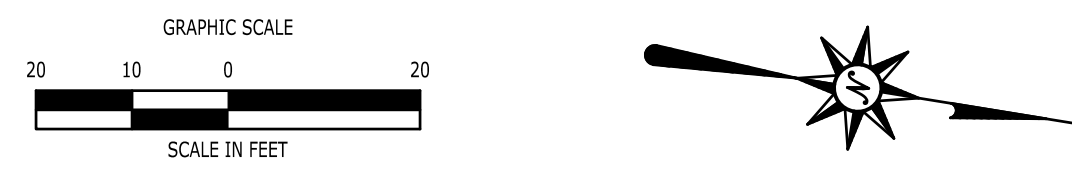
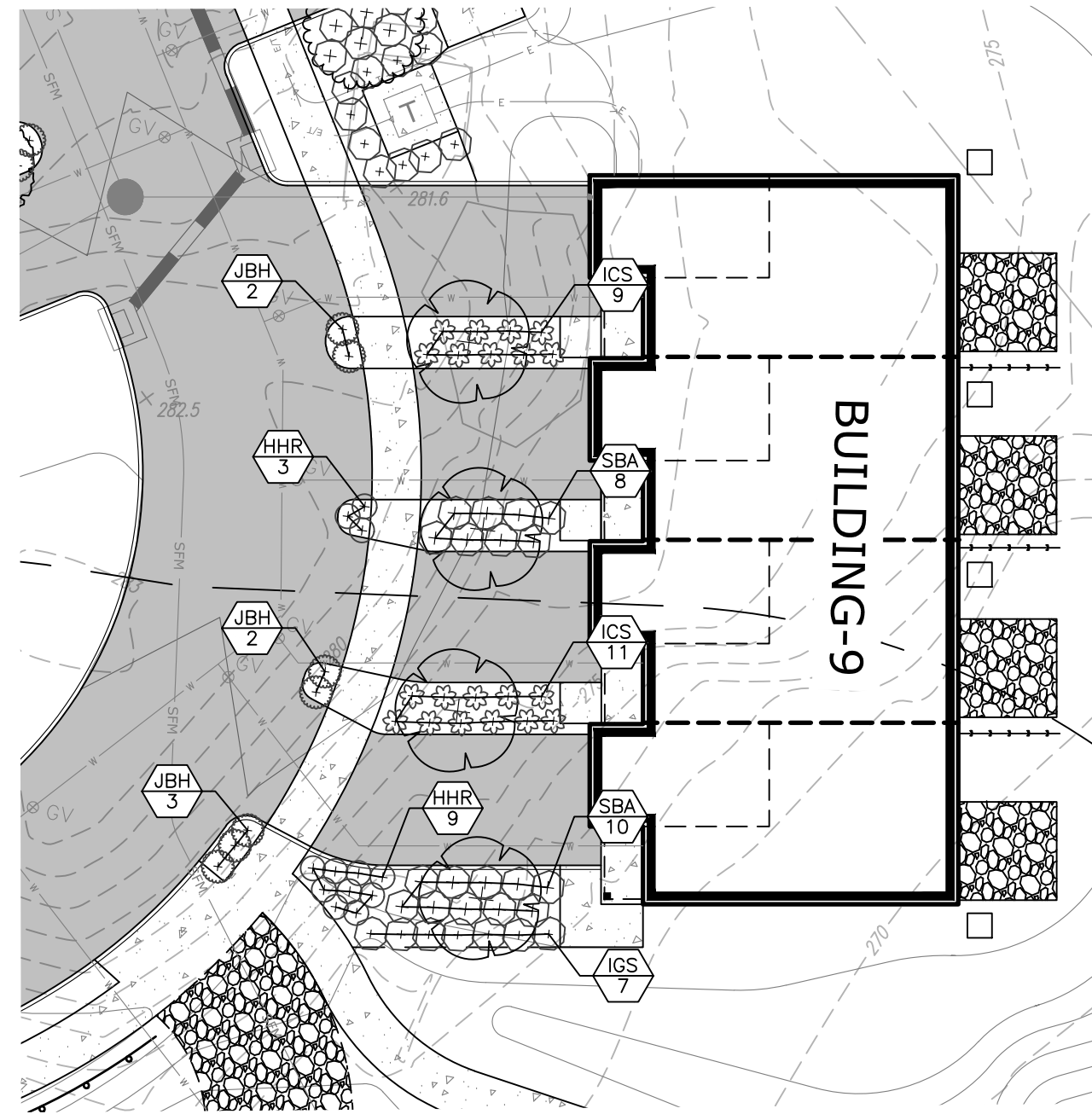
**SEE SHEET C5.00 FOR
DETAILED PLANT SCHEDULE**

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

04/11/2026, JIESTA, G:\088523\20250197\DWG\C2502197-56.DWG, LANDSCAPE PLAN, ENLARGEMENT.

