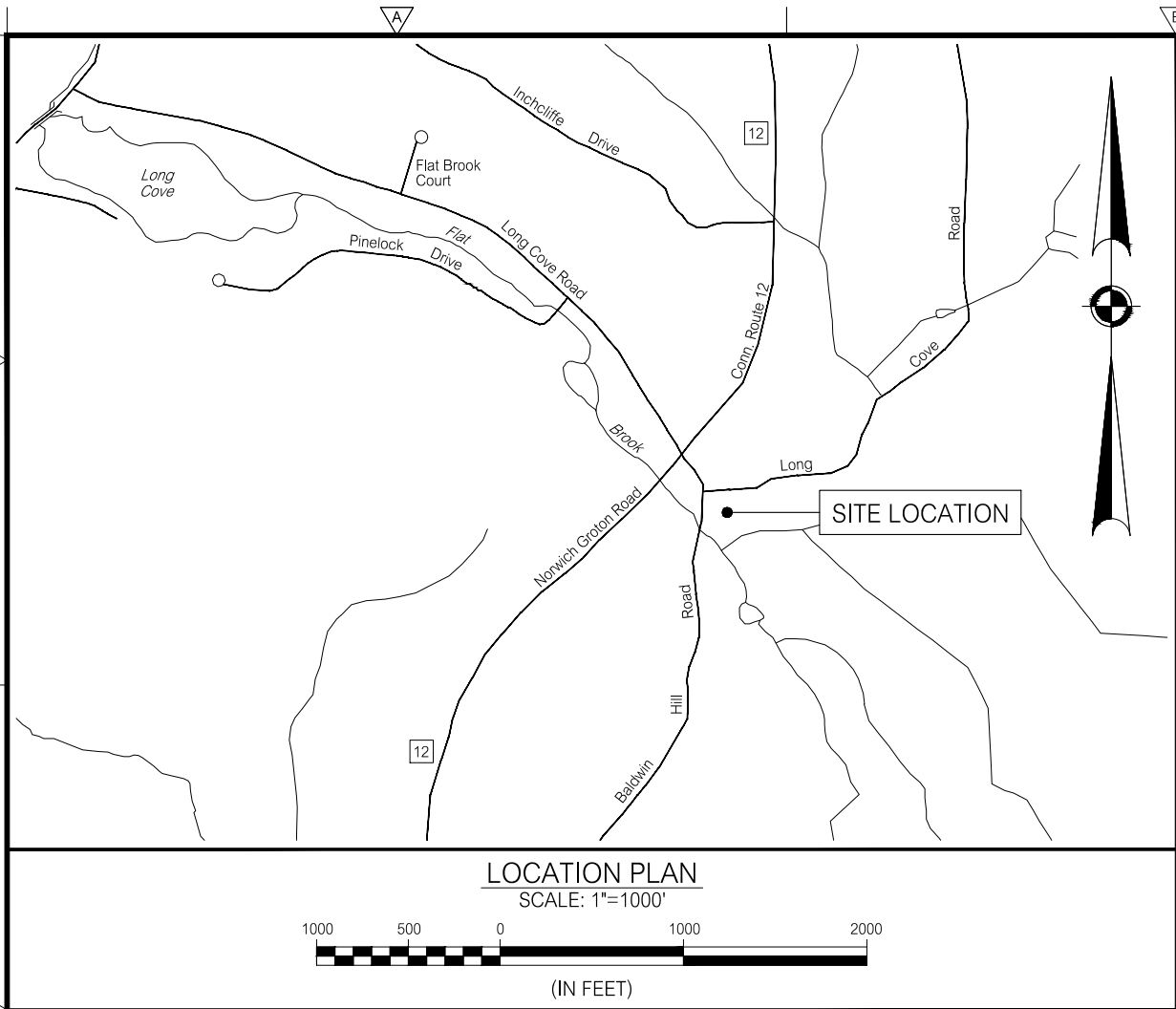
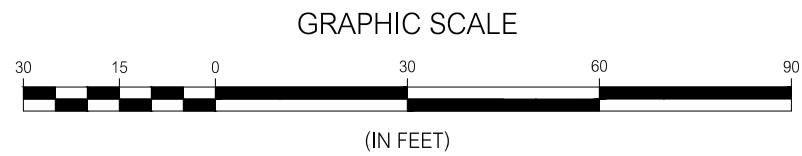


- NOTES:
1. THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300d-20, MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS, ADOPTED EFFECTIVE JUNE 21, 1996, AMENDED OCTOBER 26, 2018.
 2. THE INTENT OF THIS MAP IS TO DEPICT THE TOPOGRAPHIC AND PLANIMETRIC AND FEATURES OF THE SUBJECT LAND PARCEL.
 3. SURVEY TYPE: TOPOGRAPHIC SURVEY
TOPOGRAPHIC ACCURACY CLASS: T-2
VERTICAL ACCURACY CLASS: V-2
 4. REFERENCE IS MADE TO THE FOLLOWING MAP:
"PROPERTY SURVEY OF 1363 BALDWIN HILL ROAD LEDYARD, CT PREPARED FOR RYE PROPERTIES", SHEET 1 OF 1, DATE: 1-10-20, SCALE: 1"=30', PREPARED BY: J. DEMPSEY ASSOCIATES LLC.
 5. THE PROPERTY BOUNDARY INFORMATION DEPICTED HEREON WAS REPRODUCED FROM THE REFERENCE MAP NOTED. THE DEPICTION OF THIS INFORMATION DOES NOT REPRESENT A PROPERTY BOUNDARY OPINION.
 6. ADJOINING PARCEL LINE AND RECORD OWNER INFORMATION WAS REPRODUCED FROM THE TOWN OF LEDYARD ASSESSOR'S AND TOWN CLERKS RECORDS.
 7. THE PARCEL MAY BE TOGETHER WITH AND/OR SUBJECT TO EASEMENTS, RIGHTS, OR OTHER ENCUMBRANCES OF RECORD.
 8. PLANIMETRIC AND TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED ON FIELD SURVEYS CONDUCTED IN SEPTEMBER OF 2025.
 9. THE INLAND WETLAND BOUNDARY DEPICTED HEREON WAS DELINEATED BY ERIC DAVISON, RSS, PWS OF DAVISON ENVIRONMENTAL, LLC.
 10. THE APPROXIMATE LOCATIONS OF THE EXISTING SUBSURFACE SEWAGE DISPOSAL SYSTEM DEPICTED HEREON IS BASED ON RECORDS OF THE LEDGE LIGHT HEALTH DISTRICT.
 11. NORTH IS BASED ON THE BEARING SYSTEM OF THE REFERENCE MAP NOTED.
 12. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 13. THE PARCEL IS DEPICTED ON ASSESSORS MAP 120 AS LOT 140.
 14. PARCEL AREA = 77,223 SF = 1.77 AC.
 15. THE PARCEL IS LOCATED WITHIN A COMMERCIAL INDUSTRIAL PARK (CIP) ZONING DISTRICT.
 16. THE PARCEL IS LOCATED WITHIN FLOOD ZONE X AND SPECIAL FLOOD HAZARD AREA ZONE AE. REFERENCE: FEMA NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NEW LONDON COUNTY, CONNECTICUT, PANEL 362 AND 364 OF 554, MAP NUMBER 09011C0362J AND 09011C0364J, EFFECTIVE DATE: 7-18-11, MAP REVISION DATE: 8-5-13.
 17. THE SOIL TYPES ON THE PARCEL ARE IDENTIFIED AS CANTON AND CHARLTON FINE SANDY LOAMS, 3-15% SLOPES (62C); CANTON AND CHARLTON FINE SANDY LOAMS, 15-45% SLOPES (62D); AND UDORHENTS-URBAN LAND COMPLEX (306). REFERENCE: NATIONAL COOPERATIVE SOIL SURVEY DATA FOR THE STATE OF CONNECTICUT, U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE.

LEGEND

PROPERTY BOUNDARY LINE	— — — — —
HIGHWAY LINE/STREET LINE	— — — — —
ELEVATION CONTOUR	— — — — —
ELEVATION	x 100.0
VEGETATION LINE	— — — — —
INLAND WETLAND BOUNDARY	— — — — —
WATERCOURSE	— — — — —
SFHA ZONE BOUNDARY	— — — — —
EDGE OF PAVEMENT	— — — — —
CURBING	— — — — —
UTILITY POLE	— — — — —
WATER VALVE	— — — — —
SIGN	— — — — —
ASSESSORS MAP NO. - LOT NO.	120-140



PERMIT DRAWINGS

REVISIONS

NO.	DATE	DESCRIPTION

TITLE

LAND
OF
RYE PROPERTIES
1363 BALDWIN HILL ROAD
LEDYARD, CONNECTICUT

DRAWING PHASE

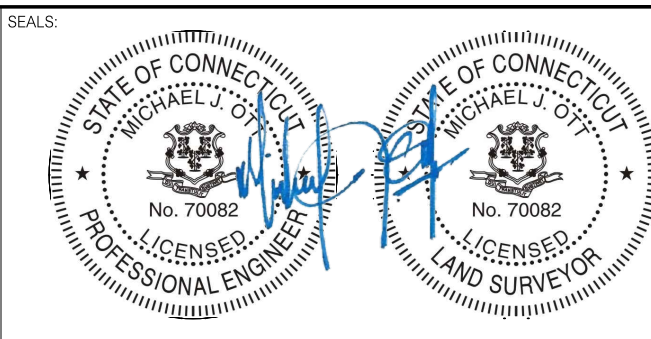
ISSUED FOR PERMITTING
DATE: 7-1-26

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

DATE

MICHAEL J. OTT, P.E., L.S.
CT REGISTRATION NO. 70082

THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND EMBOSSED SEAL OF THE LICENSED LAND SURVEYOR NOTED ABOVE.



