

FD#1

Street No./ Name: _____

TOWN OF LEDYARD**INLAND WETLANDS AND WATERCOURSES COMMISSION (IWWC)****APPLICATION FOR PERMIT** (Or Commission ruling that a permit is not needed)Application No. IWWC#26-17

Receipt Date _____

S176

Date Submitted 6/11/26**RECEIVED**Applicant/Agent Town of LedyardOwner (if different) Mark T. Horbay**JUN 11 2026**Address 741 Colonel Ledyard HwyAddress of Owner 6 Winthrop Rd**Land Use Department**Phones 860-464-3238 / _____ cellPhone 860-464-9447*Mark T. Horbay*

- I have received information on the Army Corps of Engineers permit procedure.
- I have read and have included all the application and site plan requirements in Section 7 of the IWWC Regulations

Steve E. Phelan

Signature of Applicant/ Agent

Location of Property 6 Winthrop RdTax Assessor's Map No. 76 & 91Zoning District R20Written Description of Proposed Activity Remediation of a severely eroded drainage ditch that is expanding to the point of threatening the home on the property.Proposed Erosion/ Sediment Control Measures: Work in dry conditions; progressively stabilize with rip rap/stoneTotal Area of Site 1.15 acresTotal Area of Wetlands per Official Inventory Map 2,500 sq ftAmount of Fill, in Cubic Yards ~500Disturbed Area, in Square Feet ~5,000 or in Acres _____Area Increase/Decrease in Wetlands 0 (For Map Amendment Only*)

Soil Types from USDA Soil Survey _____

General Description of Vegetative Cover Sporadic low brushy vegetation interspersed among larger trees.

Name and Address of Adjacent Property Owners

See attached.Anticipated Start Date 8/1/26 Completion Date 10/15/26

List previous IWWC application #'s _____

IWW Commission Disposition: IWWC Regulations; Section _____

Classification _____

Signature of Chair

FEE: _____ + \$60.00 State Fee = _____

DATE PAID _____

RECEIPT # _____



100 feet Abutters List Report

Ledyard, CT
June 23, 2026

Subject Property:

Parcel Number: 91-2720-6
CAMA Number: 91-2720-6
Property Address: 6 WINTHROP RD

Mailing Address: HORBAY MARK THEODORE
6 WINTHROP RD
GALES FERRY, CT 06335

Abutters:

Parcel Number: 76-2120-1673
CAMA Number: 76-2120-1673
Property Address: 1673 ROUTE 12

Mailing Address: PETROLEUM MARKETING INVESTMENT
GROUP LLC
2900 TELESTAR CT
FALLS CHURCH, VA 22042

Parcel Number: 76-440-11
CAMA Number: 76-440-11
Property Address: 11 CHAPMAN LN

Mailing Address: RIDLEY DEBORAH
11 CHAPMAN LN
GALES FERRY, CT 06335

Parcel Number: 76-440-15
CAMA Number: 76-440-15
Property Address: 15 CHAPMAN LN

Mailing Address: ORTA HAYDEE ACEVEDO
15 CHAPMAN LN
GALES FERRY, CT 06335

Parcel Number: 76-440-3
CAMA Number: 76-440-3
Property Address: 3 CHAPMAN LN

Mailing Address: SHERIDAN ASPHALT PAVING LLC
727 PENDLETON HILL RD
NORTH STONINGTON, CT 06359

Parcel Number: 76-440-7
CAMA Number: 76-440-7
Property Address: 7 CHAPMAN LN

Mailing Address: LEWIS JORDAN LANE + STACY
ZACHARY JOSEPH
7 CHAPMAN LN
GALES FERRY, CT 06335

Parcel Number: 91-1050-14
CAMA Number: 91-1050-14
Property Address: 14 HURLBUTT RD

Mailing Address: A GALES FERRY CEMETERY ASSOC I
P O BOX 144
GALES FERRY, CT 06335

Parcel Number: 91-1590-12
CAMA Number: 91-1590-12
Property Address: 12 MILITARY HWY

Mailing Address: BANNERSTONE LLC
P O BOX 647
GALES FERRY, CT 06335

Parcel Number: 91-1590-2
CAMA Number: 91-1590-2
Property Address: 2 MILITARY HWY

Mailing Address: CASSABRIA MERRY
13 DEVONSHIRE DR
GALES FERRY, CT 06335

Parcel Number: 91-2720-10
CAMA Number: 91-2720-10
Property Address: 10 WINTHROP RD