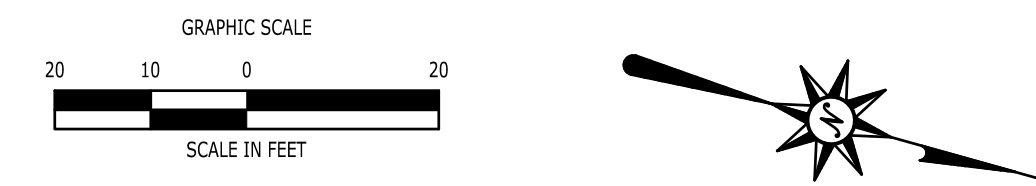
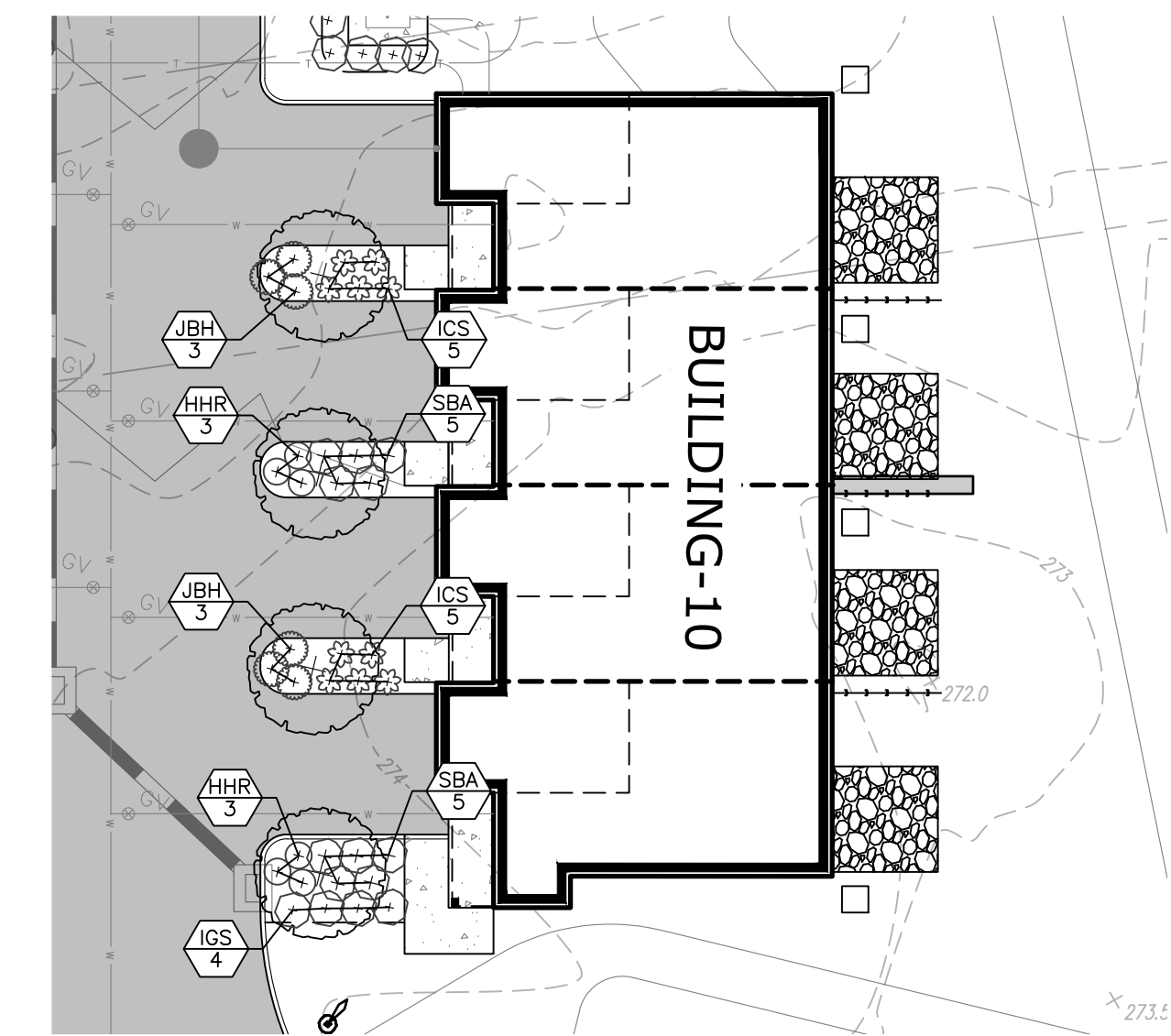
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Ref (0) : K5020197-00 ; K5020197-01 ; K5020197-02 ; K5020197-03 ; K5020197-04 ; K5020197-05 ; K5020197-06 ; K5020197-07 ; K5020197-08 ; K5020197-09 ; K5020197-10 ; K5020197-11 ; K5020197-12 ; K5020197-13 ; K5020197-14 ; K5020197-15 ; K5020197-16 ; K5020197-17 ; K5020197-18 ; K5020197-19 ; K5020197-20 ; K5020197-21 ; K5020197-22 ; K5020197-23 ; K5020197-24 ; K5020197-25 ; K5020197-26 ; K5020197-27 ; K5020197-28 ; K5020197-29 ; K5020197-30



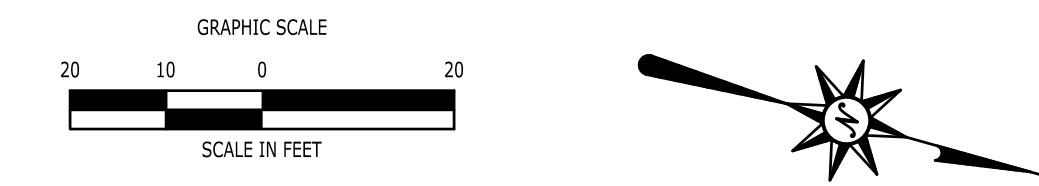
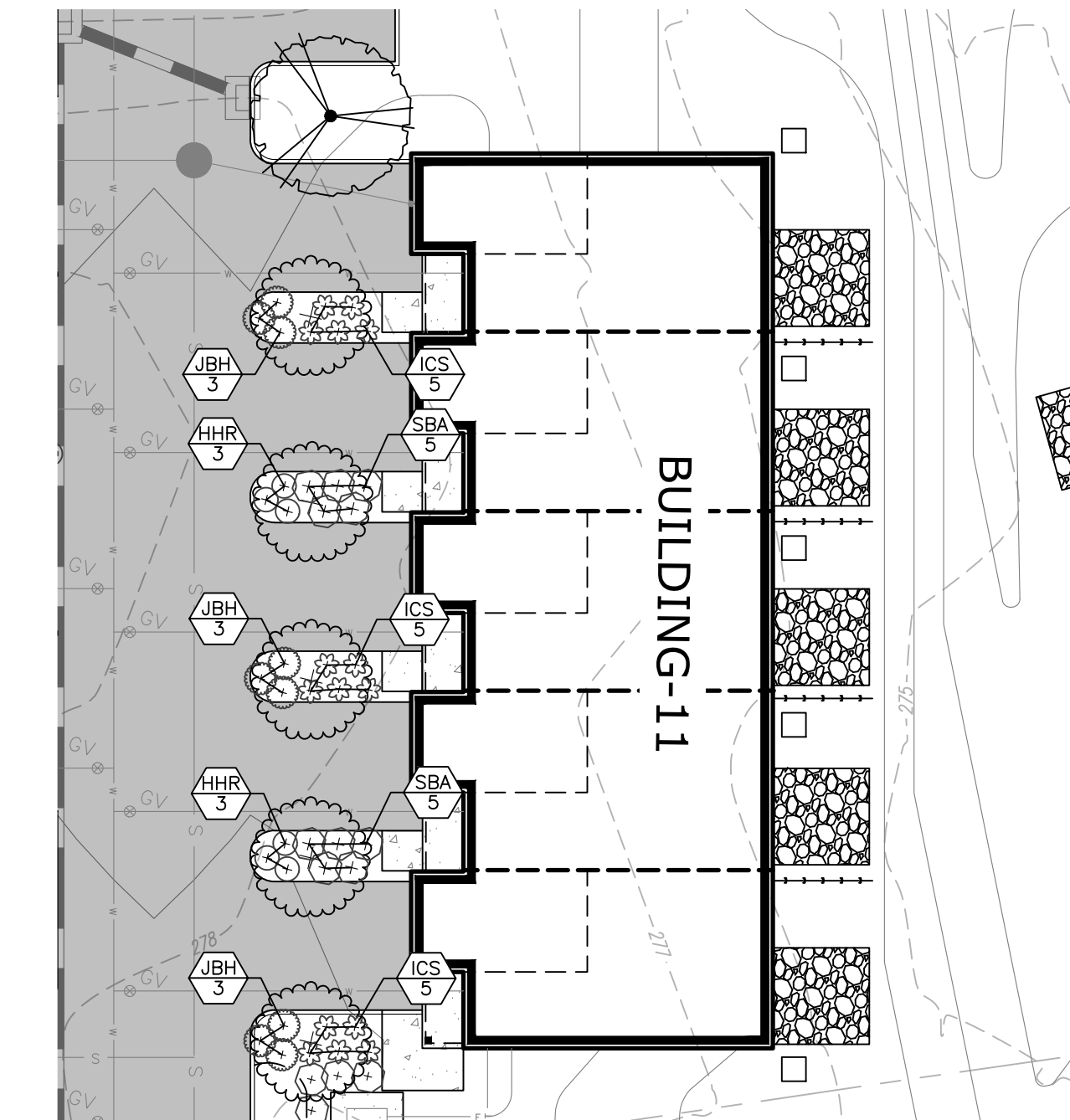
BUILDING 9 ENLARGEMENT