PREPARED BY:

Summer Hill
Civil Engineers & Land Surveyors, P.C.
60 Wall Street
P.O. Box 708
Madison, Connecticut 06443-0708
Telephone: (203) 245-0722

PROJECT:

R.B. KENT & SONS OFFICE
1363 BALDWIN HILL ROAD
LEDYARD, CONNECTICUT

DATE: 7-1-26
SCALE: 1"=30'
DESIGNED: MJO
CHECKED: LJM

SHEET:

EXISTING CONDITIONS PLAN

FIELD BOOK: -
PROJECT NO.: 25-28

SHEET NO.:

C-101

NOTE TO CONTRACTOR

ABANDON THE EXISTING WELL SERVING THE COMMERCIAL BUILDING IN ACCORDANCE WITH THE REQUIREMENTS OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 25-28-157.

LEGEND

PROPERTY BOUNDARY LINE	---
HIGHWAY LINE/STREET LINE	---
ELEVATION CONTOUR	- - - -
ELEVATION	x 100.0
VEGETATION LINE	~~~~~
INLAND WETLAND BOUNDARY	~~~~~
WATERCOURSE	~~~~~
SFHA ZONE BOUNDARY	~~~~~
EDGE OF PAVEMENT	---
CURBING	---
UTILITY POLE	⊕
WATER VALVE	⊕
SIGN	⊕
ASSESSORS MAP NO. - LOT NO.	120-140

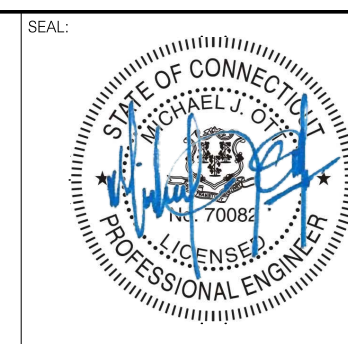
REVISIONS			TITLE
NO.	DATE	DESCRIPTION	
REVISIONS			

LAND
OF
RYE PROPERTIES
1363 BALDWIN HILL ROAD
LEDYARD, CONNECTICUT

DRAWING PHASE:

ISSUED FOR PERMITTING
DATE: 7-1-26

SEAL:



PREPARED BY:

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Civil Engineers & Land Surveyors, P.C.
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PROJECT:

R.B. KENT & SONS OFFICE
1363 BALDWIN HILL ROAD
LEDYARD, CONNECTICUT

DATE:

7-1-26

SCALE:

1"=30'

DESIGNED:

MJO

CHECKED:

LJM

SHEET:

GENERAL PLAN

FIELD BOOK:

PROJECT NO.:

25-28

SHEET NO.:

C-201

GENERAL NOTES:

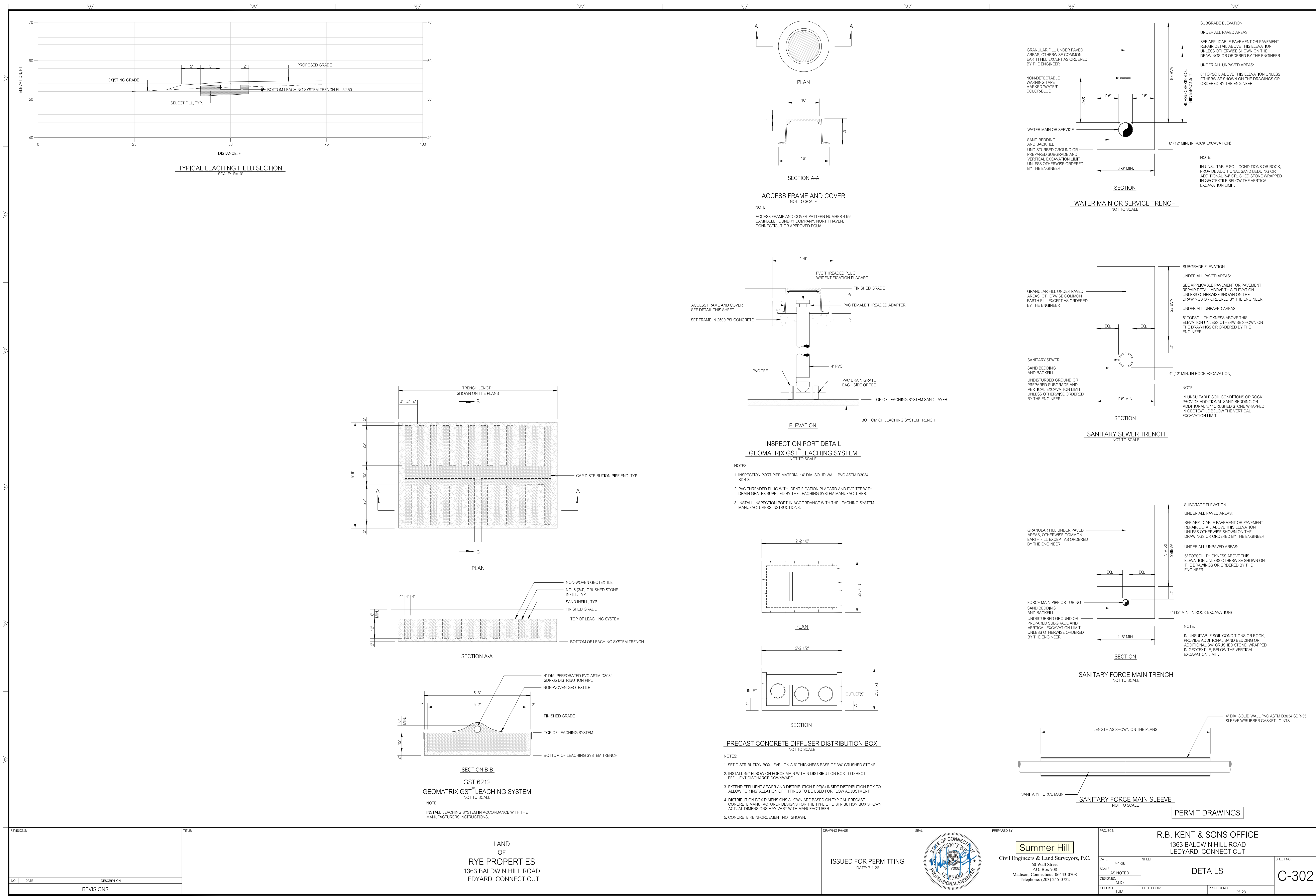
- THESE DRAWINGS ARE INTENDED TO BE USED FOR MUNICIPAL, STATE, AND/OR FEDERAL LAND USE PERMITTING PURPOSES AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION DOCUMENTS.
- UNDERGROUND UTILITIES, STRUCTURES, AND OTHER FACILITIES DEPICTED HEREIN HAVE BEEN COMPILED FROM RECORD MAPPING AND FIELD LOCATIONS OF ABOVE GROUND FACILITIES AND MARKOUTS. ALL UNDERGROUND FACILITY LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE ONLY AND ALL FACILITIES MAY NOT BE SHOWN.
- BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND FOR THE MAINTENANCE AND PROTECTION THEREOF. CONTACT THE CONNECTICUT "CALL BEFORE YOU DIG" CENTRAL CLEARANCE CENTER (1-800-922-4455) AT LEAST TWO WORKING DAYS PRIOR TO THE START OF WORK TO ESTABLISH AND HAVE MARKED ON THE GROUND THE LOCATION OF ALL UNDERGROUND UTILITIES. NOTIFY THE ENGINEER IN THE EVENT THAT A UTILITY IS LOCATED DURING THE PROGRESS OF THE WORK THAT IS NOT INDICATED ON OR IS NOT IN ACCORDANCE WITH THE DRAWINGS.
- UTILITY COMPANY CONTACTS:
CABLE TELEVISION - COMCAST OF CONNECTICUT, INC. (860) 491-6701
COMMUNICATIONS - ATLANTIC BROADBAND (CT), LLC (203) 238-5000
COMMUNICATIONS - CROWN CASTLE FIBER, LLC (508) 616-7818
COMMUNICATIONS - FRONTIER COMMUNICATIONS OF CONNECTICUT (817) 590-2641
ELECTRIC - EVERSOURCE ENERGY (860) 845-3456
GAS - EVERSOURCE ENERGY (203) 795-7945
GAS - EVERSOURCE ENERGY (203) 795-7945
SANITARY SEWER - TOWN OF LEDYARD WPCA (203) 795-7945
WATER - SOUTHEASTERN CONNECTICUT WATER AUTHORITY (860) 664-6007
- IN GENERAL, EXISTING CONDITIONS AND FEATURES ARE DEPICTED IN SCREENED GRAPHICS AND TITLECASE LETTERING AND PROPOSED WORK IS DEPICTED IN BOLD GRAPHICS AND UPPERCASE LETTERING.
- THE STANDARD SPECIFICATIONS APPLICABLE TO THE PROJECT ARE THE "STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 619", 2024, AND ALL SUPPLEMENTS THERETO.
- PRIOR TO THE START OF WORK, THOROUGHLY REVIEW THE DRAWINGS, THE SITE OF THE WORK AND ALL EXISTING CONDITIONS AND FEATURES. NOTIFY THE ENGINEER OF DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS AND FEATURES IN THE FIELD.
- ADHERE TO THE REGULATIONS AND ORDINANCES OF THE TOWN OF LEDYARD, ALL APPLICABLE STATE AND FEDERAL REGULATORY AUTHORITIES, THE PROVISIONS OF THE CONTRACT DOCUMENTS, AND ALL APPROVALS AND/OR PERMITS ATTACHED THERETO.
- PROVIDE EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE DRAWINGS OR AS ORDERED BY THE ENGINEER. THE MINIMUM STANDARDS FOR ALL EROSION AND SEDIMENT CONTROLS SHALL BE THOSE OUTLINED IN THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", LATEST REVISION. TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- MATERIAL AND EQUIPMENT STORAGE AREA LOCATIONS SHALL BE APPROVED BY THE ENGINEER.
- VEHICLE AND EQUIPMENT FUELING AND MAINTENANCE OPERATIONS SHALL BE PERFORMED ONLY IN AREAS APPROVED BY THE ENGINEER.
- IN THE EVENT OF A CONTAMINANT RELEASE, IMMEDIATELY NOTIFY THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION EMERGENCY RESPONSE AND SPILL PREVENTION DIVISION (860-424-3338 OR 866-337-7745) AND THE TOWN OF LEDYARD FIRE MARSHALS OFFICE (860-664-6880).
- WORK WITHIN THE BALDWIN HILL ROAD RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT PERMIT FROM THE TOWN OF LEDYARD DEPARTMENT OF PUBLIC WORKS.
- COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE UTILITY COMPANIES.
- BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC WITHIN AND ADJACENT TO WORK AREAS.
- BE RESPONSIBLE FOR THE CONTROL OF DUST RESULTING FROM CONSTRUCTION OPERATIONS.
- BE RESPONSIBLE FOR MINIMIZING SPILLAGE OF SOIL AND TRACKING OF SOIL ONTO THE BALDWIN HILL ROAD PAVEMENT SURFACES. SWEEP THE STREET PAVEMENT SURFACES AT THE END OF EACH WORK DAY AS REQUIRED.
- PROTECT ALL EXISTING CONDITIONS AND FEATURES WHERE NEW CONSTRUCTION IS NOT SHOWN ON THE DRAWINGS.
- PROTECT STREET LINE BOUNDARY MONUMENTS AND PRIVATE BOUNDARY MARKERS. RESET STREET LINE BOUNDARY MONUMENTS AND PRIVATE BOUNDARY MARKERS DISTURBED BY CONSTRUCTION OPERATIONS AS DIRECTED BY THE ENGINEER.
- SAWCUT PAVEMENTS AT THE LINES SHOWN ON THE DRAWINGS, WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO BE PLACED AGAINST EXISTING PAVEMENT. CLEAN THE FACE OF EXISTING PAVEMENT AND APPLY LIQUID BITUMEN. MATCH EXISTING ADJACENT PAVEMENT SURFACE ELEVATIONS WITH NEW PAVEMENT.
- ADJUST MANHOLE AND CATCH BASIN FRAMES, HANDHOLES AND VALVE BOXES TO MATCH FINISHED ELEVATIONS.
- UNLESS OTHERWISE NOTED, TEMPORARY AND PERMANENT SIGN IDENTIFICATION NUMBERS SHOWN ON THE DRAWINGS ARE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST REVISION AND THE CONNECTICUT DEPARTMENT OF TRANSPORTATION SIGN CATALOG, LATEST REVISION.
- THE SUBGRADE OF DISTURBED GROUND SURFACES NOT NOTED TO BE SURFACED OTHERWISE SHALL RECEIVE A 6" THICKNESS OF TOPSOIL UPON WHICH TURF SHALL BE ESTABLISHED.

