

NOTE: BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.
THE STONE WALLS AND/OR FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES OF COURSE BETWEEN PRINCIPAL POINTS OF COURSE INDICATED.

SOILS LEGEND

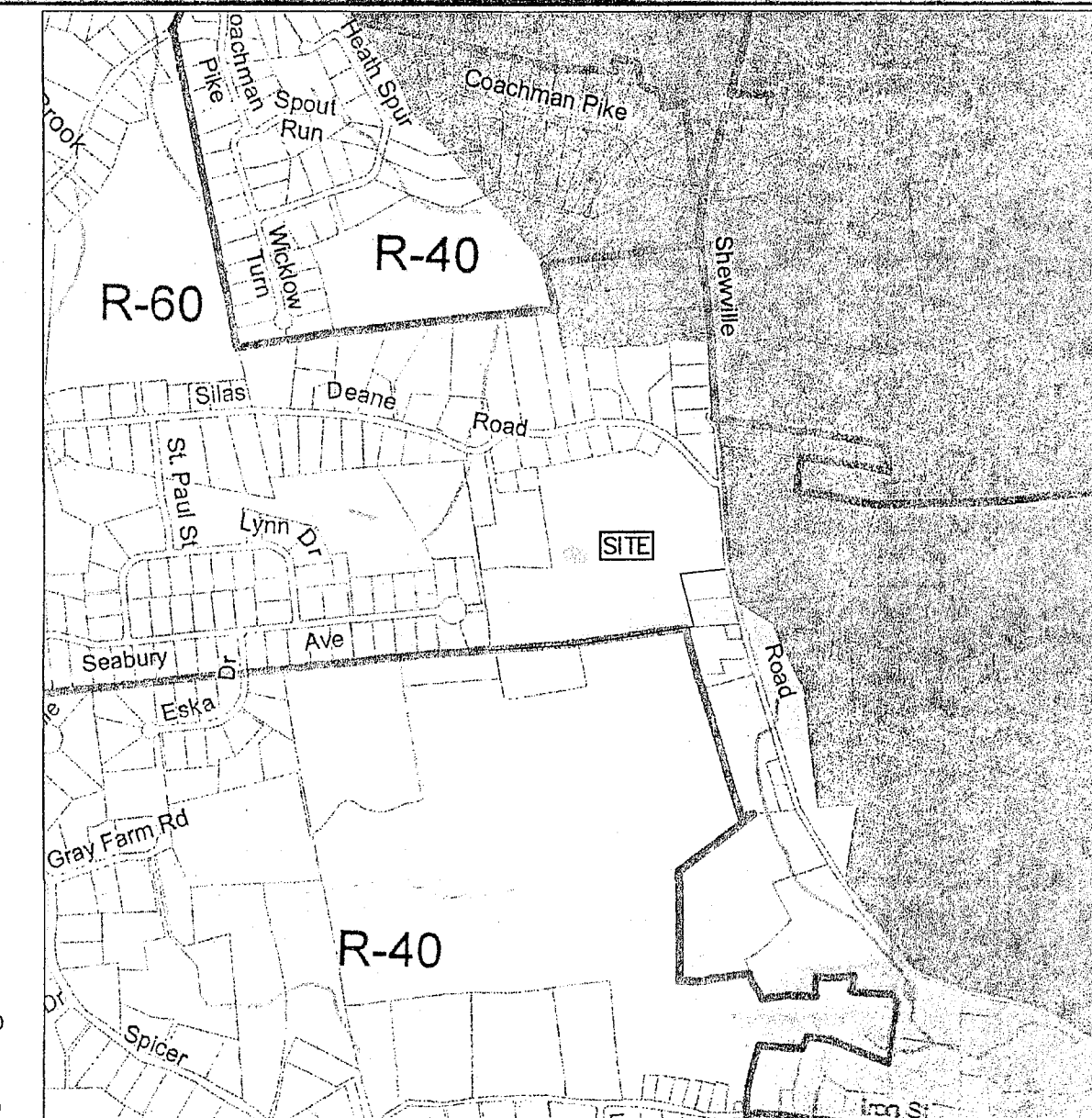
CdC - CANTON AND CHARLTON EXTREMELY STONY FINE SANDY LOAMS, 3 TO 15 PERCENT SLOPES
CdD - CANTON AND CHARLTON EXTREMELY STONY FINE SANDY LOAMS, 15 TO 35 PERCENT SLOPES
CrC - CHARLTON-HOLLIS FINE SANDY LOAMS, VERY ROCKY, 3 TO 15 PERCENT SLOPES
CrD - CHARLTON-HOLLIS FINE SANDY LOAMS, VERY ROCKY, 15 TO 45 PERCENT SLOPES
HrC - HOLLIS-CHARLTON-ROCK, OUTCROP COMPLEX 3 TO 5 PERCENT SLOPES
PdC - PAXTON AND MONTAUK, VERY STONY FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
PdB - PAXTON AND MONTAUK, VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
Rn - RIDGEBURY, LEICESTER, AND WHITMAN EXTREMELY STONY FINE SANDY LOAMS
SvB - SUTTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
SxB - SUTTON EXTREMELY STONY FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES

GENERAL NOTES CONTINUED:

9. PER SUBDIVISION REGULATIONS SECTION 4.6, ENERGY EFFICIENCY, ENERGY CONSERVATION AND USE OF SOLAR ENERGY WAS CONSIDERED IN DESIGNING THIS SUBDIVISION AND THIS SECTION WILL BE CONSIDERED FOR INDIVIDUAL LOT DEVELOPMENT.
10. BULK REQUIREMENTS FOR OPEN SPACE SUBDIVISION R-60 ZONE. (60% OPEN SPACE REQUIRED).
- | ITEM | REQUIRED | PROVIDED |
|--|----------------|---------------------|
| MINIMUM PARCEL AREA PRIOR TO SUBDIVISION | 40 ACRES | 48.58 ACRES |
| OPEN SPACE REQUIRED | 29.15 ACRES | 32.00 ACRES (65.9%) |
| MINIMUM SIDE YARD DISTANCE | 15 FEET | 15 FEET |
| MINIMUM LOT REAR YARD DISTANCE | 30 FEET | 30 FEET |
| MINIMUM FRONT YARD SETBACK | 25 FEET | 25 FEET |
| LOT SIZE (FRONT) | 20,000 Sq. Ft. | PROVIDED |
| INTERIOR / SPECIAL LOT | 30,000 Sq. Ft. | PROVIDED |
| NUMBER SPECIAL INTERIOR LOTS | 5 PERMITTED | 5 PROVIDED |
| MAXIMUM IMPERVIOUS LOT COVERAGE | 40% | 4% ± |
| ROAD FRONTAGE | 100 FEET | REQUIREMENT MET |
11. 16 LOTS SHARE BOUNDARY WITH OPEN SPACE.
12. SOILS TESTING INDICATED ON THIS PLAN ARE REPRESENTATIVE OF ACTUAL SOIL CONDITIONS AND ADDITIONAL DEEP TEST PITS AND PERCOLATION TESTS MAY BE REQUIRED BY THE HEALTH DISTRICT IF THE BUILDING OR SYSTEM LOCATION IS ALTERED AND/OR THE SUITABLE SEPTIC AREA IS LIMITED.
13. MONUMENTS, PERMANENT PIN MARKERS OR DRILL HOLES SHALL BE INSTALLED AT ALL CORNERS AND AT INTERVALS NO GREATER THAN 100 FEET ALONG THE BOUNDARIES OF ALL OPEN SPACE PARCELS. RIGHTS OF WAY TO OPEN SPACE PARCELS WHICH ARE 50 FEET IN WIDTH OR LESS SHALL BE MARKED AT INTERVALS NO GREATER THAN 50 FEET. A-2 PLAN CALLS OUT MONUMENTATION TO BE SET FOR ROAD AND LOTS.
14. CALL BEFORE YOU DIG (1-800-922-4455) WILL BE CONTACTED PRIOR TO INITIATION OF THIS PROJECT.
15. WORK SHALL CONFORM TO ORDINANCE REGULATING THE ADDITION OF A NEW STREET OR HIGHWAY TO THE HIGHWAY SYSTEM OF THE TOWN OF LEDYARD, ORDINANCE #300-025.
16. ACTUAL CONDITIONS THAT DEVELOP OR ARE MORE CLEARLY ASSESSED DURING CONSTRUCTION MAY DICTATE THAT FIELD ADJUSTMENTS TO ACCOMMODATE DEVELOPMENT ACTIVITY, INCLUDING ADDITIONAL DRAINAGE OR SIGHTLINE CLEARING MEASURES, MAY BE NECESSARY. ADDITIONAL DESIGN EFFORT FOR AND INSTALLATION OF SUCH MEASURES SHALL BE UNDERTAKEN IN CONSULTATION WITH AND AT NO EXPENSE TO THE TOWN.
17. THE TOWN OF LEDYARD SHALL SUPPLY AND INSTALL STREET SIGNAGE AND MARKINGS SPECIFIED BY THESE PLANS AT THE EXPENSE OF DEVELOPER. UPON COMPLETION OF WORK THE TOWN WILL PRESENT AN INVOICE TO THE DEVELOPER FOR THE MATERIALS AND LABOR ASSOCIATED WITH THIS EFFORT.
18. PORTIONS OF THIS RE-SUBDIVISION ARE SERVED BY COMMON DRIVEWAYS. THE TOWN OF LEDYARD WILL NOT PROVIDE MAINTENANCE, REPAIRS OR SCHOOL BUS SERVICE ALONG COMMON DRIVEWAYS.