1"=20'



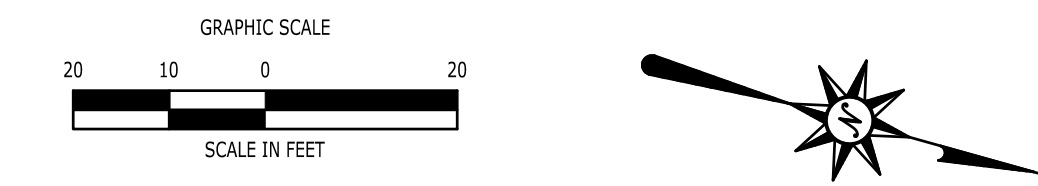
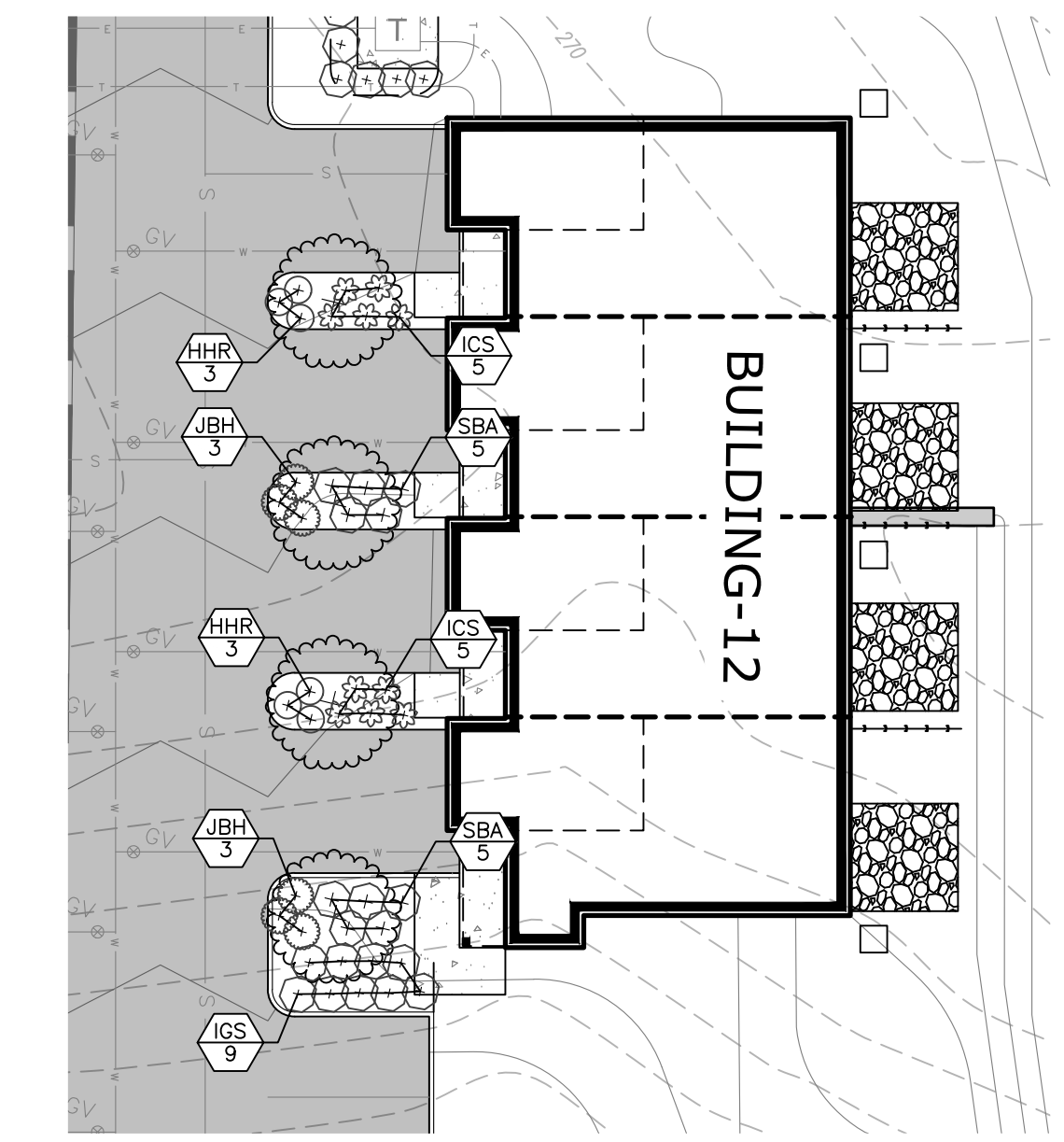
BUILDING 10 ENLARGEMENT

1"=20'