Mailing Address: COUZELIS DAVID + ANGELA
10 WINTHROP RD
GALES FERRY, CT 06335

Parcel Number: 91-2720-8
CAMA Number: 91-2720-8
Property Address: 8 WINTHROP RD

Mailing Address: OCONNELL RYAN P
8 WINTHROP RD
GALES FERRY, CT 06335



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6/23/2026

Page 1 of 1



6 Winthrop Rd, Gales Ferry

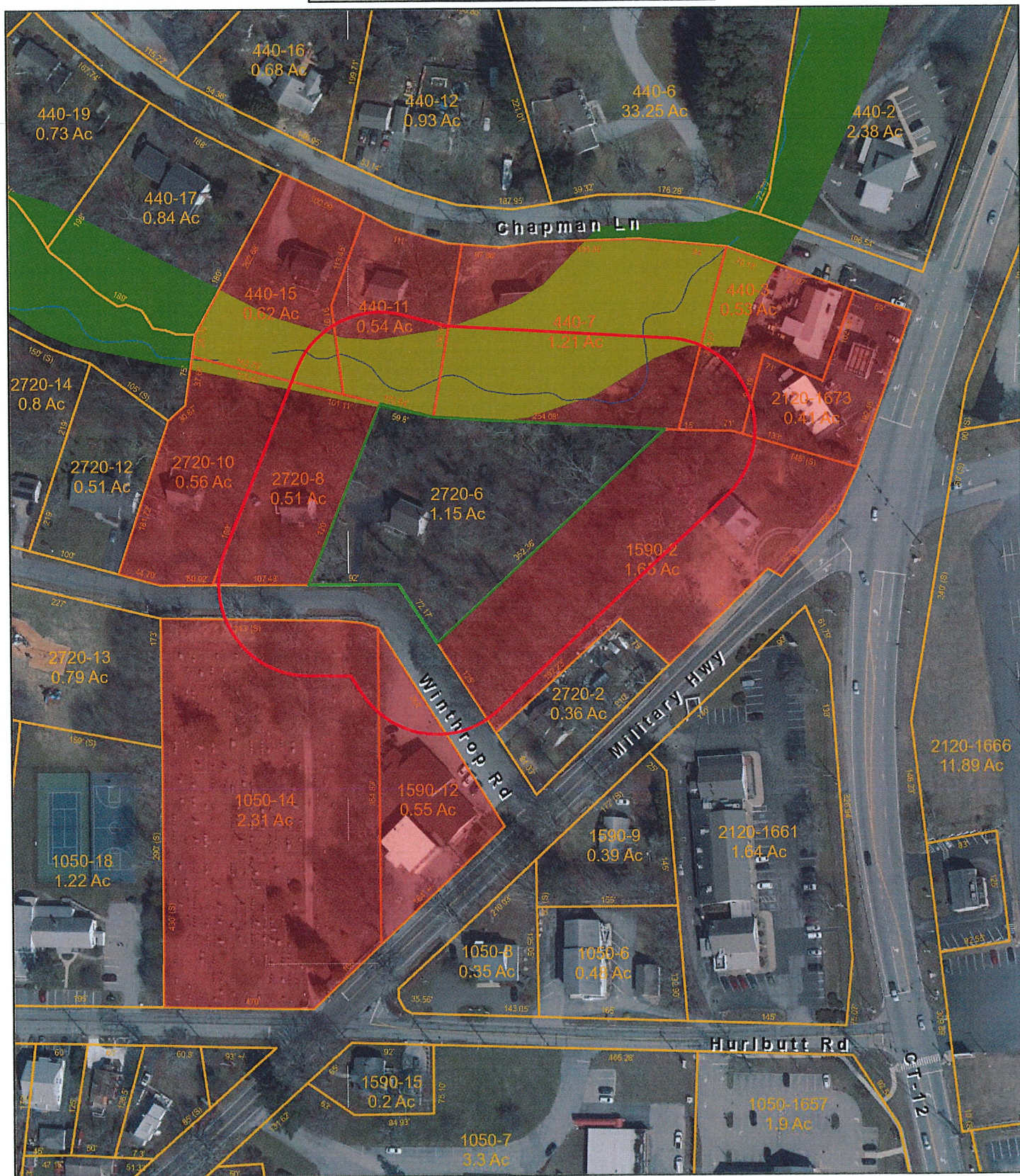
Ledyard, CT

1 inch = 150 Feet



www.cai-tech.com

June 23, 2026



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TOWN OF LEDYARD CONNECTICUT PUBLIC WORKS DEPARTMENT

741 Colonel Ledyard Highway
Ledyard, CT 06339
(860) 464-3238
pwd@ledyardct.org

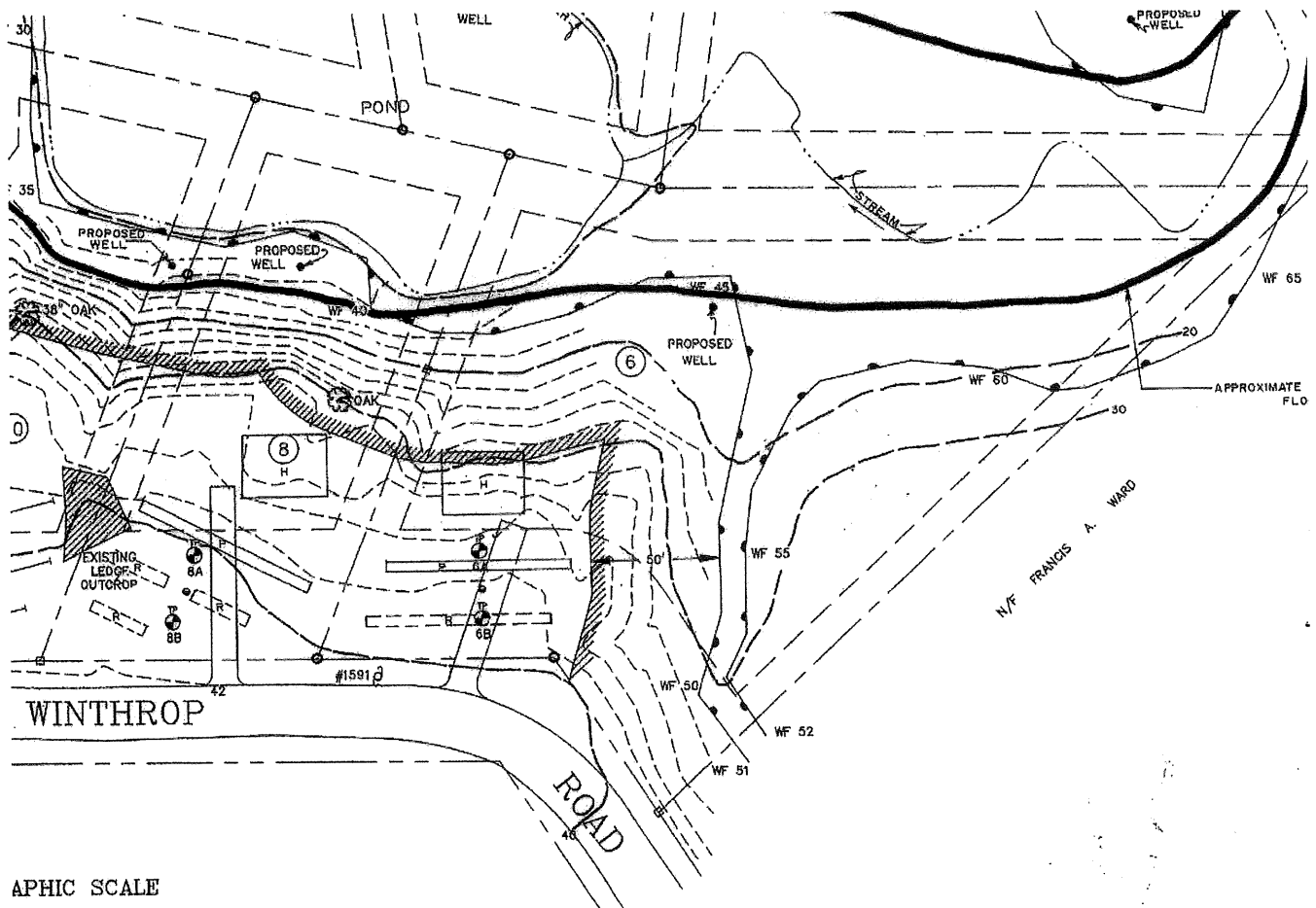
June 11, 2026

6 Winthrop Rd Drainage Ditch Remediation (IWWC#26-17SITE)

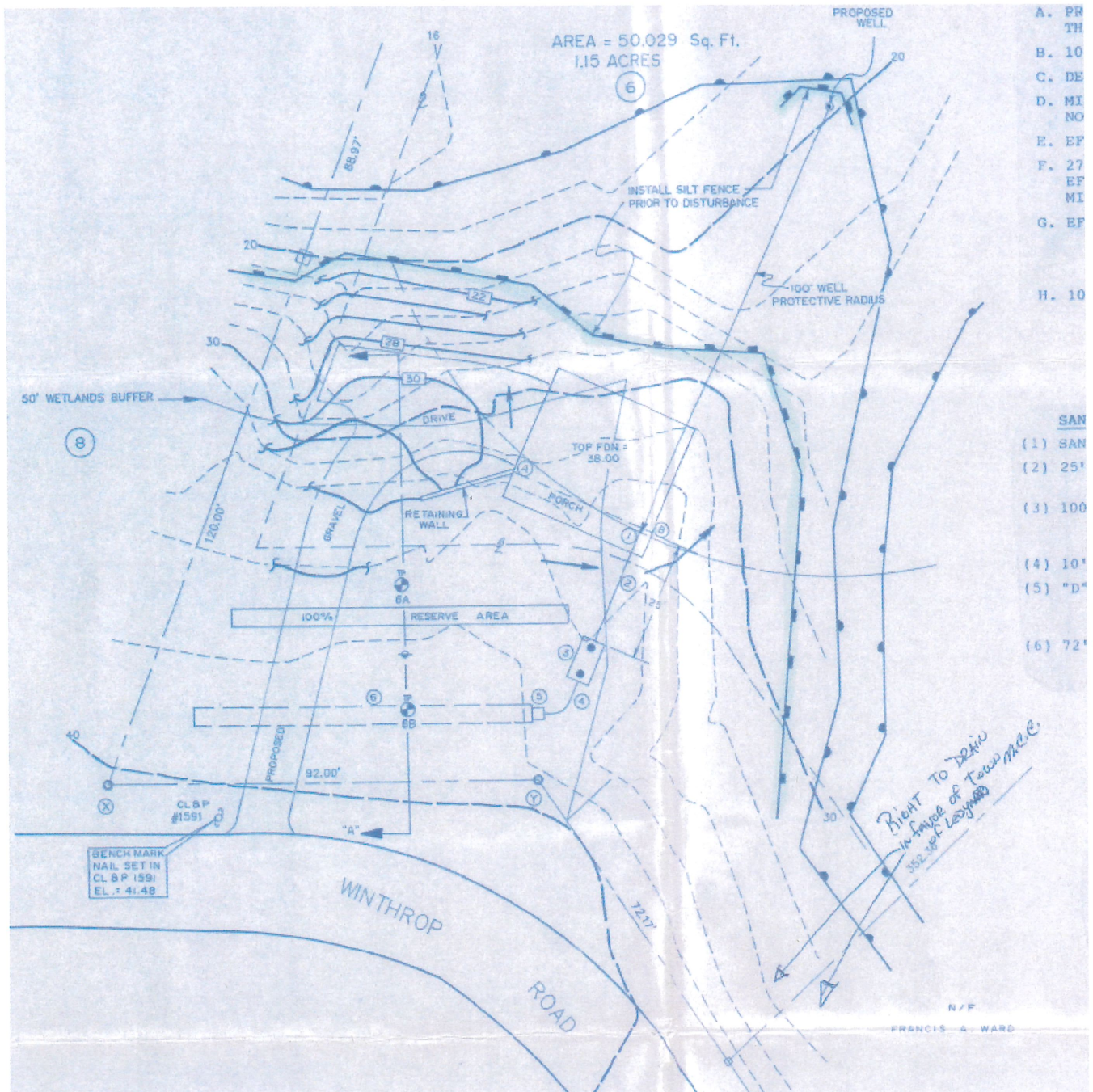
Background