GENERAL NOTES:

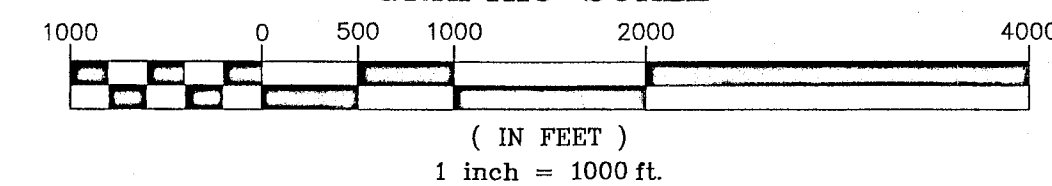
1. MAP REFERENCES:
A) CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF LEDYARD A SECTION OF SHEWVILLE ROAD ABOUT 6,400 FEET SCALE 1"=40' DATE 7-21-41 DATE 8-14-41 NUMBER 71-10 SHEET NO. 1 OF 2.
B) HIGH VIEW RIDGE PLAN SHOWING PROPERTY OF HILDRETH BARRETT SHEWVILLE ROAD LEDYARD, CONN. SCALE 1"=100 FT. APRIL 9, 1956 REVISED OCT. 12, 1956 H.A. EMERSON LAND SURVEYOR 3012.
C) HIGH VIEW RIDGE LOT PLAN No. 1 LEDYARD, CONN. SCALE 1"=100 FT. JAN 18, 1957 H.A. EMERSON LAND SURVEYOR 3012.
D) HIGH VIEW RIDGE LOT PLAN SHEWVILLE ROAD LEDYARD, CONN. SCALE 1"=100 FT. MAY 25, 1957 H.A. EMERSON LAND SURVEYOR 3012.
E) PARSONAGE HILL MANOR BOUNDARY SURVEY MAP RESUBDIVISION SECTION II OWNER & DEVELOPER BONNIE BROOK LTD. SEABURY AVE. LEDYARD, CT. SCALE: 1"=100' FEBRUARY, 1977 SHEET NO. 2 OF 16 PREPARED BY BERNARD F. STONE & ASSOCIATES, INC. SALEM, CT. WITH REVISIONS THROUGH 6/16/77.
F) MAP SHOWING LAND TRANSFERS OF LAND OF PIERCURI SILAS DEANE RD. LEDYARD, CT. SCALE: 1"=40' 6-1-81.
G) HIDDEN ACRES SUBDIVISION PLAN PREPARED FOR JERRY KIL & JOHN LOMBARDI, JR. IRON STREET & SPICER HILL ROAD EXT. LEDYARD, CT. SCALE: 1"=100' DATE: 11/10/94 SHEET NO. 3 OF 40 WITH REVISIONS TO 12/19/95.
2. THIS SUBDIVISION WILL BE SERVED BY PUBLIC WATER AND ON SITE SEWAGE DISPOSAL SYSTEMS.
3. HOUSES, DRIVEWAYS, SEWAGE DISPOSAL SYSTEMS, FOUNDATION DRAINS AND EROSION & SEDIMENT CONTROL ARE SHOWN CONCEPTUALLY.
4. ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM.
5. LOTS WITH SHARED DRIVES SHALL CONTAIN EASEMENTS FOR INGRESS AND EGRESS, THE RIGHT TO INSTALL AND MAINTAIN UTILITIES AND DRIVEWAY AND A MAINTENANCE AGREEMENT FOR THE SHARED DRIVEWAY. THE TOWN OF LEDYARD WILL PROVIDE NO MAINTENANCE, REPAIRS OR SCHOOL BUS SERVICE ALONG COMMON DRIVEWAY.
6. UTILITIES TO BE INSTALLED UNDERGROUND.
7. THE SITE IS NOT LOCATED IN A COASTAL AREA MANAGEMENT ZONE, FLOOD HAZARD ZONE OR PUBLIC WATER SUPPLY WATERSHED.
8. SITE IS SHOWN ON FEMA MAP 0901100378G EFFECTIVE 7/18/2011. MAJORITY OF PROPERTY IS LOCATED IN "OTHER AREAS". A SMALL PORTION OF THE PROPOSED OPEN SPACE IS LOCATED IN "OTHER FLOOD AREAS" WITH A 0.2% FLOOD CHANCE.



LOCATION MAP

ZONING DISTRICT: R-60

GRAPHIC SCALE



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- SHEET 1 - 100 SCALE BOUNDARY MAP; LOCATION MAP; SOILS MAP AND GENERAL NOTES
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PLAN SHOWING
SHEWVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEWVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT
SCALE: 1"=100'
FEBRUARY 2026
REVISED: MAY 18, 2026
REVISED: JUNE 22, 2026

SHEET 1 OF 16

THIS MAP AND SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES-"MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", ADOPTED EFFECTIVE JUNE 21, 1996, REVISED OCTOBER 26, 2018. IT IS A BOUNDARY SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS "D" TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

TITLE: LAND SURVEYOR CT No. 14208

DATE: FEBRUARY 13, 2026

LEGEND

- STONE WALL
PROPERTY LINE
STREET LINE
STREET ADDRESS
SOIL TYPE PER SOILS SURVEY OF NEW LONDON COUNTY

APPROVED BY THE LEDYARD PLANNING AND ZONING COMMISSION AS TO THE COMPLIANCE WITH THE REGULATIONS GOVERNING THE SUBDIVISION OF LAND.
ALL IMPROVEMENTS SHALL BE COMPLETED BY _____ DATE _____
CHAIRMAN OR SECRETARY _____ DATE _____

LOT NUMBERS ASSIGNED BY THE ASSESSOR
ASSESSOR _____ DATE _____

IWWC APPLICATION# _____
APPROVED, _____
NO PERMIT NECESSARY. (NOT WITHIN A REGULATED AREA)
NOT APPLICABLE AT THIS TIME. (WITHIN A REGULATED AREA; NO REGULATED ACTIVITY PROPOSED AT THIS TIME.)

ZONING/WETLANDS OFFICER _____ DATE _____

APPROVED BY THE DIRECTOR OF PUBLIC WORKS OR THE TOWN ENGINEER FOR PUBLIC WAY LAYOUT.
PUBLIC WORKS DIRECTOR/TOWN ENGINEER _____ DATE _____

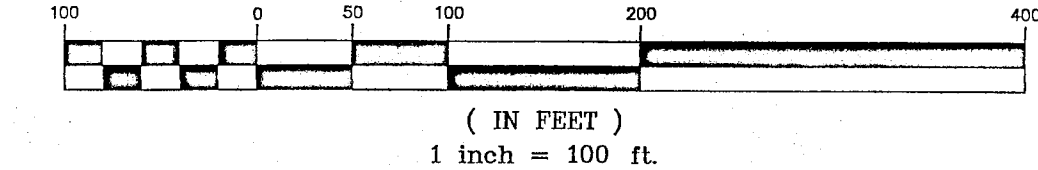
EROSION AND SEDIMENT CONTROL PLAN CERTIFIED BY VOTE OF THE LEDYARD PLANNING AND ZONING COMMISSION