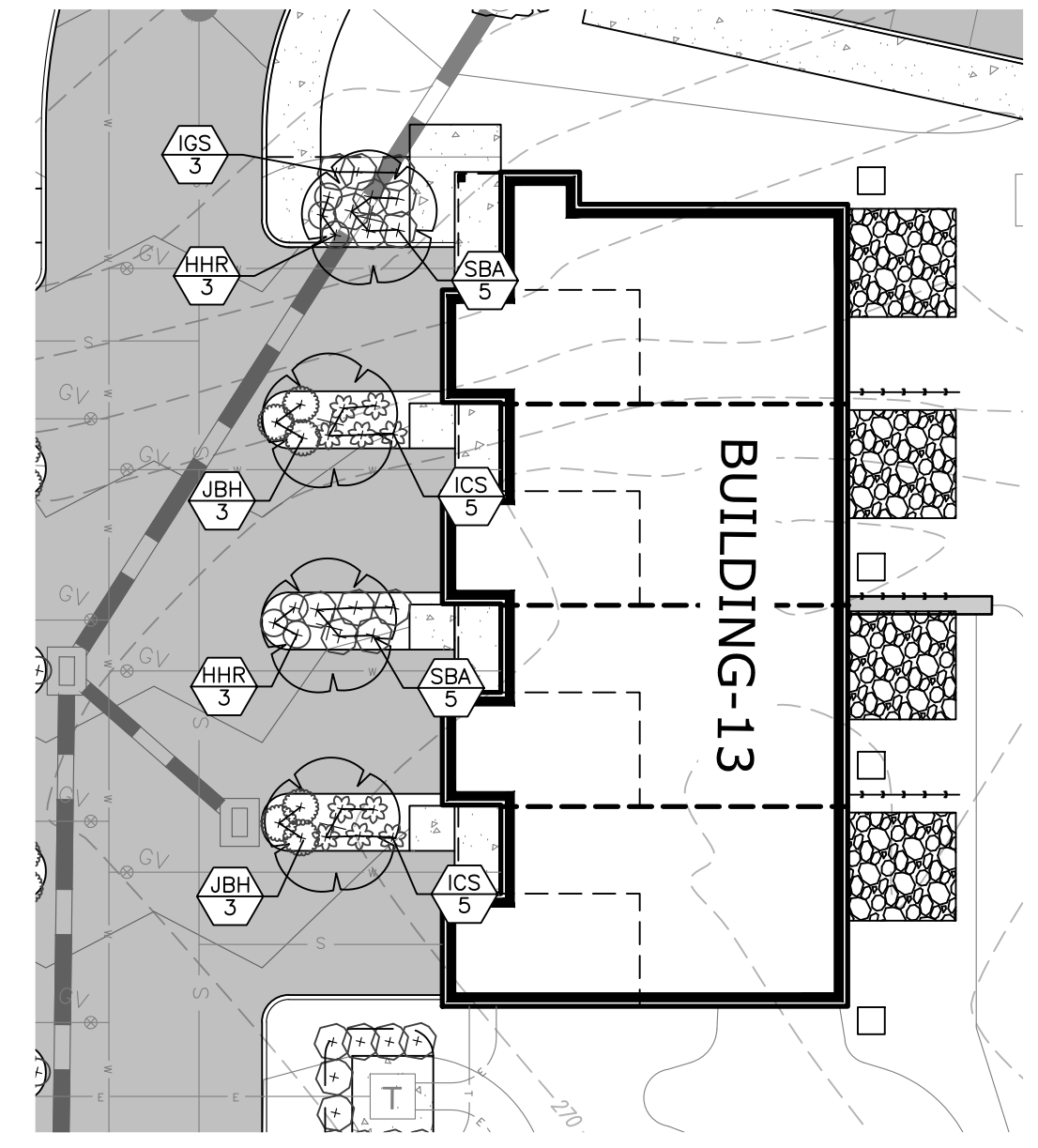
BUILDING 11 ENLARGEMENT

1"=20'



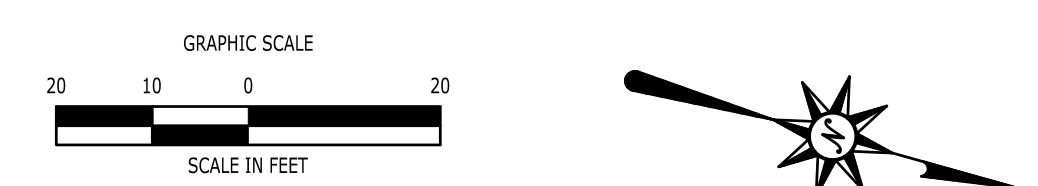
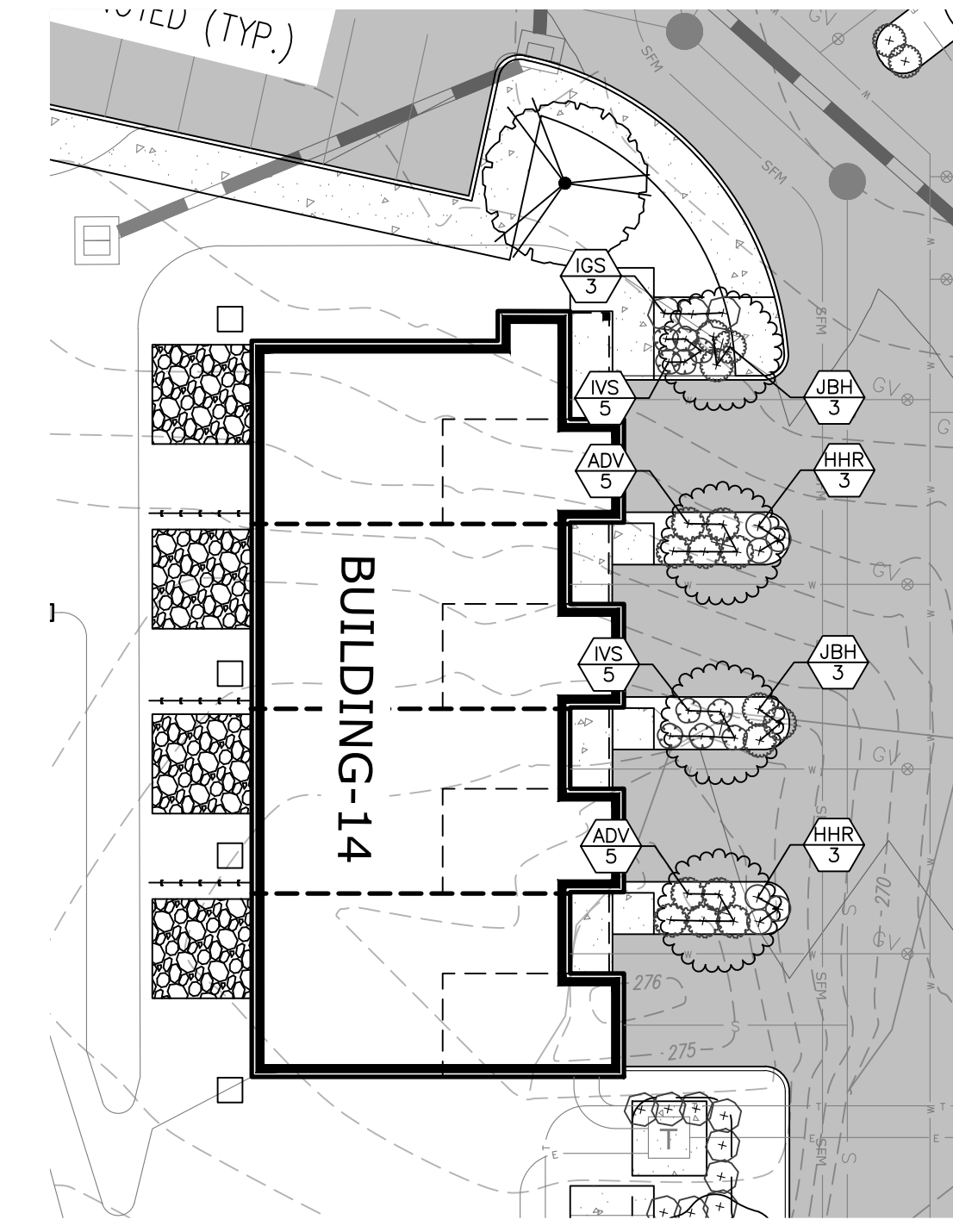
BUILDING 12 ENLARGEMENT

1"=20'