ZONING STANDARDS SCHEDULE				
COMMERCIAL INDUSTRIAL PARK (CIP) DISTRICT				
SECTION	STANDARD	REQUIRED	EXISTING	PROVIDED
6.3.1	MINIMUM LOT AREA	40,000 SF	77,223 SF	77,223 SF
6.3.1	MINIMUM LOT FRONTAGE	100 FT	441.8 FT	441.8 FT
6.3.1	MINIMUM SIDEWALK WIDTH	5 FT	-	5 FT
6.3.1	MINIMUM LOT WIDTH	100 FT	424.6 FT	424.6 FT
6.3.1	MINIMUM YARD SETBACKS ⁽¹⁾			
	FRONT	35 FT	52.2 FT	13.5 FT
	SIDE	25 FT	58.4 FT	49.5 FT
	REAR	25 FT	-	-
6.3.1	MAXIMUM LOT COVERAGE	70%	8.4%	13.0%
6.3.1	MAXIMUM BUILDING HEIGHT	65 FT	UNKNOWN	22.0 FT

NOTE:

- MINIMUM YARD SETBACK VALUES SHOWN FOR THE COMMERCIAL USE BUILDING.

PERMIT DRAWING



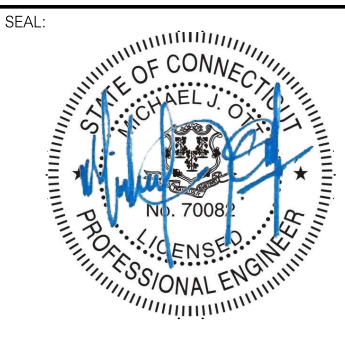
REVISIONS		
NO.	DATE	DESCRIPTION
REVISIONS		

TITLE

LAND OF RYE PROPERTIES
1363 BALDWIN HILL ROAD
LEDYARD, CONNECTICUT

DRAWING PHASE

ISSUED FOR PERMITTING
DATE: 7-1-26



PREPARED BY:

Summer Hill
Civil Engineers & Land Surveyors, P.C.
60 Wall Street
P.O. Box 708
Madison, Connecticut 06443-0708
Telephone: (203) 245-0722

PROJECT:

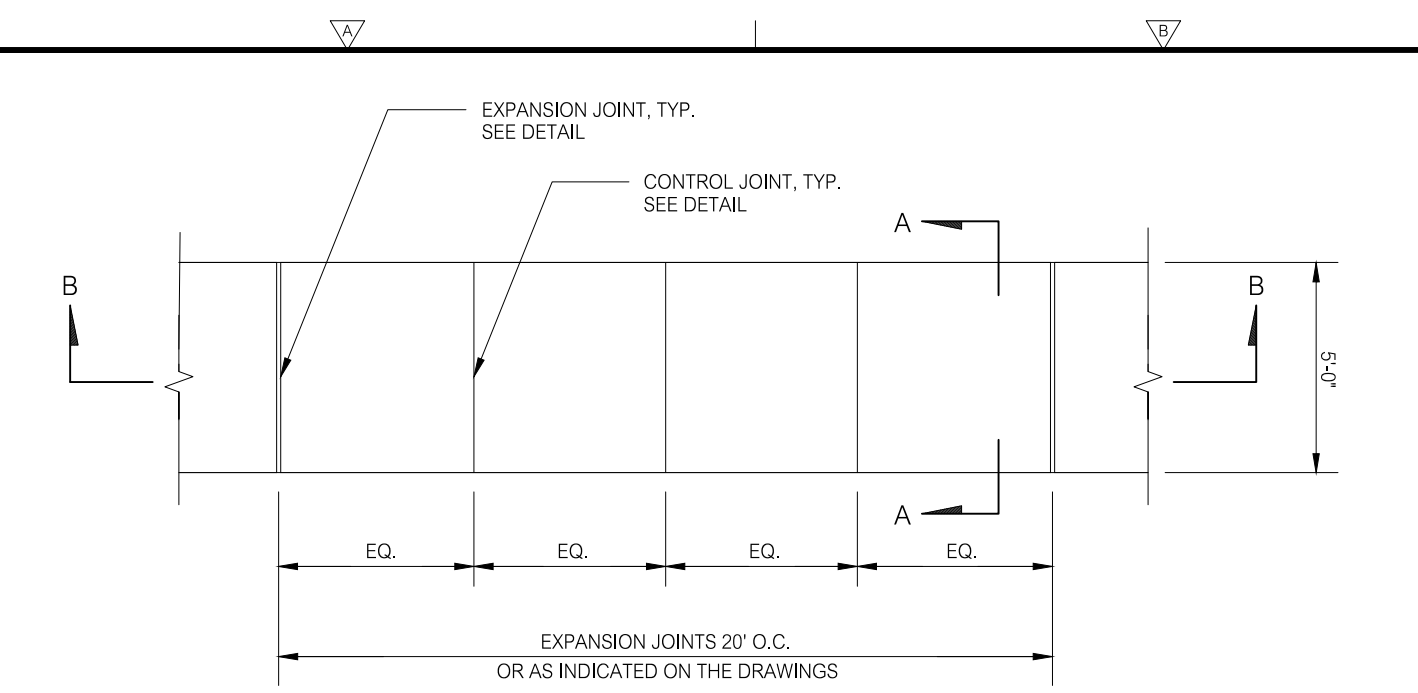
R.B. KENT & SONS OFFICE
1363 BALDWIN HILL ROAD
LEDYARD, CONNECTICUT

DATE: 7-1-26
SCALE: AS NOTED
DESIGNED: MJO
CHECKED: LJM

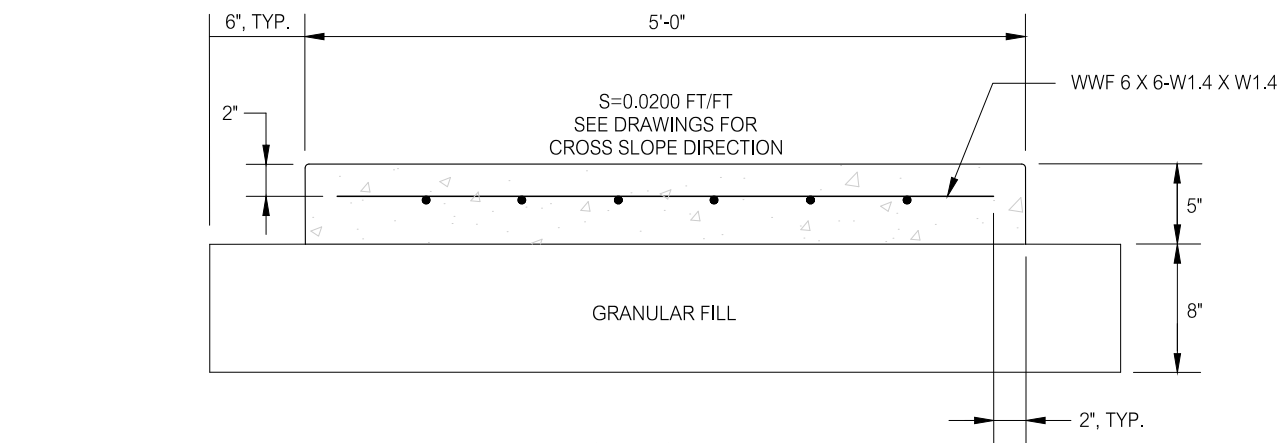
SHEET: 25-28

SHEET NO.: C-302

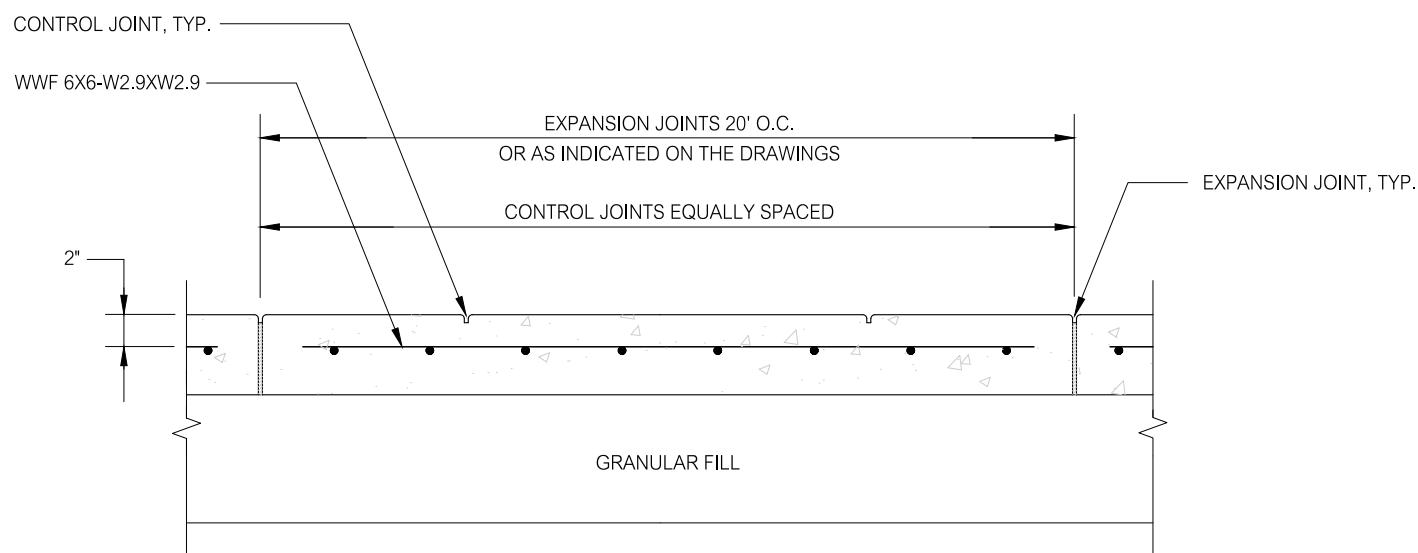
DETAILS



PLAN



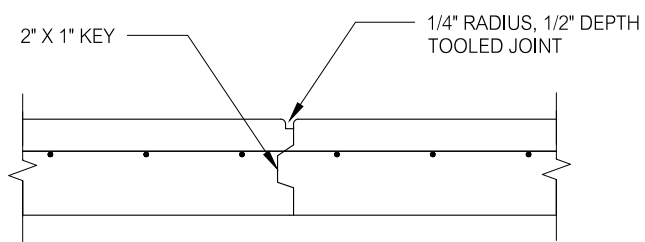
SECTION A-A



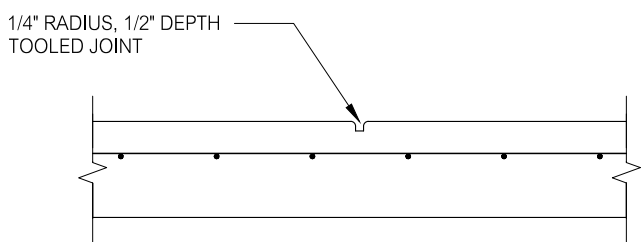
SECTION B-B

CONCRETE SIDEWALK
NOT TO SCALE

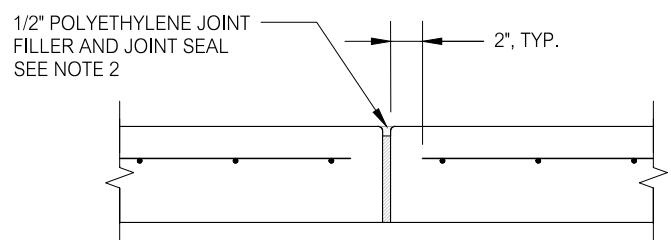
- NOTES:
1. JOINTS LOCATIONS MAY BE VARIED IN THE FIELD BY THE ENGINEER.
 2. SIDEWALK EDGES AND ALONG JOINTS SHALL BE EDGED WITH A 1/4" RADIUS EDGING TOOL.
 3. SIDEWALK SURFACE SHALL RECEIVE A LIGHT BROOM FINISH IN THE TRANSVERSE DIRECTION. BROOM SURFACE AFTER EDGING ALL SIDEWALK EDGES AND ALONG JOINTS TO REMOVE EDGING TOOL LINES.
 4. SIDEWALK FINISHED SURFACES SHALL MATCH ADJOINING PAVEMENT, SIDEWALK, OR LANDSCAPED AREA FINISHED SURFACES.



CONSTRUCTION JOINT



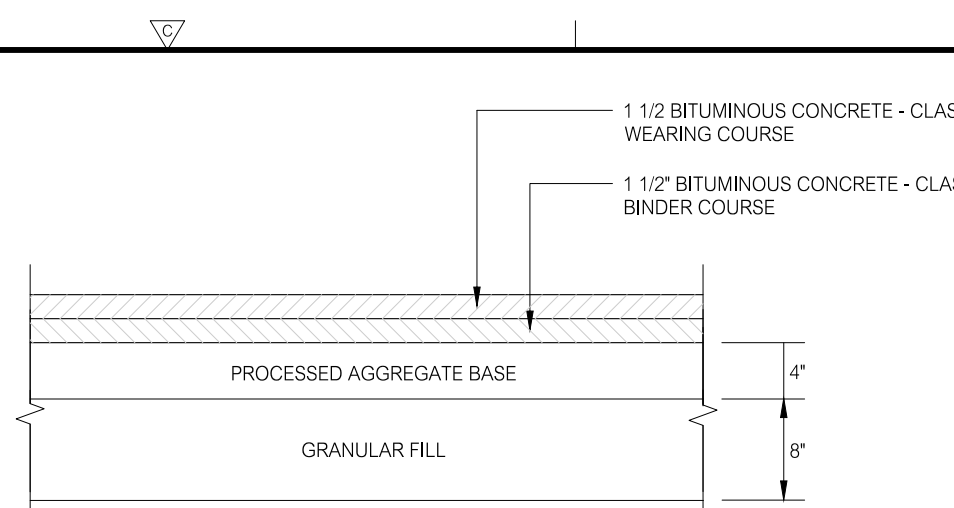
CONTROL JOINT



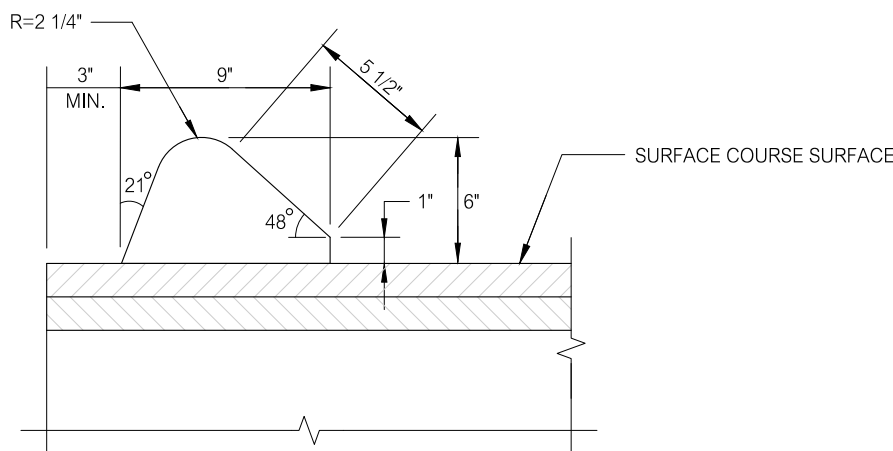
EXPANSION JOINT

CONCRETE SIDEWALK JOINTS
NOT TO SCALE

- NOTES:
1. 1/4" RADIUS, 1/2" DEPTH TOOLED JOINT AT CONSTRUCTION, CONTROL, AND EXPANSION JOINTS.
 2. SET TOP OF JOINT FILLER 1/2" BELOW FINISHED SIDEWALK SURFACE AT EXPANSION JOINTS. APPLY JOINT SEALANT FLUSH WITH TOP OF FINISHED SIDEWALK SURFACE.