CHAIRMAN OR SECRETARY OF THE LEDYARD PLANNING AND ZONING COMMISSION _____ DATE _____

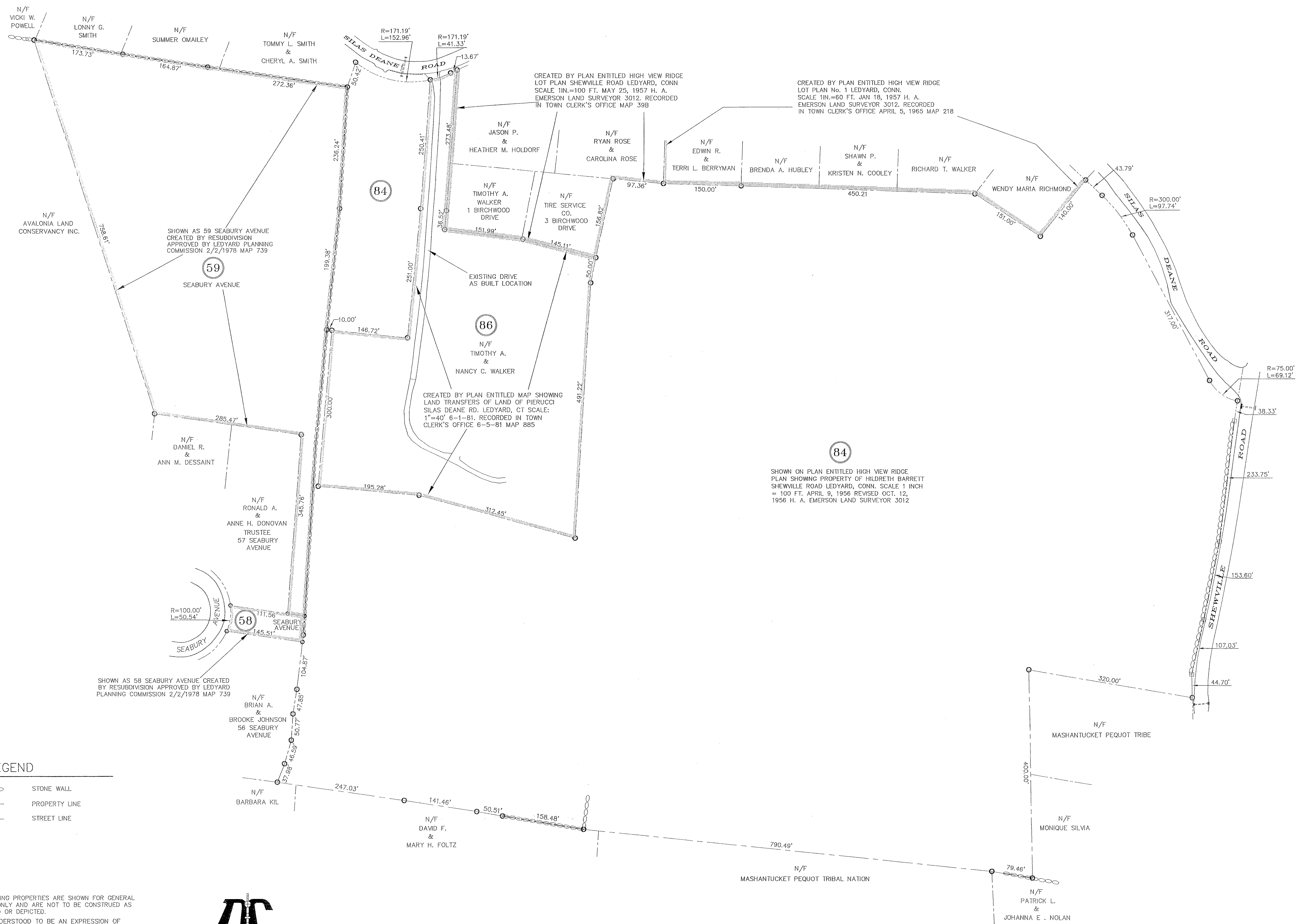
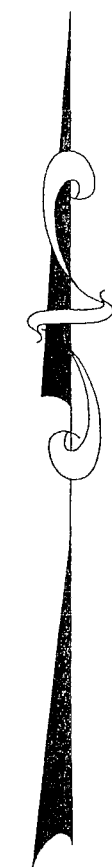
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THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF THE PROFESSIONAL OPINION BY THE LAND SURVEYOR WHICH IS BASED ON HIS OR HER BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH IT CONSTITUTES NEITHER GUARANTEE OR WARRANTY.

GRAPHIC SCALE



DIETER & GARDNER
LAND SURVEYORS • PLANNERS
1641 CONNECTICUT ROUTE 12
P.O. BOX 335
GALES FERRY, CT. 06335
(860) 464-7455
EMAIL: DIETER.GARDNER@YAHOO.COM



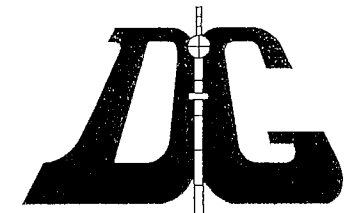
NOTE: SHEVILLE HEIGHTS RESUBDIVISION IS COMPOSED OF 84 SILAS DEANE ROAD, 58 AND 59 SEABURY AVENUE, WHICH WERE CREATED BY THE PARSONAGE HILL MANOR SUBDIVISION, 84 SILAS DEANE ROAD, CREATED SINCE MARCH 22, 1962.

PLAN SHOWING
PARCEL HISTORY MAP
SHEVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT
SCALE: 1"=100'
FEBRUARY 2026
REVISED: JUNE 22, 2026

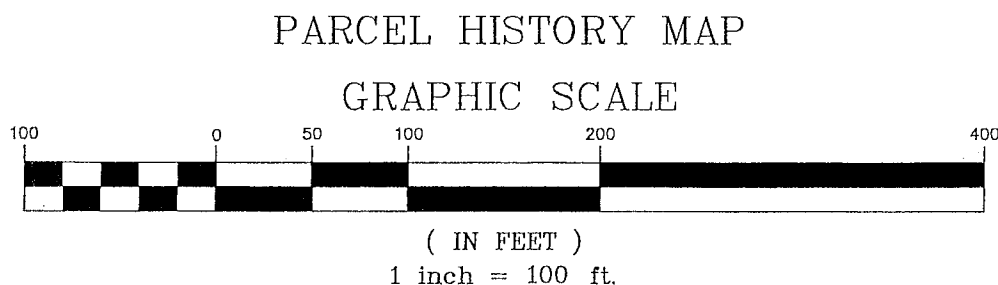
SHEET 2 OF 16

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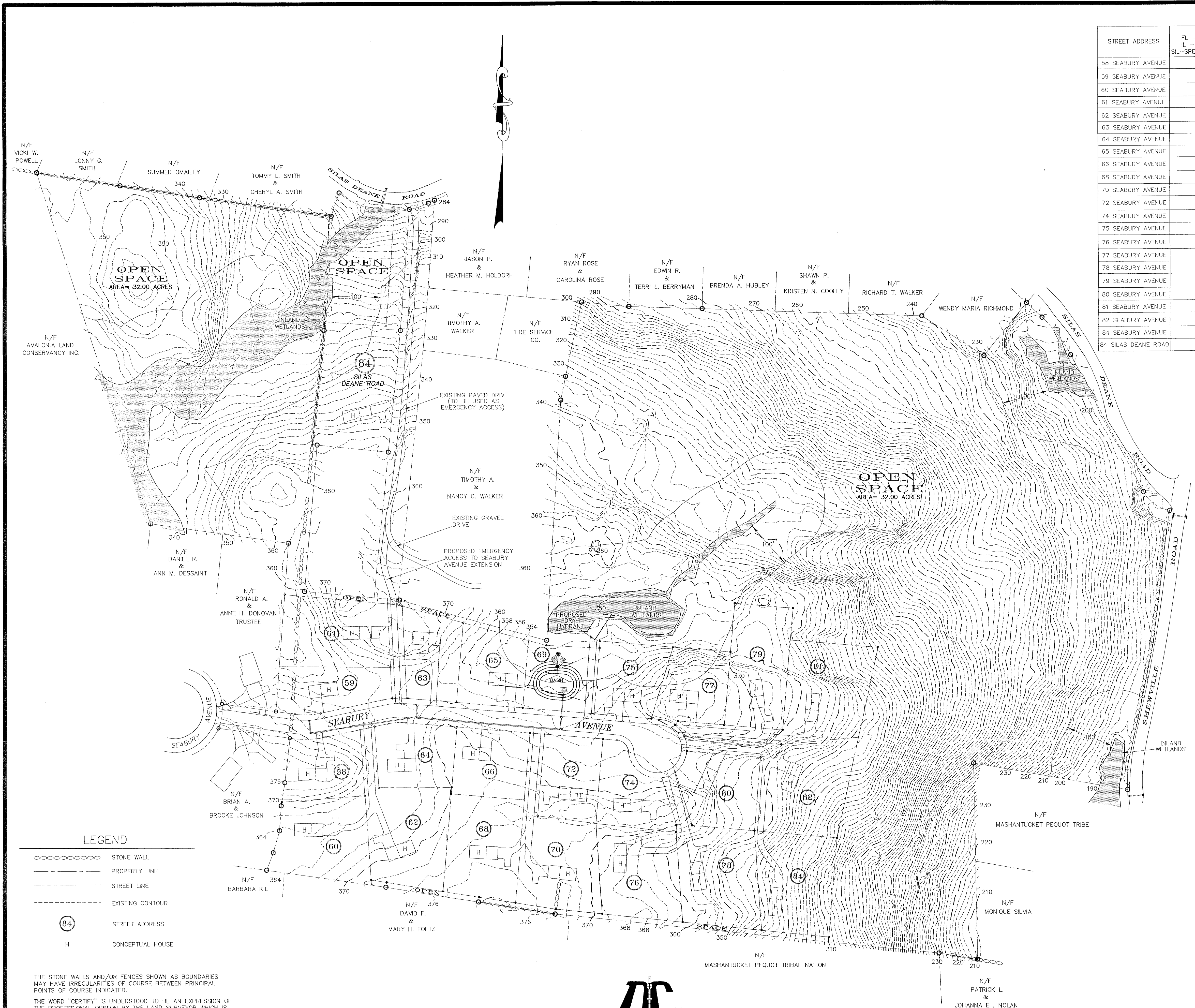