The proposed work associated with this project is to remediate an area of severe erosion associated with a drainage ditch conveying stormwater from a Town drainage system. In 1996 a subdivision of land between Winthrop Rd and Chapman Ln was approved that included 6 Winthrop Rd.

An existing drainage ditch starting at a discharge point at 2 Military Hwy continues across 6 Winthrop Rd and runs into the headwater area of Clark Cove. The original proposed house layout on this lot was at the extreme west boundary and 75 ft from the edge of the ditch, as it existed then.



Subsequently, the builder moved the house considerably closer to the ditch (about 40 ft).



This ditch was never properly armored against the progressive effects of stormwater runoff, which has led to dramatic erosion and expansion of the ditch with the present proximity of the bank noticeably closer to the house. This situation was brought to the Town's attention by Mr. Mark Horbay, the present owner and occupant of 6 Winthrop Rd.

Here are some photographs:



House from the Road (ditch to the right in the woods)



Leak-Off on to 6 Winthrop Rd west of Drainage Discharge



Drainage Discharge at 2 Military Hwy



Views of House from Ditch



View Looking up Ditch from Adjacent to House



Miscellaneous Ditch Photos

The objective of this project is to fill in the ditch as necessary to restore its original grade and then armor it with appropriately sized stone. We would be using clean fill that we have stockpiled at the Public Works Highway Garage facility. We will be clearing and grubbing as necessary to establish suitable access to the work area from the road.

The normal condition of the ditch is dry and of upland condition; it is typically only stream-like when conveying stormwater. But the original drawings depict wetland boundaries at the ditch and the area approaching and at the stream below are wetlands. Our work will most likely breach the 100-ft setback limit.

Steven E. Masalin, P.E.
Public Works Director