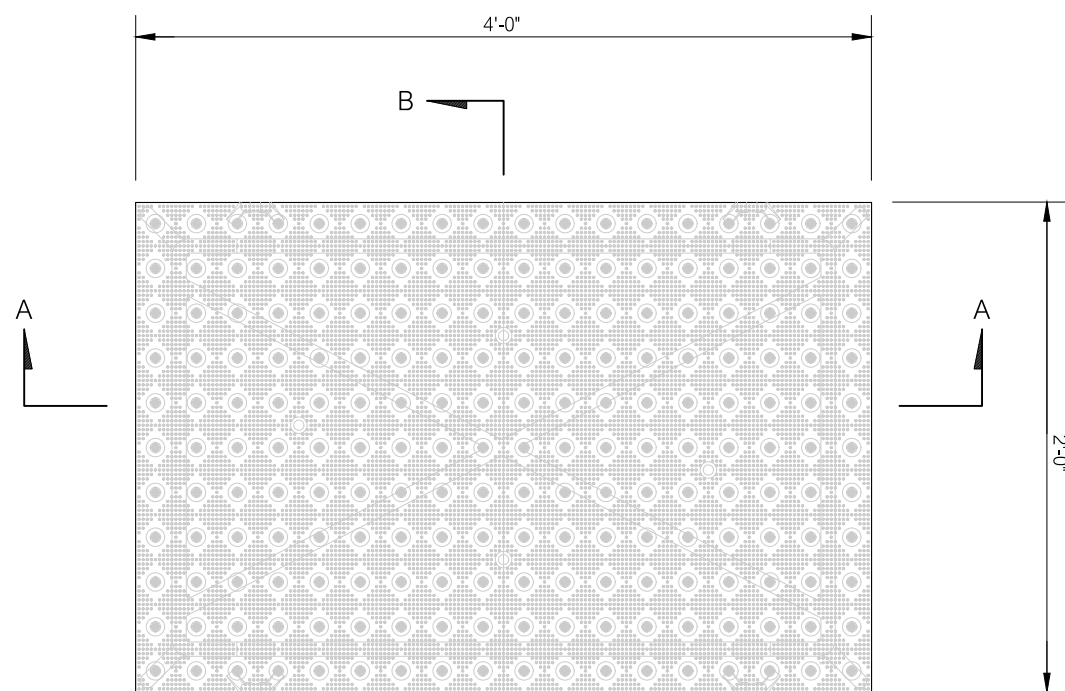


BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

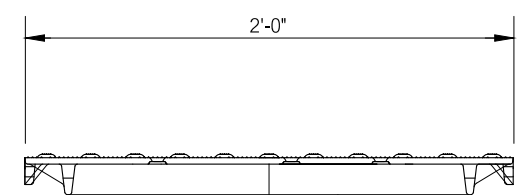


SECTION

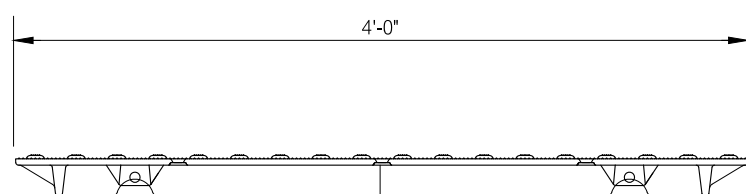
BITUMINOUS CONCRETE LIP CURBING
NOT TO SCALE



PLAN



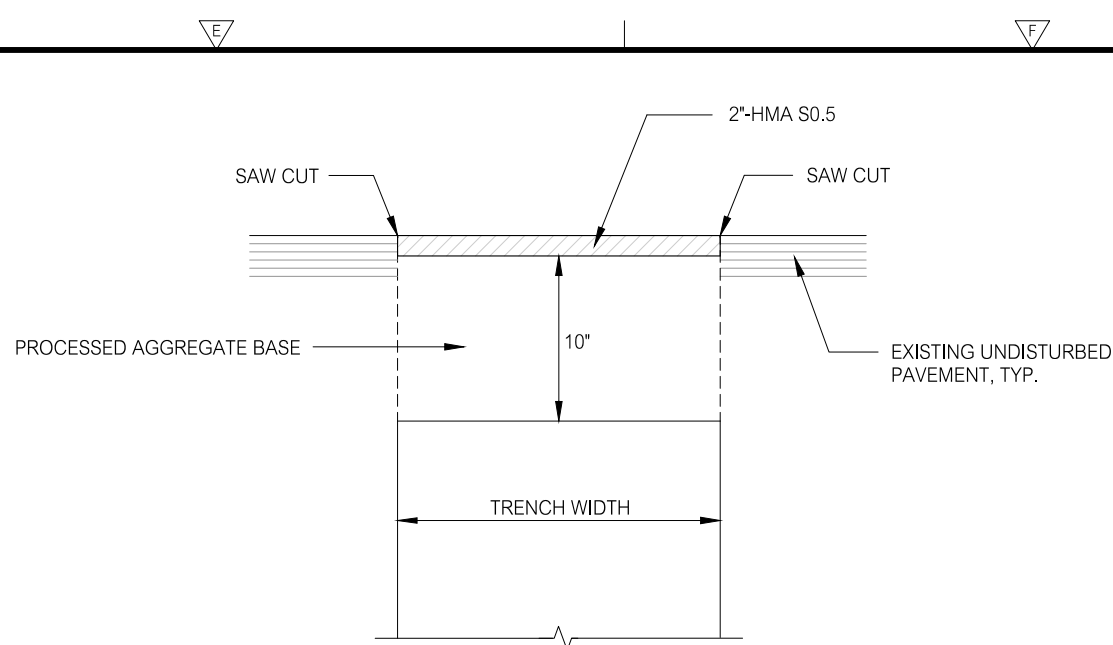
SECTION B-B



SECTION A-A

CAST IRON DETECTABLE WARNING PLATE
NOT TO SCALE

- NOTE:
- CAST IRON DETECTABLE WARNING PLATE, NEENAH FOUNDRY, NEENAH WISCONSIN OR APPROVED EQUAL.

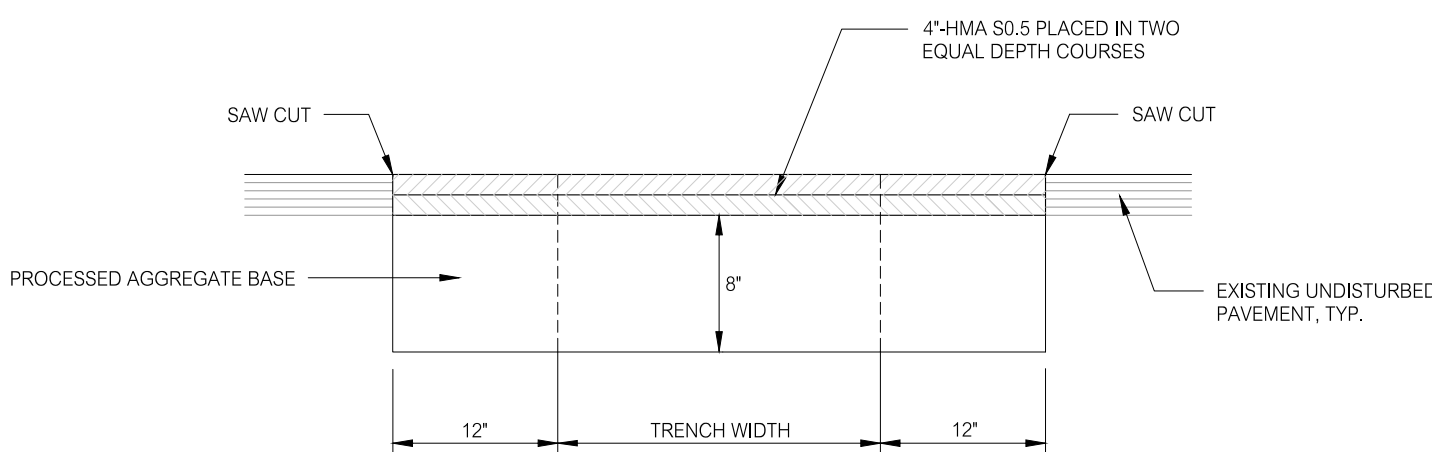


SECTION

TEMPORARY PAVEMENT REPAIR PERPENDICULAR TRENCHES

NOT TO SCALE

- NOTE:
- MATCH EXISTING ADJOINING PAVEMENT SURFACES WITH TEMPORARY PAVEMENT.