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TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

TITLE: LAND SURVEYOR CT No. 14208
DATE: FEBRUARY 13, 2026



ZONING COMPLIANCE TABLE
OPEN SPACE RESUBDIVISION R-60 ZONE

STREET ADDRESS	ITEM FL - FRONT LOT IL - INTERIOR LOT SIL - SPECIAL INTERIOR LOT	REQUIRED FRONTAGE LOT FL 20,000 S.F. SPECIAL INTERIOR LOT SIL 30,000 S.F.	LOT SIZE WITH SIL EXCLUSIVE OF EASEMENT AREAS	ITEM FL - FRONT LOT IL - INTERIOR LOT SIL - SPECIAL INTERIOR LOT	FRONTAGE REQUIRED	FRONTAGE PROVIDED
58 SEABURY AVENUE	FL	20,000 Sq. Ft.	20,000 Sq. Ft.	FL	100 FT.	145.65 FT.
59 SEABURY AVENUE	FL	20,000 Sq. Ft.	20,011 Sq. Ft.	FL	100 FT.	241.90 FT.
60 SEABURY AVENUE	SIL	30,000 Sq. Ft.	30,325 Sq. Ft.	SIL	0 FT.	0 FT.
61 SEABURY AVENUE	IL	30,000 Sq. Ft.	30,394 Sq. Ft.	IL	30 FT.	30.00 FT.
62 SEABURY AVENUE	IL	30,000 Sq. Ft.	32,672 Sq. Ft.	IL	30 FT.	30.29 FT.
63 SEABURY AVENUE	FL	20,000 Sq. Ft.	20,659 Sq. Ft.	FL	100 FT.	102.13 FT.
64 SEABURY AVENUE	FL	20,000 Sq. Ft.	20,545 Sq. Ft.	FL	100 FT.	170.15 FT.
65 SEABURY AVENUE	FL	20,000 Sq. Ft.	20,917 Sq. Ft.	FL	100 FT.	136.00 FT.
66 SEABURY AVENUE	FL	20,000 Sq. Ft.	20,548 Sq. Ft.	FL	100 FT.	150.00 FT.
68 SEABURY AVENUE	SIL	30,000 Sq. Ft.	30,790 Sq. Ft.	SIL	0 FT.	0 FT.
70 SEABURY AVENUE	IL	30,000 Sq. Ft.	30,095 Sq. Ft.	IL	30 FT.	30.00 FT.
72 SEABURY AVENUE	FL	20,000 Sq. Ft.	20,400 Sq. Ft.	FL	100 FT.	120.00 FT.
74 SEABURY AVENUE	FL	20,000 Sq. Ft.	20,003 Sq. Ft.	FL	100 FT.	161.96 FT.
75 SEABURY AVENUE	FL	20,000 Sq. Ft.	20,100 Sq. Ft.	FL	100 FT.	118.00 FT.
76 SEABURY AVENUE	SIL	30,000 Sq. Ft.	30,012 Sq. Ft.	SIL	0 FT.	0 FT.
77 SEABURY AVENUE	FL	20,000 Sq. Ft.	20,212 Sq. Ft.	FL ON CUL-DE-SAC	50 FT.	51.26 FT.
78 SEABURY AVENUE	IL	30,000 Sq. Ft.	32,019 Sq. Ft.	IL	30 FT.	30.47 FT.
79 SEABURY AVENUE	SIL	30,000 Sq. Ft.	30,000 Sq. Ft.	SIL	0 FT.	0 FT.
80 SEABURY AVENUE	FL	20,000 Sq. Ft.	22,813 Sq. Ft.	FL ON CUL-DE-SAC	50 FT.	50.00 FT.
81 SEABURY AVENUE	IL	30,000 Sq. Ft.	33,633 Sq. Ft.	IL	30 FT.	30.00 FT.
82 SEABURY AVENUE	IL	30,000 Sq. Ft.	34,792 Sq. Ft.	IL	30 FT.	31.42 FT.
84 SEABURY AVENUE	SIL	30,000 Sq. Ft.	31,073 Sq. Ft.	SIL	0 FT.	0 FT.
84 SILAS DEANE ROAD	IL	30,000 Sq. Ft.	40,000 Sq. Ft.	IL	30 FT.	30 FT.