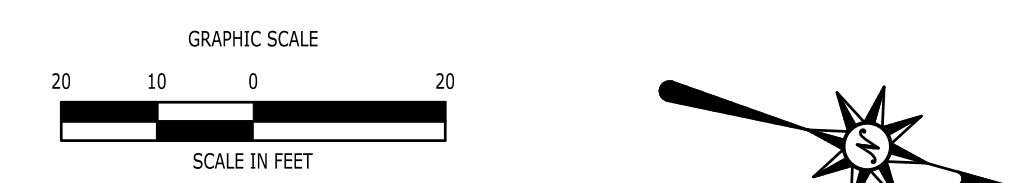
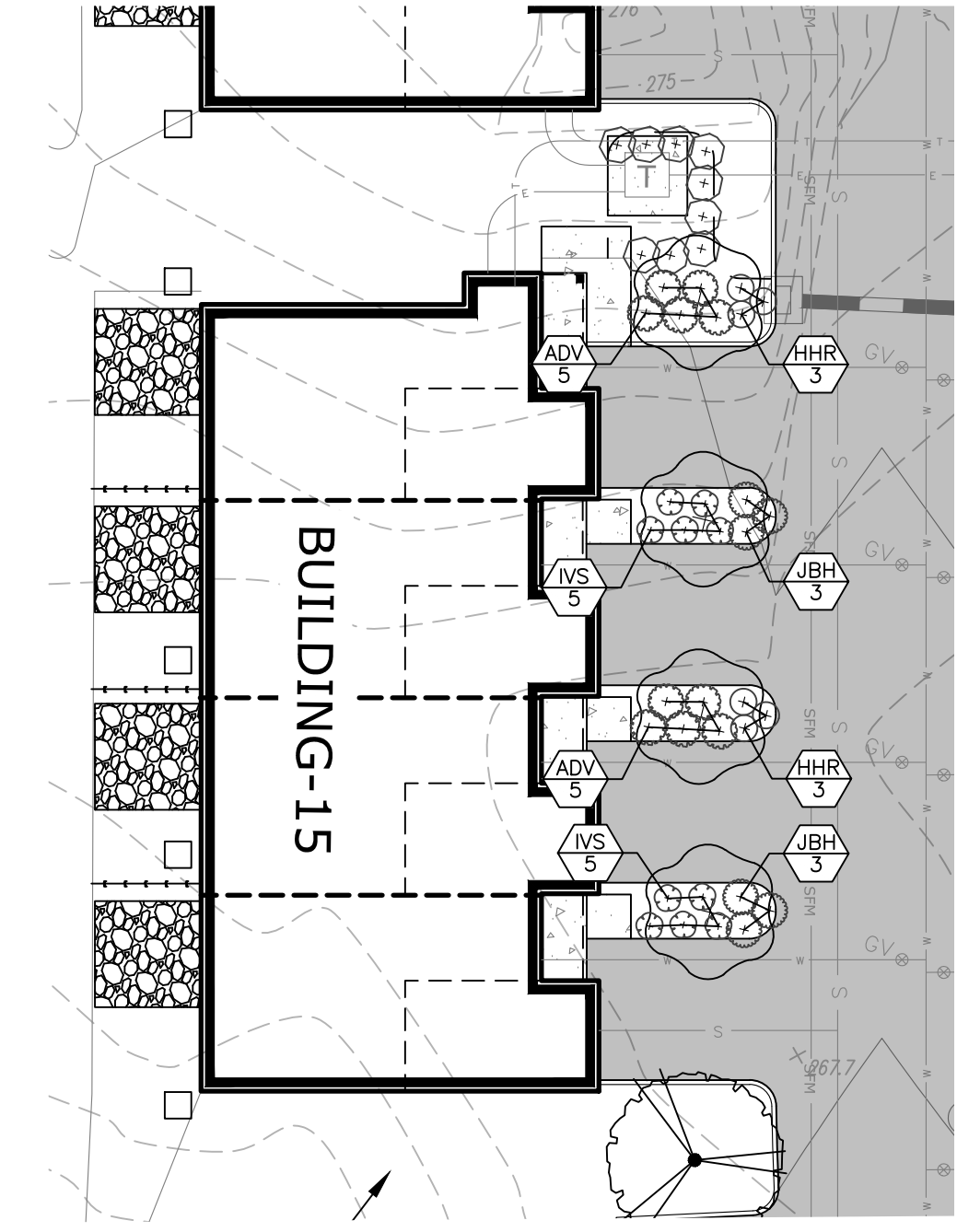
BUILDING 13 ENLARGEMENT

1"=20'



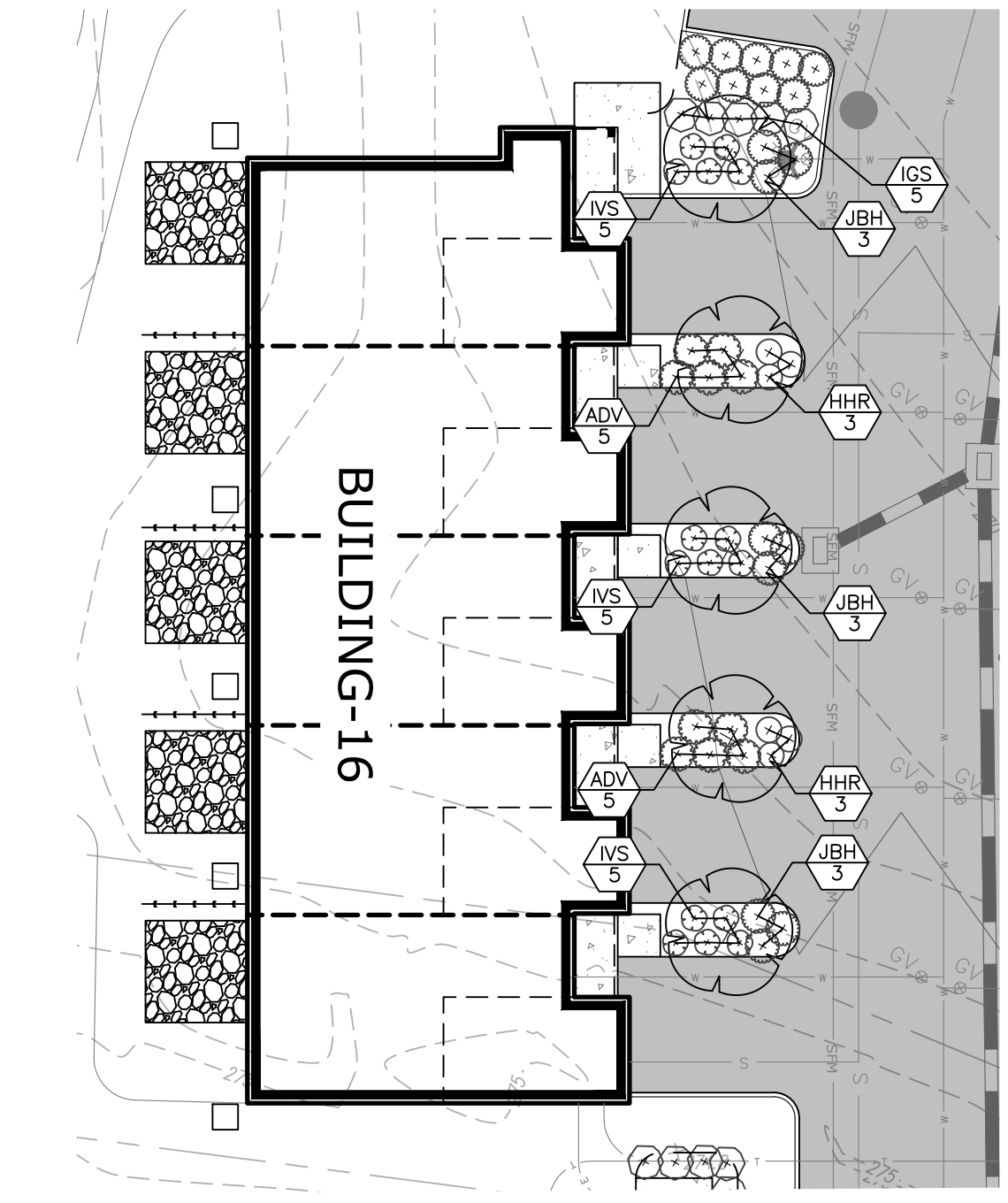
BUILDING 14 ENLARGEMENT

1"=20'