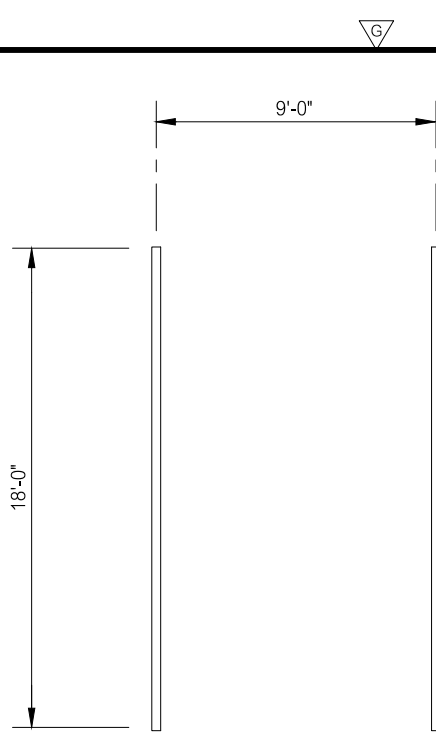


SECTION

PERMANENT PAVEMENT REPAIR PERPENDICULAR TRENCHES

NOT TO SCALE

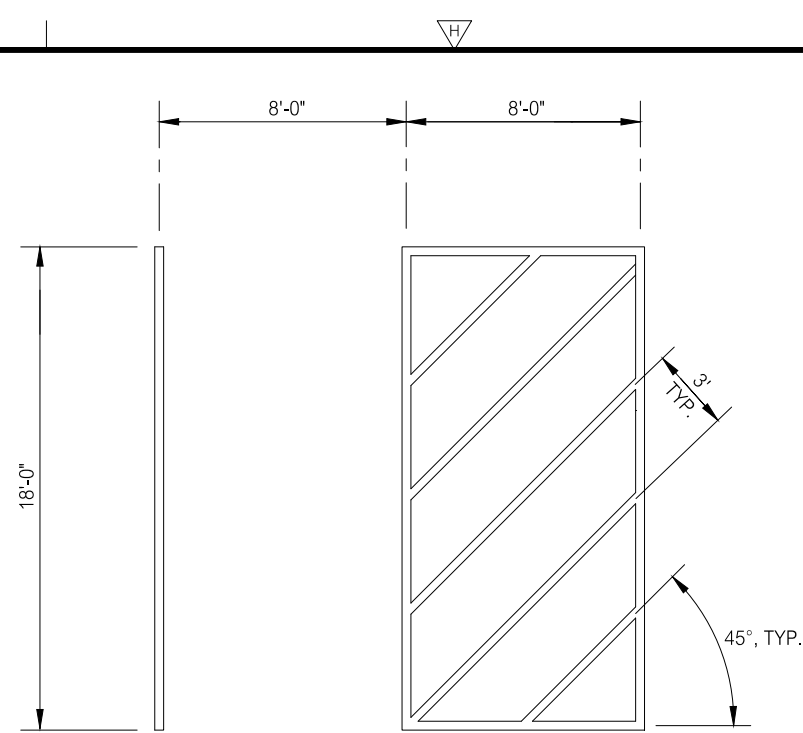
- NOTES:
1. CLEAN SAW CUT SURFACES OF EXISTING PAVEMENT AND APPLY BITUMINOUS TACK COAT JUST PRIOR TO PLACEMENT OF PERMANENT PAVEMENT.
 2. MATCH EXISTING ADJOINING PAVEMENT SURFACES WITH PERMANENT PAVEMENT.
 3. SEAL SAW CUT JOINTS USING SEALANT MEETING THE REQUIREMENTS OF AASHTO M324 TYPE II, LATEST REVISION.



STANDARD PARKING STALL

NOT TO SCALE

- NOTE:
- ALL LINES SHALL BE 4" WIDE, COLOR-WHITE.



VAN RESERVED PARKING STALL

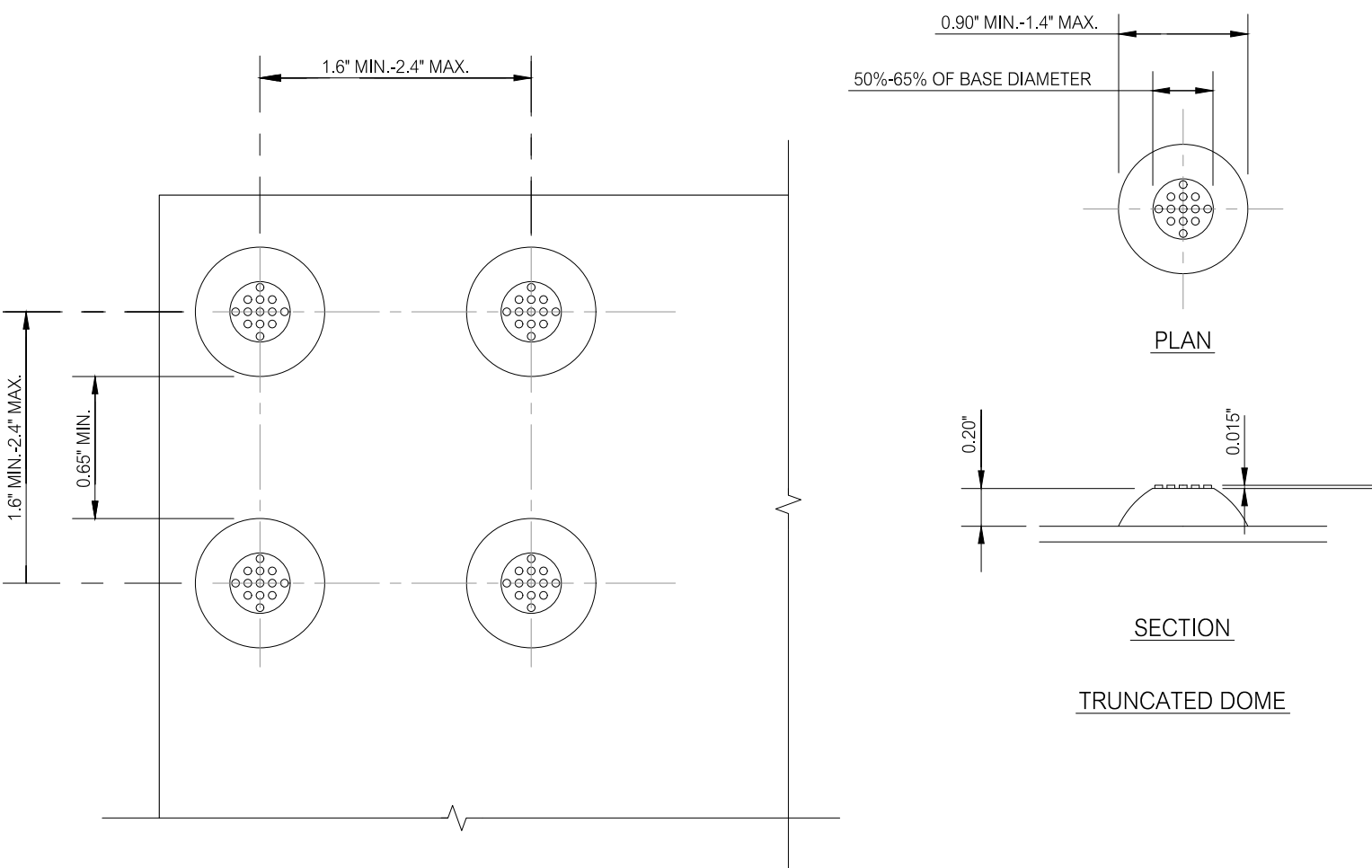
NOT TO SCALE

- NOTES:
1. ALL LINES SHALL BE 4" WIDE, COLOR-WHITE.
 2. THE SLOPE OF THE PAVEMENT SURFACE WITHIN THE LIMITS OF THE RESERVED PARKING SPACE SHALL BE NO GREATER THAN 1:50 IN ANY DIRECTION.
 3. STALL AND HATCHED AISLE WIDTHS SHOWN ARE MINIMUM WIDTHS.



SIGN NO. CUSTOM
SIZE 12" x 24" 18" x 9"
MOUNTING HEIGHT 5'-0"

RESERVED PARKING SPACE SIGN



DETECTABLE WARNING PLATE DETAILS
NOT TO SCALE

REVISIONS			TITLE
NO.	DATE	DESCRIPTION	
REVISIONS			

LAND
OF
RYE PROPERTIES
1363 BALDWIN HILL ROAD
LEDYARD, CONNECTICUT

DRAWING PHASE:

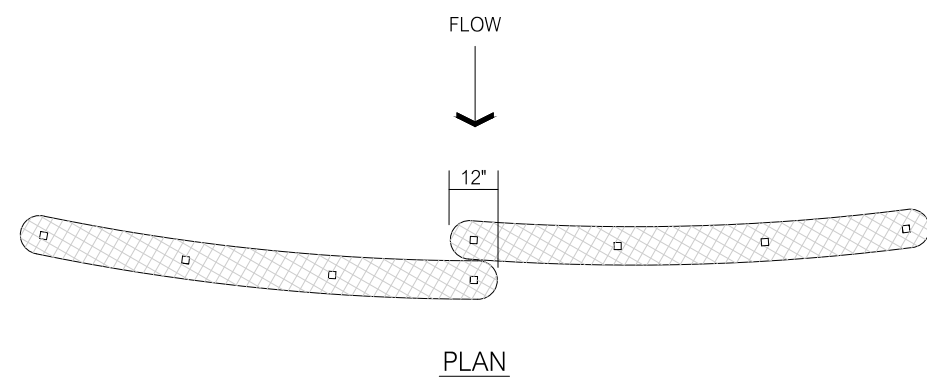
ISSUED FOR PERMITTING
DATE: 7-1-26



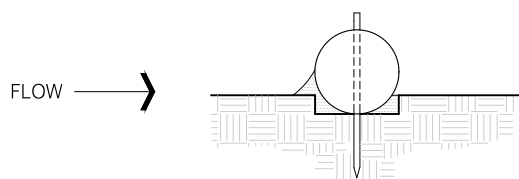
PREPARED BY:

Summer Hill
Civil Engineers & Land Surveyors, P.C.
60 Wall Street
P.O. Box 708
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Telephone: (203) 245-0722

PROJECT:				R.B. KENT & SONS OFFICE	
				1363 BALDWIN HILL ROAD	
				LEDYARD, CONNECTICUT	
DATE:	7-1-26	SHEET:	DETAILS		SHEET NO.
SCALE:	AS NOTED				
DESIGNED:	MJO				
CHECKED:	LJM				
FIELD BOOK:	-	PROJECT NO.:	25-28		C-303