LEGEND

- STONE WALL
- PROPERTY LINE
- STREET LINE
- EXISTING CONTOUR
- STREET ADDRESS
- CONCEPTUAL HOUSE

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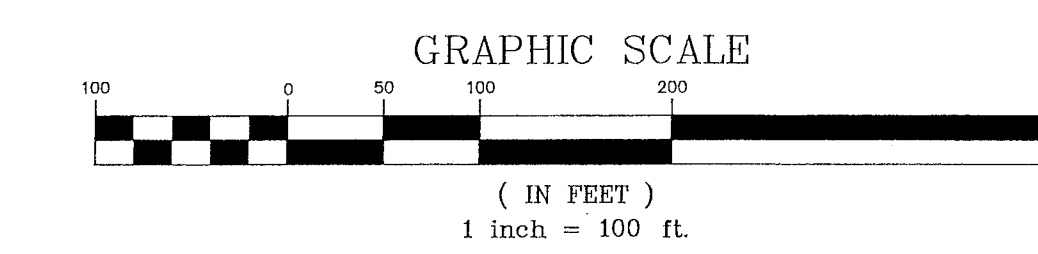
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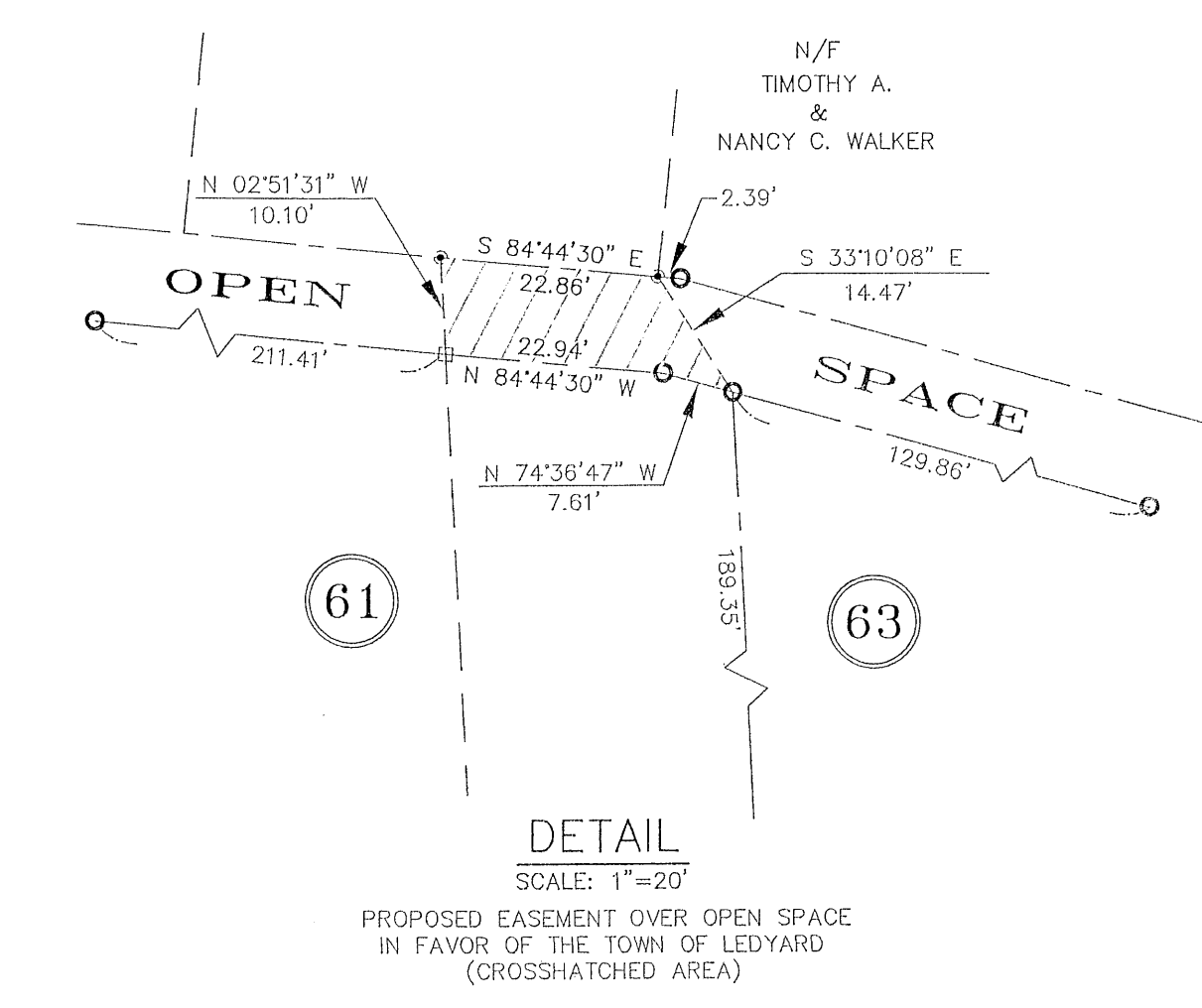
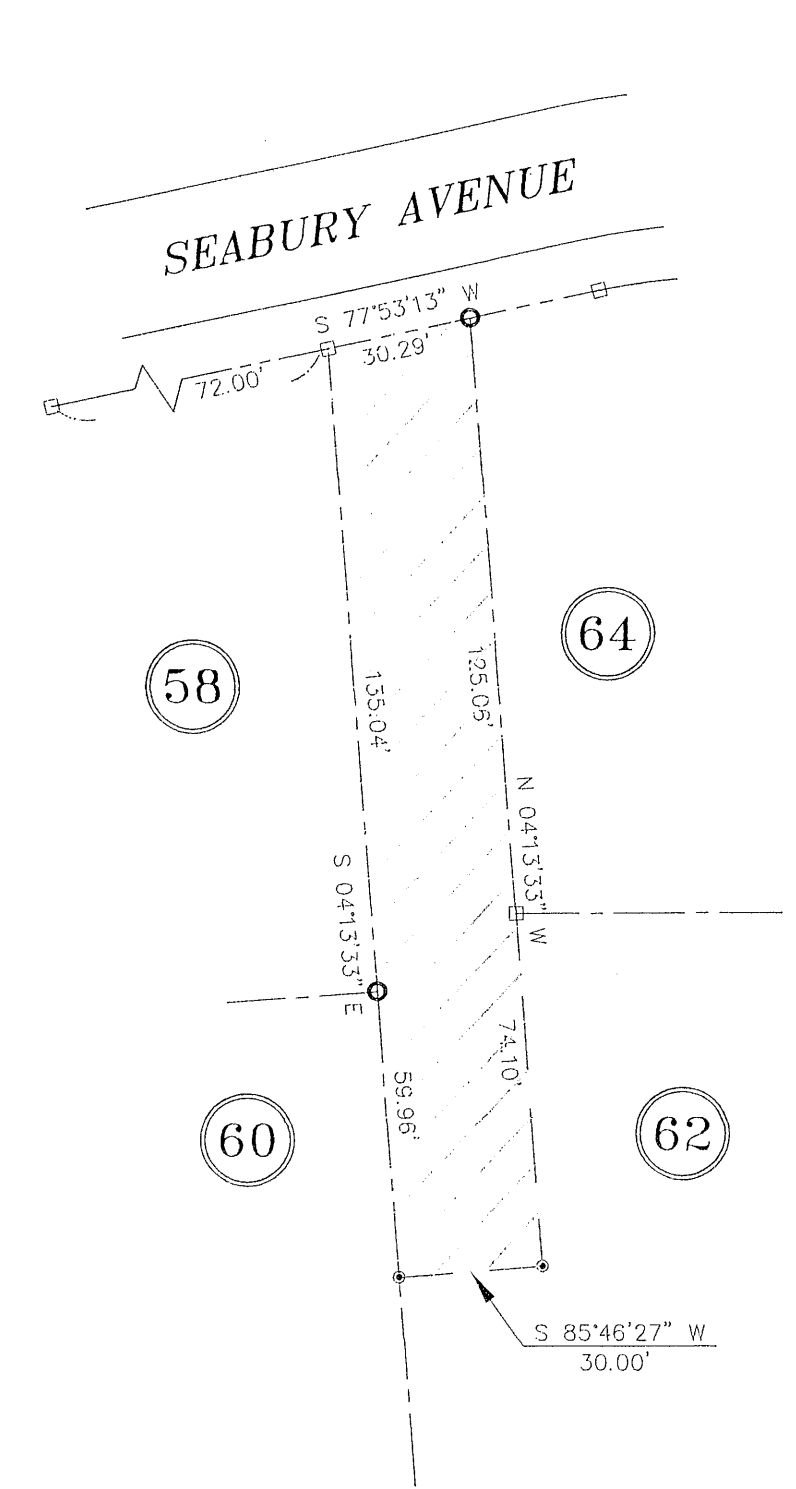
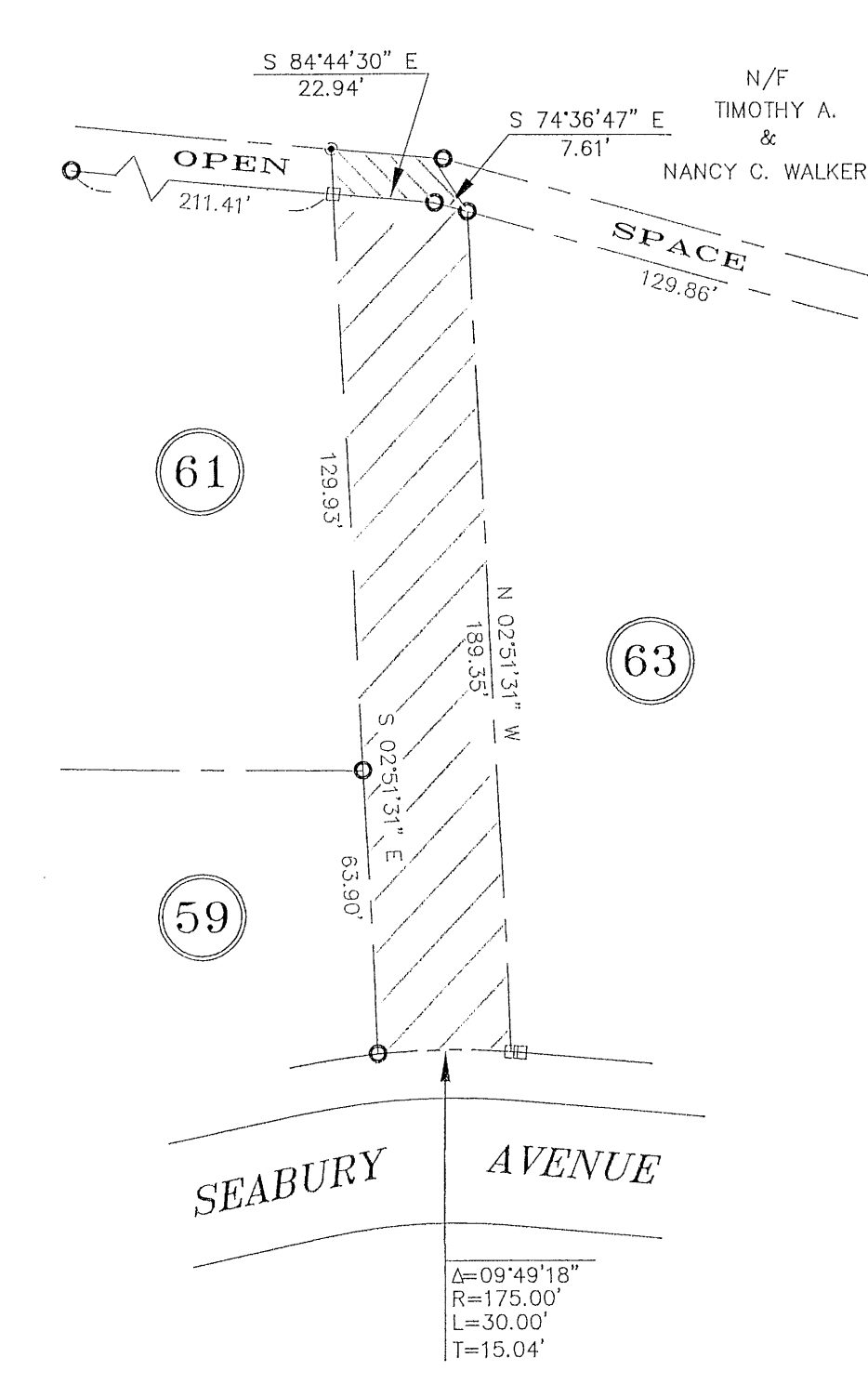
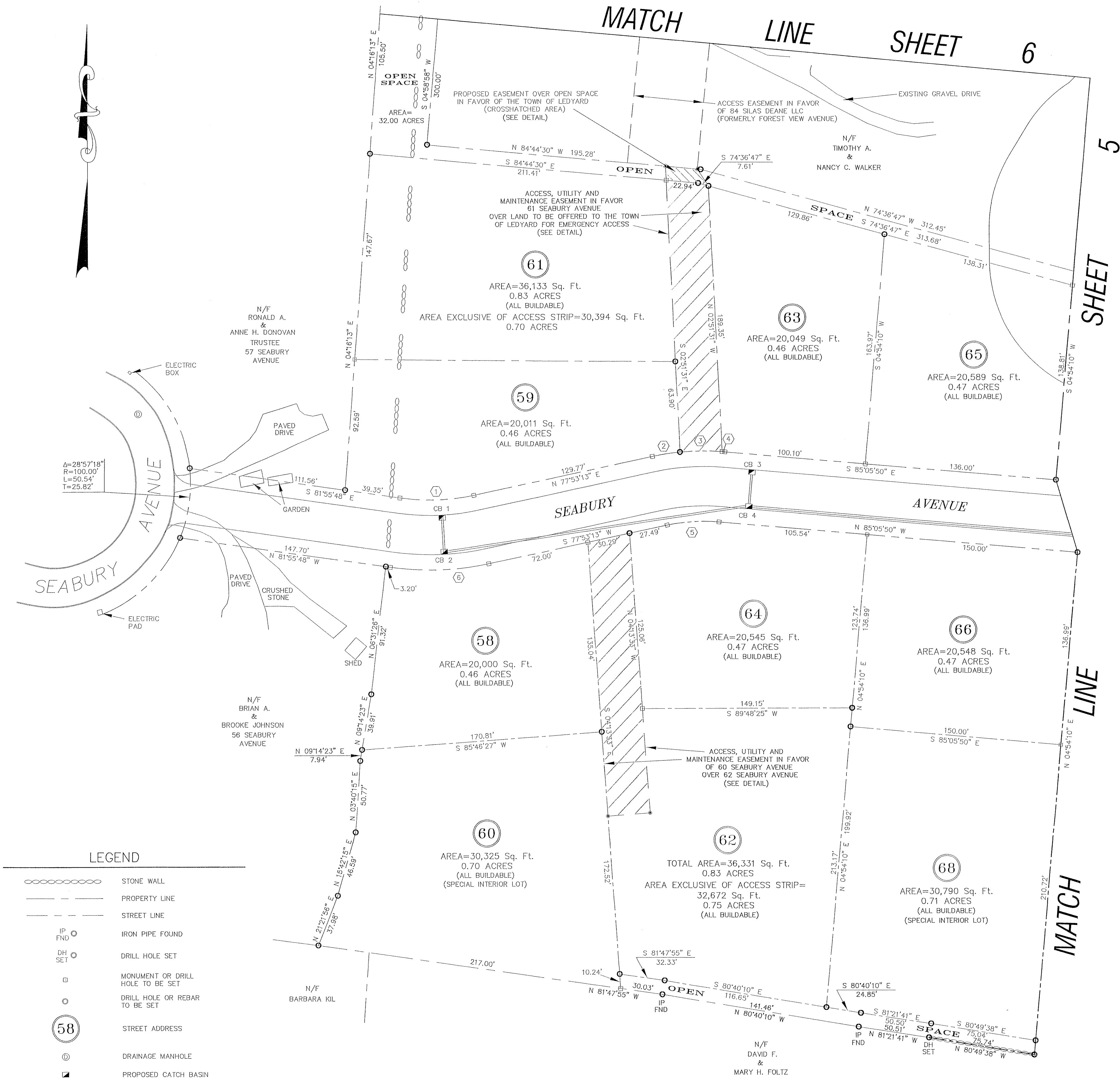
I HAVE REVIEWED THE INLAND WETLAND BOUNDARY I DELINEATED AND I AM OF THE OPINION THAT THE WETLAND BOUNDARY IS SHOWN CORRECTLY ON THIS MAP.