BUILDING 15 ENLARGEMENT

1"=20'



BUILDING 16 ENLARGEMENT

1"=20'

**SEE SHEET C5.100 FOR
LANDSCAPE NOTES AND DETAILS**

**SEE SHEET C5.00 FOR
DETAILED PLANT SCHEDULE**

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04/01/2026, JIETA, G:\0852302502197\DWG\C2502197-56.DWG\LANDSCAPE PLAN ENLARGEMENT.

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REVISIONS

| No. | Date | Description |
|-----|------------|---|
| 1 | 04/22/2026 | DISC. REVISED GRADING AND DRAINAGE PER GEOTECHNICAL TESTING |
| 2 | 05/04/2026 | REVISED PER GROTON UTILITIES COMMENTS |
| 3 | 05/21/2026 | REVISED UTILITY PLAN & PER ENGINEERING COMMENTS |

| | |
|-------------|-------------|
| Designed | N.Y.Y. |
| Drawn | N.Y.Y. |
| Reviewed | D.J.C. |
| Scale | 1"=20' |
| Project No. | 2502197 |
| Date | 04/01/2026 |
| CAD File: | C2502197-50 |

Title: **LANDSCAPE PLAN ENLARGEMENT**

Sheet No.

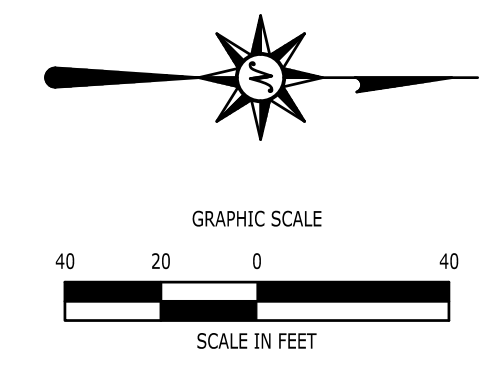
C5.02

| Image | Symbol | Label | QTY | Manufacturer | Catalog | Description | Lamp Output | LLF | Input Power | Distribution |
|-------|--------|-------|-----|---------------|----------------------|--|-------------|-----|-------------|--------------|
| | SL3WH | | 21 | SIGNIFY HADCO | TVLN-32-G1-1-3WH-730 | TownView (TVLN), 32 LED's, 3000K CCT, TYPE 3WH OPTIC, with No Panels and House-side Shield | 8285 | 0.9 | 108.4 | B1-U0-G2 |

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|----------------|--------|--------|--------|--------|---------|---------|
| SITE/LANDSCAPE | X | 0.2 fc | 4.8 fc | 0.0 fc | N/A | N/A |
| SPILL | X | 0.0 fc | 0.5 fc | 0.0 fc | N/A | N/A |
| VEHICLE PATH | □ | 1.8 fc | 4.6 fc | 0.2 fc | 23.0:1 | 9.0:1 |
| PARKING | □ | 2.0 fc | 4.6 fc | 0.4 fc | 11.5:1 | 5.0:1 |



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NOT RELEASED FOR CONSTRUCTION



**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
1947 CENTER GROTON ROAD
LEDYARD, CT 06339

REVISIONS

| No. | Date | Description |
|-----|------------|---|
| 1 | 04/22/2026 | DISC. REVISED GRADING AND DRAINAGE PER GEOTECHNICAL TESTING |
| 2 | 05/04/2026 | REVISED PER GROTON UTILITIES COMMENTS |
| 3 | 05/21/2026 | REVISED UTILITY PLAN & PER ENGINEERING COMMENTS |

| | |
|-------------|-------------|
| Designed | J.S.D. |
| Drawn | J.S.D. |
| Reviewed | R.M.R. |
| Scale | 1"=40' |
| Project No. | 2502197 |
| Date | 04/01/2026 |
| CAD File: | C2502197-60 |

Title
LIGHTING PLAN

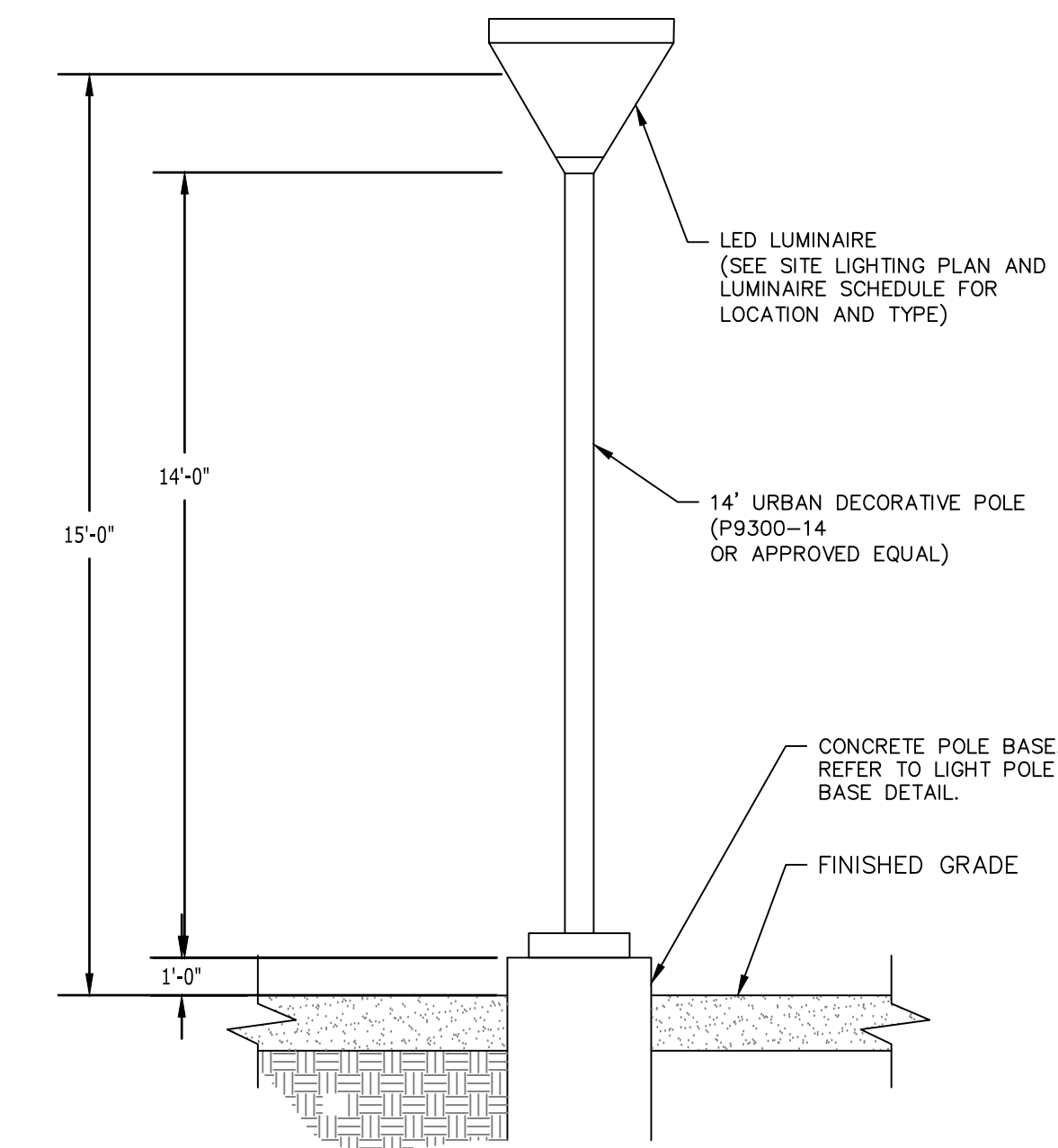
Sheet No.