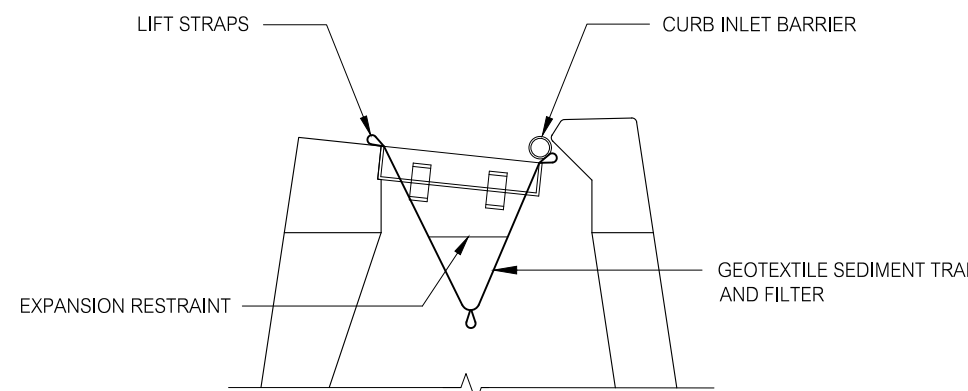
PLAN



SECTION

SW STRAW WATTLE BARRIER
NOT TO SCALE

1. EXCAVATE 4" DEEP TRENCH ALONG THE GROUND SURFACE CONTOUR AS WIDE AS WATTLE DIAMETER FOR LENGTH OF WATTLE.
2. PLACE AND STAKE WATTLE AT 4 FOOT INTERVALS OR IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
3. OVERLAP ADJACENT WATTLE SECTIONS 12" MINIMUM.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL ON UPHILL SIDE OF BARRIER.
1. INSPECT BARRIER AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 1/2 INCH OR GREATER.
2. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE BARRIER.

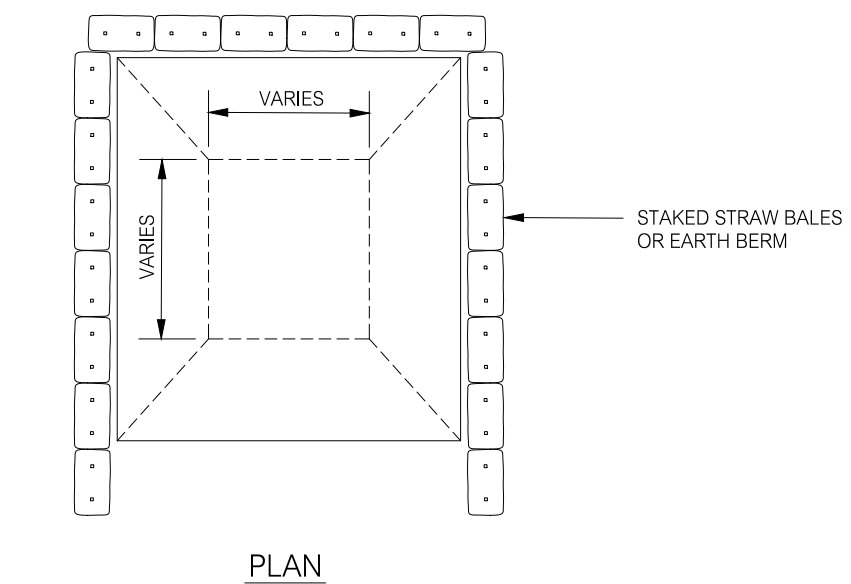


SECTION

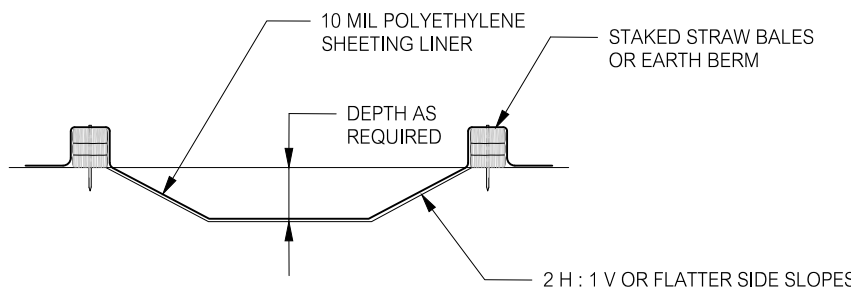
SC SEDIMENTATION CONTROL AT DRAINAGE STRUCTURE
NOT TO SCALE

1. PLACE GEOTEXTILE SEDIMENT TRAP AND FILTER UNDER GRATE AND SET IN FRAME.
2. PLACE CURB INLET BARRIER AGAINST CURB INLET OPENING.
1. INSPECT DRAINAGE STRUCTURE INLETS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 1/2 INCH OR GREATER.
2. REMOVE SEDIMENT TRAP AND FILTER WHEN 1/2 FULL, DISPOSE OF SEDIMENT, CLEAN AND RE-INSTALL THE SEDIMENT TRAP.

NOTE:
TYPE 12" CATCH BASIN SHOWN. THIS DETAIL APPLIES TO ALL DRAINAGE STRUCTURE INLET TYPES SHOWN ON THE DRAWINGS.



PLAN

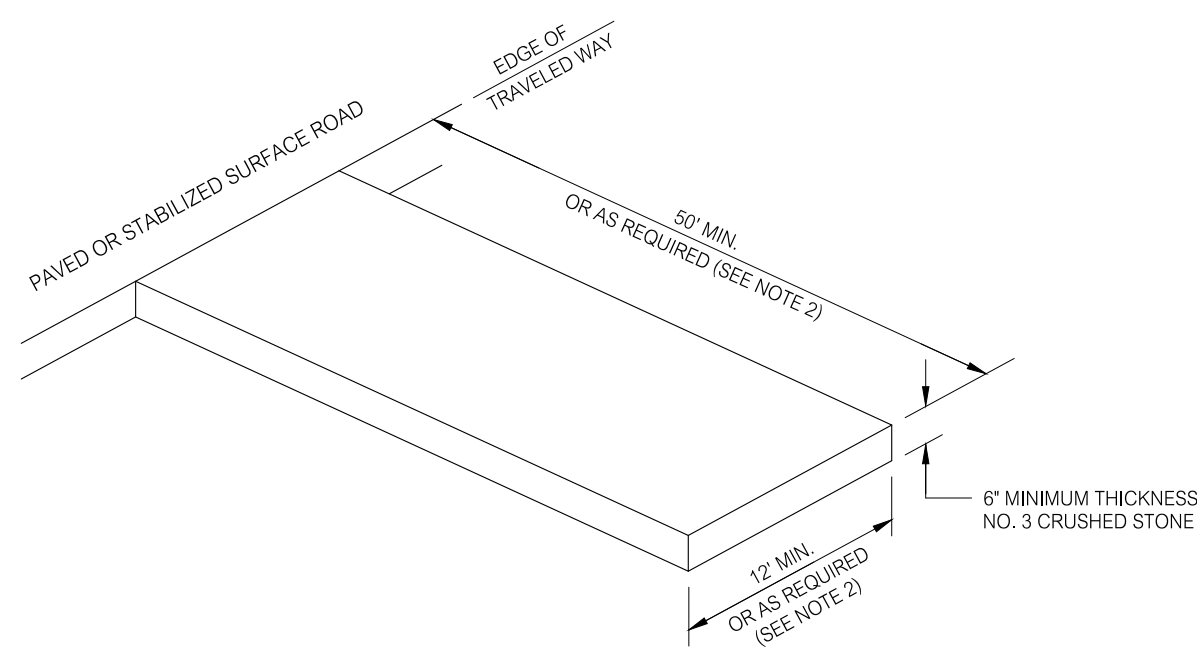


SECTION

CONCRETE WASHOUT AREA
NOT TO SCALE

NOTES:

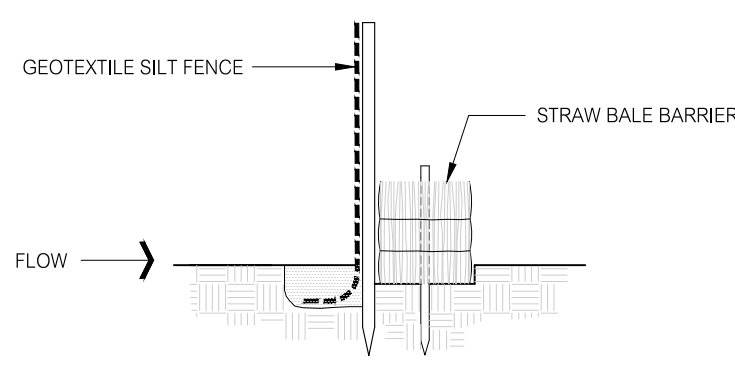
1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT OR THE USE OF GROUT AND MORTAR ON SITE.
2. CONCRETE WASHOUT AREA SHALL BE PLACED IN A LOCATION THAT MINIMIZES INTERFERENCE WITH CONSTRUCTION ACTIVITIES, IS A MINIMUM OF FIFTY (50) FEET FROM WETLANDS, WATERCOURSES AND SURFACE WATER BODIES, AND PROVIDES FOR EASE OF ACCESS BY EQUIPMENT FOR CLEANOUT AND DISPOSAL OF CONCRETE WASTE.
3. THE CONCRETE WASHOUT AREA MUST HAVE SUFFICIENT VOLUME TO CONTAIN ALL CONCRETE AND GROUT AND MORTAR WASTE.
4. CONCRETE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONE A WEEK INCLUDING AFTER RAINFALL EVENTS.
5. HARDENED CONCRETE WASTE SHOULD BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS WHEN THE DEPTH OF WASTE HAS REACHED ONE-HALF OF THE CONCRETE WASHOUT AREA DEPTH.