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PLAN SHOWING
SHEWVILLE HEIGHTS
OVERALL PLAN
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEWVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT
SCALE: 1"=100'
FEBRUARY 2026
REVISED: MAY 18, 2026
REVISED: JUNE 22, 2026



CURVE #	A	R	L	T
1	20°10'59"	150.00'	52.84'	26.70'
2	08°31'48"	175.00'	19.94'	9.98'
3	09°49'18"	175.00'	30.00'	15.04'
4	00°39'51"	175.00'	2.03'	1.01'
5	17°00'57"	125.00'	37.12'	18.70'
6	20°10'59"	200.00'	70.45'	35.60'

PLAN SHOWING
SHEWVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEWVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT
SCALE: 1"=40'
FEBRUARY 2026

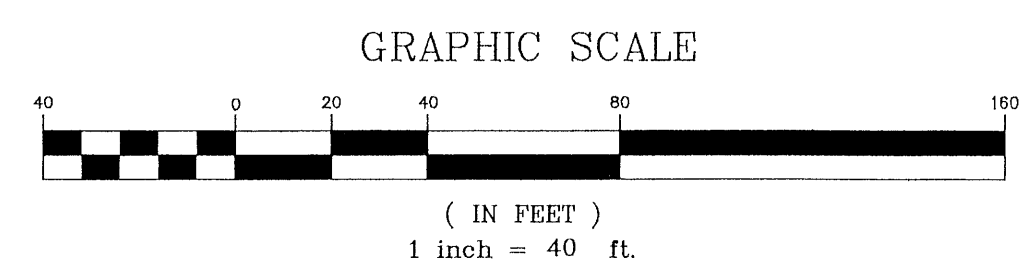
- LEGEND**
- STONE WALL
 - PROPERTY LINE
 - STREET LINE
 - IRON PIPE FOUND
 - DRILL HOLE SET
 - MONUMENT OR DRILL HOLE TO BE SET
 - DRILL HOLE OR REBAR TO BE SET
 - STREET ADDRESS
 - DRAINAGE MANHOLE
 - PROPOSED CATCH BASIN

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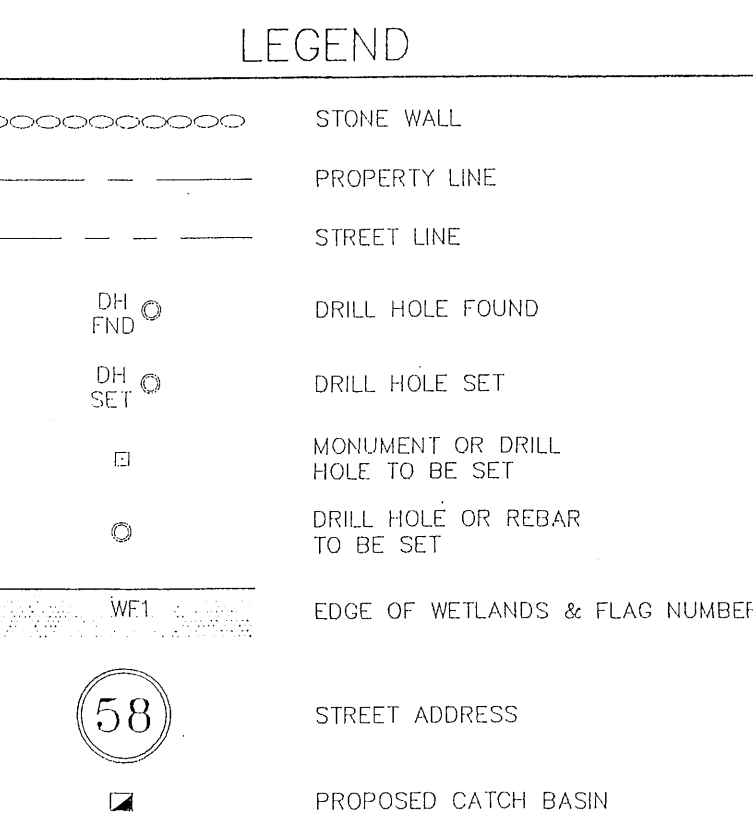
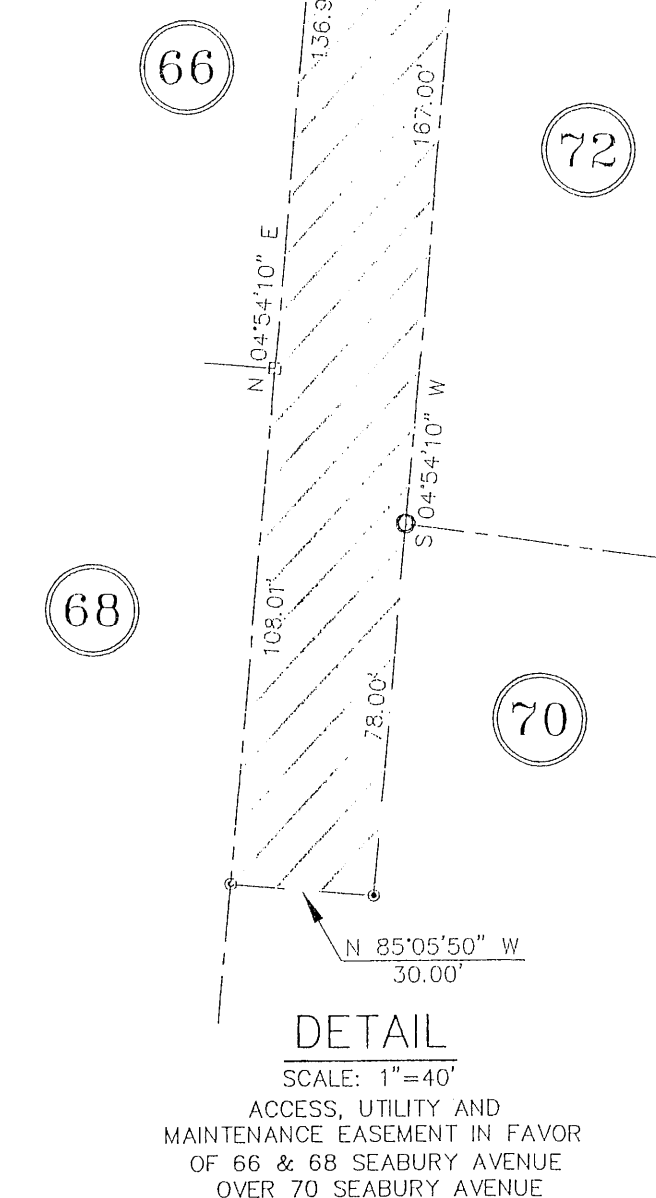
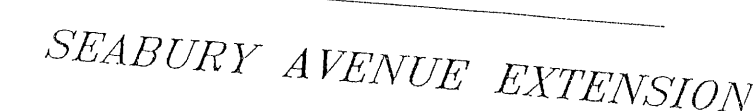
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TITLE: LAND SURVEYOR CT No. 14208
DATE: FEBRUARY 13, 2026