C6.00

5/21/2026, 11:57:14 AM, J:\088523\2502197\DWG\C2502197-60.DWG, CL, 0, 24X36, 40SC

LIGHTING NOTES

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF ANY LOCAL APPLICABLE CODES OR ORDINANCES, PUBLIC UTILITY COMPANY REGULATIONS, STATE CODE, AND NATIONAL ELECTRICAL CODE WITH INTERIM AMENDMENTS THERETO.
- ALL MATERIALS SHALL CONFORM TO THE LATEST ISSUE OF ALL APPLICABLE STANDARDS AS ESTABLISHED BY EEL, NEMA, ASTM, IPCEA, NATIONAL BOARD OF FIRE UNDERWRITERS, AND UNDERWRITERS LABORATORIES, INC.
- THE CONTRACTOR SHALL TEST THE LIGHTING AFTER INSTALLATION WITH THE DEVELOPER/OWNER, AND PROVIDE TO DEVELOPER/OWNER WARRANTY AND MAINTENANCE INFORMATION. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AND/OR MODIFICATIONS AS REQUIRED BY THE DEVELOPER/OWNER TO OBTAIN EVEN LIGHT DISTRIBUTION.
- CONTRACTOR SHALL LEAVE ENTIRE ELECTRICAL SYSTEM INSTALLED BY THE CONTRACTOR IN PROPER WORKING CONDITION AND REPLACE WITHOUT ADDITIONAL CHARGE ALL WORK OR MATERIALS WHICH MAY DEVELOP DEFECTS WITHIN A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, BASES AND CONDUITS TO SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO DELIVERY OF MATERIAL TO SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW. IF ALTERNATIVE LIGHTING IS PROPOSED SUBMIT A PHOTOMETRIC FOOT-CANDLE LAYOUT ALONG WITH ANNUAL MAINTENANCE REQUIREMENTS AND ANTICIPATED COSTS.
- LIGHTS ARE DESIGNED TO PROVIDE EVEN LEVELS OF ILLUMINATION AND AVOID GLARE ONTO NEIGHBORING PROPERTIES. FINAL DESIGN MAY VARY PENDING MANUFACTURER'S RECOMMENDATIONS.
- ALL LIGHTING CONTROLS, PANELS, CIRCUIT BREAKERS ETC. ARE TO BE PROVIDED UNDER A SEPARATE CONTRACT BY BUILDING CONTRACTOR. CAREFUL COORDINATION IS REQUIRED BETWEEN SITE CONTRACTOR AND BUILDING CONTRACTOR TO PROVIDE A COMPLETE INSTALLATION FOR SITE LIGHTING.
- THE CONTRACTOR WILL PROVIDE AND INSTALL ALL MATERIAL NECESSARY TO COMPLETE THE SITE LIGHTING SYSTEM INCLUDING BUT NOT LIMITED TO CONDUIT, BASES, ANCHOR BOLTS, POLES, SITE LIGHTS AND LAMPS. THE CONTRACTOR WILL COORDINATE WIRING AND POWERING OF LIGHTS WITH OWNER, ARCHITECT, AND BUILDING CONTRACTOR IF DIFFERENT FROM THE SITE CONTRACTOR.
- ALL LIGHTS TO BE AS LISTED IN SCHEDULE OR APPROVED EQUIVALENT. LIGHTS SHALL BE MOUNTED ON SQUARE STRAIGHT STEEL POLES ATOP CONCRETE BASES THAT ARE SET 3" (CLEAR) BEHIND CURBS UNLESS OTHERWISE INDICATED ON CONTRACT DRAWINGS. ILLUMINATION ANALYSIS MODELED USING LIGHTING FIXTURES LISTED IN SCHEDULE.
- LIGHT POLES AND BRACKETS TO BE AS SHOWN ON DETAILS OR APPROVED EQUIVALENT.
- WIRE AND CABLE SHALL BE COPPER AND CONFORM TO THE FOLLOWING NEC TYPE THHN/THWN SOLID FOR NO. 12 AND NO. 10, NEC TYPE THHN/THWN STRANDED FOR NO. 8 AND LARGER. RIGID STEEL CONDUIT SHALL BE GALVANIZED. FITTINGS SHALL BE CAST FERROUS MATERIAL WITH A CADMIUM OR ZINC PLATED FINISH.
- ALL EQUIPMENT SHALL BE GROUNDED AND BONDED IN ACCORDANCE TO NEC.
- ANY POLES THAT ARE NOT LOCATED ON INACCESSIBLE OR LANDSCAPED AREAS MUST BE PAINTED SAFETY YELLOW AT THE LIGHT POLE BASE. LIGHT POSTS SHALL BE ALIGNED WITH PARKING STRIPES.



LUMINAIRE MOUNTING DETAIL
N.T.S.