CE CONSTRUCTION ENTRANCE
NOT TO SCALE

NOTES:

1. CLEAR AND GRUB AREA AND REMOVE TOPSOIL BEFORE PLACEMENT OF CRUSHED STONE LAYER. A GEOTEXTILE MAY BE REQUIRED TO STRENGTHEN SUBGRADE SOILS AND TO PREVENT STONE MOVEMENT AND LOSS OF VOIDS WITHIN THE STONE ENTRANCE WHERE REQUIRED.
2. LENGTH AND WIDTH OF ENTRANCE MAY BE INCREASED OR MAY BE LIMITED BY SITE CONDITIONS AS DIRECTED BY THE ENGINEER.
3. PROVIDE ADEQUATE WIDTH OF ENTRANCE AT ROAD INTERSECTION TO ACCOMMODATE THE TURNING MOVEMENTS OF CONSTRUCTION VEHICLES.
4. MAINTAIN ENTRANCE SO AS TO PREVENT TRACKING OR WASHING OF SEDIMENT ONTO ROAD. SEDIMENT THAT MAY BE TRACKED OR OTHERWISE DEPOSITED WITHIN THE ROAD SHALL BE REMOVED IMMEDIATELY.
5. MAINTENANCE MAY INCLUDE THE REQUIREMENT FOR TOP DRESSING THE CRUSHED STONE LAYER OR REPLACING THE FULL DEPTH OF THE CRUSHED STONE LAYER.
6. SHOULD SITE CONDITIONS BE SUCH THAT SOIL CANNOT BE REMOVED BY VEHICLES TRAVELING OVER THE ENTRANCE, THE TIRES OF VEHICLES MAY HAVE TO BE WASHED PRIOR TO VEHICLES ENTERING THE ROAD. ALL WASH WATER SHALL BE DIRECTED THROUGH AN APPROVED SEDIMENT FILTER OR TO A SEDIMENT BASIN.

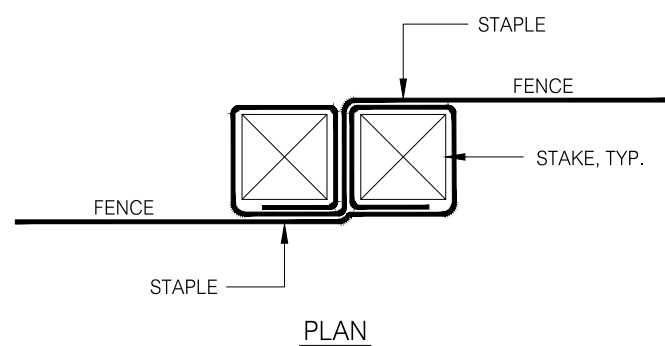


SECTION

GEOTEXTILE SILT FENCE AND STRAW BALE SEDIMENT CONTROL BARRIER
NOT TO SCALE

NOTES:

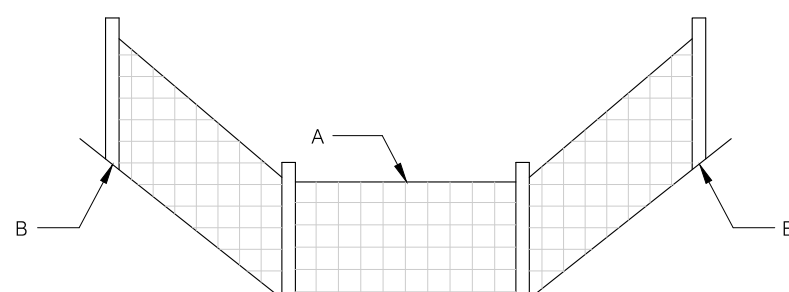
1. SEE GEOTEXTILE SILT FENCE AND STRAW BALE BARRIER DETAILS THIS SHEET.
2. WHERE A DOUBLE ROW BARRIER IS CALLED FOR ON THE PLANS THE DISTANCE BETWEEN THE FIRST LINE OF STRAW BALES AND THE SECOND LINE OF GEOTEXTILE SILT FENCE SHALL BE A MINIMUM OF 2 FEET.



FENCE JOINT DETAIL

NOTE:

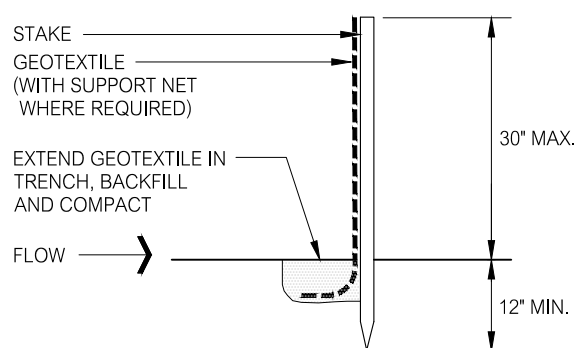
DRIVE STAKES TIGHTLY TOGETHER AND SECURE TOPS OF STAKES WITH CORD OR WIRE TO PREVENT FLOW-THROUGH OF SEDIMENT.



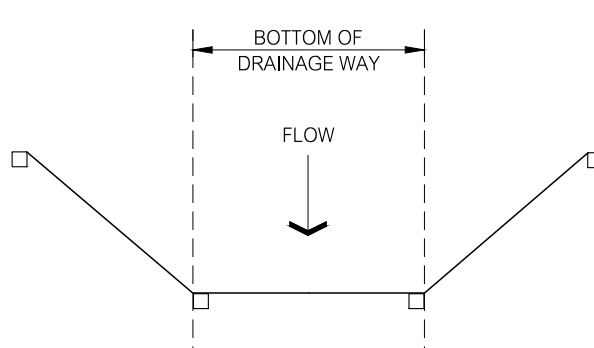
ELEVATION

NOTE:

WHEN NOT INSTALLED ON THE CONTOUR OR WHEN INSTALLED IN A DRAINAGE WAY, THE ELEVATION OF POINTS B SHALL BE HIGHER THAN POINT A.



SECTION

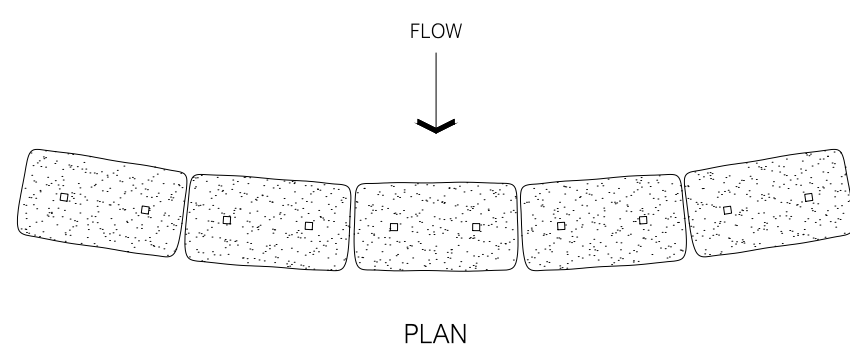


PLAN

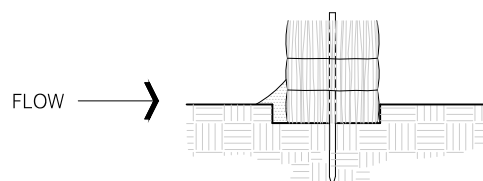
GSF GEOTEXTILE SILT FENCE
NOT TO SCALE

1. EXCAVATE 6" DEEP TRENCH FOR LENGTH OF THE FENCE.
2. EXTEND 6" LENGTH OF GEOTEXTILE INTO TRENCH, BACKFILL AND COMPACT.
3. AS AN ALTERNATE METHOD, EXTEND LENGTH OF GEOTEXTILE HORIZONTALLY ON EXISTING GROUND, RAMP SOIL OVER GEOTEXTILE AND COMPACT.

1. INSPECT FENCE AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 1/2 INCH OR GREATER.
2. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.



PLAN



SECTION

HB STRAW BALE BARRIER
NOT TO SCALE

1. EXCAVATE 4" DEEP TRENCH FOR LENGTH OF BALES.
2. PLACE AND STAKE BALES, TWO (2) STAKES PER BALE.
3. PLACE BALES SUCH THAT BINDINGS ARE ORIENTED AROUND THE SIDES OF BALES RATHER THAN ALONG THE TOP AND BOTTOM OF BALES.
4. WEDGE LOOSE STRAW BETWEEN BALES.
5. BACKFILL AND COMPACT THE EXCAVATED SOIL ON UPHILL SIDE OF BARRIER.

1. INSPECT BARRIER AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 1/2 INCH OR GREATER.
2. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE BARRIER.

PERMIT DRAWINGS

REVISIONS			TITLE
NO.	DATE	DESCRIPTION	
REVISIONS			

LAND
OF
RYE PROPERTIES
1363 BALDWIN HILL ROAD
LEDYARD, CONNECTICUT

DRAWING PHASE:

ISSUED FOR PERMITTING
DATE: 7-1-26



PREPARED BY:

Summer Hill
Civil Engineers & Land Surveyors, P.C.
60 Wall Street
P.O. Box 708
Madison, Connecticut 06443-0708
Telephone: (203) 245-0722

PROJECT:		R.B. KENT & SONS OFFICE 1363 BALDWIN HILL ROAD LEDYARD, CONNECTICUT	
DATE:	7-1-26	SHEET:	
SCALE:	AS NOTED		
DESIGNED:	MJO		
CHECKED:	LJM	FIELD BOOK:	
		PROJECT NO.:	25-28
		SHEET NO.: C-304	