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THE STONE WALLS AND/OR FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES OF COURSE BETWEEN PRINCIPAL POINTS OF COURSE INDICATED.

NOTE: BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATIONAL PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.

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JOB#23-031.DWG F8K#3.34

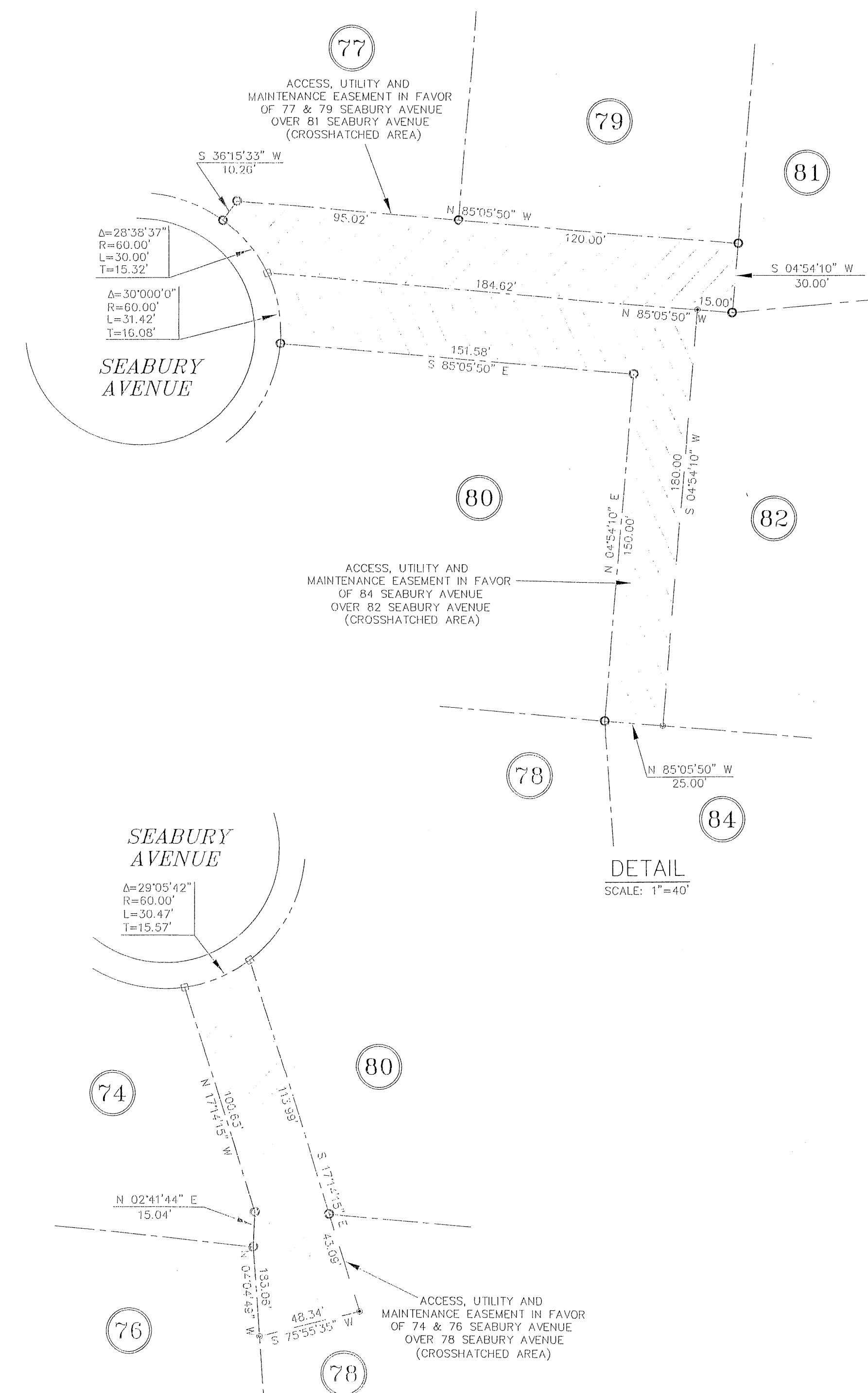
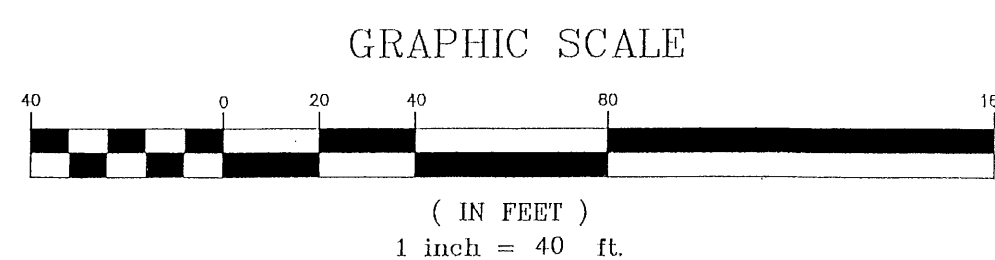
I HAVE REVIEWED THE INLAND WETLAND BOUNDARY I DELINEATED
AND I AM OF THE OPINION THAT THE WETLAND BOUNDARY IS SHOWN
CORRECTLY ON THIS MAP.



IAN COLE
SOIL SCIENTIST



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CURVE #	Δ	R	L	T
1	31°21'23"	60.00'	32.84'	16.84'
2	28°38'37"	60.00'	30.00'	15.32'
3	30°00'00"	60.00'	31.42'	16.08'
4	47°44'58"	60.00'	50.00'	26.56'
5	29°05'42"	60.00'	30.47'	15.57'
6	92°59'29"	60.00'	97.38'	63.22'
7	79°50'09"	25.00'	34.83'	20.42'

PLAN SHOWING
SHEWVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEWVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT
SCALE: 1"=40'