Urban

TownView

TVLC/TVLN
Post top and arm mount luminaire

Hadco TownView LED post top luminaires were designed to eliminate the compromises of performance, comfort, style options and value when choosing the right lighting solution for residential street and pedestrian area. The horizontal lens option reduces glare to enhance a sense of security with increased visual comfort. TownView offers design flexibility with a variety of style options, lumen packages, a range of control options and more at exceptional value.

| Series | Mounting | Roof option | LED module | Generation | Drive current | Distribution | Color temp. | Voltage | Integral Control Options |
|--------|----------------------------|---|--------------------------------|-----------------------|---|--|---|--------------------------------|--|
| TVLN | TownView with no lens | A 4" Arm Mt L4 Large Post Top Fitter | S Square Roof C Curved Roof | 18 16 LEDs 01 Gen1 | 5 530 mA 7 700 mA 9 900 mA 1 1050 mA | 2SH Type 2 Short House-side shield 2S Type 2 Short 3S Type 3 Short House-side shield 3SH Type 3 Short House-side shield | 730° 3000K 70 CRI 740 4000K 70 CRI | A 120-277V J 480V K 347V | D4D* D4I certified DALI driver ZD4** Zaga-D4I certified luminaire (includes D4I certified DALI driver and SR 4-pin Zaga Book 18 socket) S* FANS FANs adjustable wattage selector N None |
| TVLC | TownView with comfort lens | L3 Large Post Top Fitter 3" footless entry) S2 Small Post Fitter 2-3/8" S3 Small Post Fitter 3" S4 Small Post Fitter 4" | | 32 32 LEDs 01 Gen1 | 5 530 mA 7 700 mA 8 800 mA 1 1050 mA | 3WH Type 3 Wide House-side shield S Type 5 | 827** 2700K 80 CRI | | |

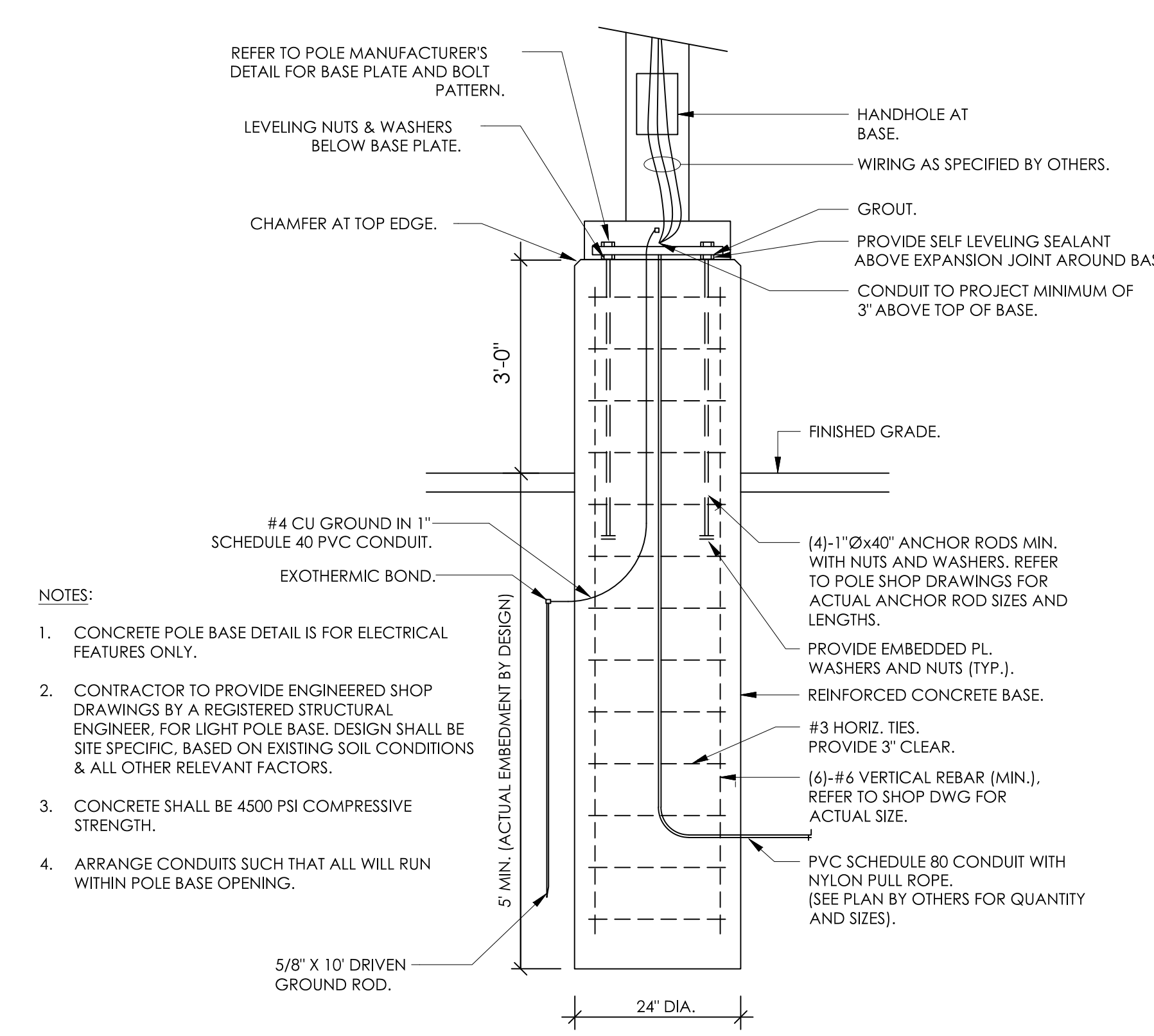
| Photo Control Receptacle | Surge Protection | Term Block | Decorative Option | Bird Guard | Finish ¹ |
|--|------------------------------|------------------|-------------------|--------------|--|
| R7 7 Pin toolless rotatable standard - no photocell | SP1 10kV/DMA Surge Protector | T Terminal Block | L Ladder Rest | B Bird guard | BKS Black Smooth WHS White Smooth BZS Bronze Smooth GNS Green Smooth BK Black Texture WH White Texture BZ Bronze Texture GN Green Texture |
| PH8 7 Pin toolless rotatable standard - with photocell | SP2 20kV/DKV Surge Protector | N None | N None | N None | |
| PH9 7 Pin toolless rotatable standard - with mounting cap | | | | | |
| PHX 7 Pin toolless rotatable standard - with long life photocell | | | | | |

Footnotes see page 2.

Connected lighting
Interact City connector node provides the plug and play wireless communications technology to connect your street light to the Interact City lighting management system.

| Ordering Code | Accessory Description |
|---------------|--|
| LLC | Interact City cellular technology connector node |

Contact the factory for additional support when connected lighting or additional services are desired.



TYPICAL CONCRETE LIGHT POLE BASE DETAIL
N.T.S.

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

Revisions

| No. | Date | Description |
|-----|------------|---|
| 1 | 04/22/2026 | REVISED GRADING AND DRAINAGE PER GEOTECHNICAL TESTING |
| 2 | 05/04/2026 | REVISED PER GROTON UTILITIES COMMENTS |
| 3 | 05/21/2026 | REVISED UTILITY PLAN & PER ENGINEERING COMMENTS |

| | |
|-------------|-------------|
| Designed | J.S.D. |
| Drawn | J.S.D. |
| Reviewed | R.M.R. |
| Scale | 1"=40' |
| Project No. | 2502197 |
| Date | 04/01/2026 |
| CAD File: | C2502197-60 |

Title
**LIGHTING NOTES
AND DETAILS**

Sheet No.

C6.100