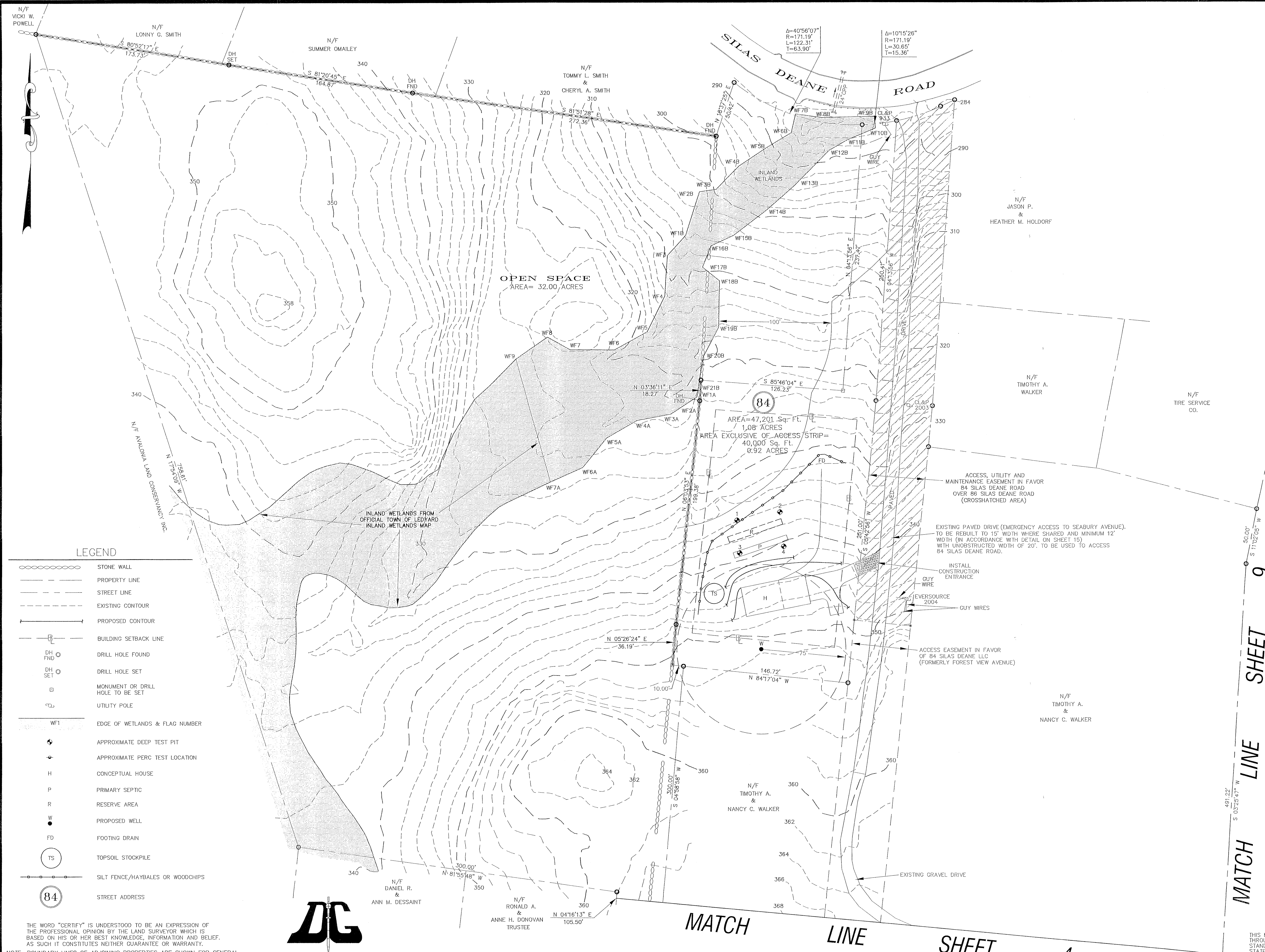
FEBRUARY 2026
REVISED: MAY 18, 2026
REVISED: JUNE 22, 2026

SHEET 5 OF 16

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TITLE: LAND SURVEYOR CT No. 14208
DATE: FEBRUARY 13, 2026

THE STONE WALLS AND/OR FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES OF COURSE BETWEEN PRINCIPAL POINTS OF COURSE INDICATED.



LEGEND

- STONE WALL
- PROPERTY LINE
- STREET LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BUILDING SETBACK LINE
- DRILL HOLE FOUND
- DRILL HOLE SET
- MONUMENT OR DRILL HOLE TO BE SET
- UTILITY POLE
- EDGE OF WETLANDS & FLAG NUMBER
- APPROXIMATE DEEP TEST PIT
- APPROXIMATE PERC TEST LOCATION
- CONCEPTUAL HOUSE
- PRIMARY SEPTIC
- RESERVE AREA
- PROPOSED WELL
- FOOTING DRAIN
- TOPSOIL STOCKPILE
- SILT FENCE/HAYBALES OR WOODCHIPS
- STREET ADDRESS

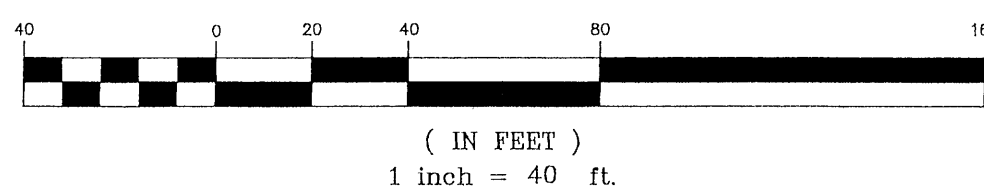


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I HAVE REVIEWED THE NUMBERED INLAND WETLAND BOUNDARY I DELINEATED AND I AM OF THE OPINION THAT THE WETLAND BOUNDARY IS SHOWN CORRECTLY ON THIS MAP.

IAN COLE
SOIL SCIENTIST

GRAPHIC SCALE



PLAN SHOWING
SHEWVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEWVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT
SCALE: 1"=40'
FEBRUARY 2026
REVISED: MAY 18, 2026
REVISED: JUNE 22, 2026

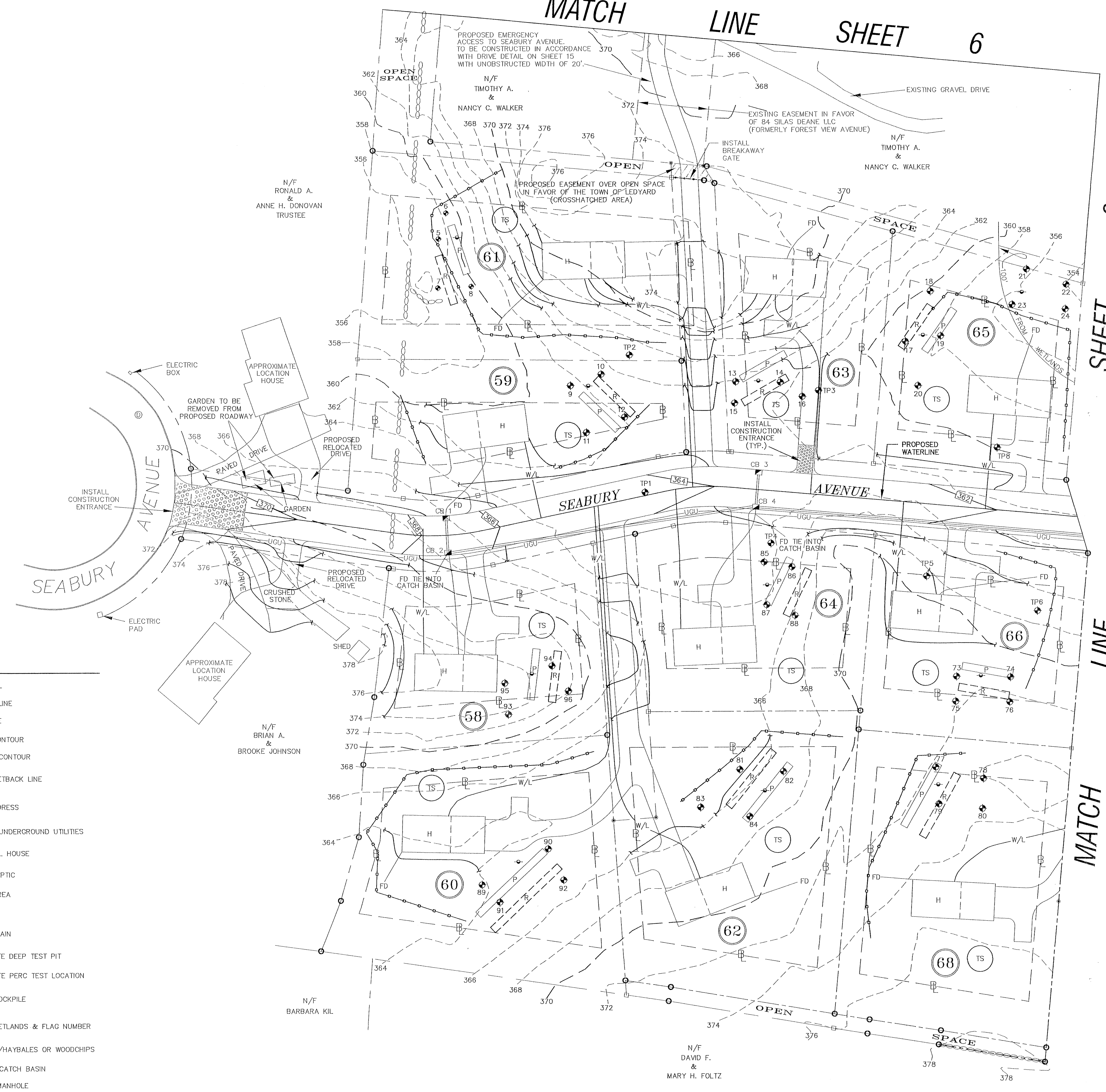
SHEET 6 OF 16

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TITLE: LAND SURVEYOR CT No. 14208
DATE: FEBRUARY 13, 2026

MATCH LINE SHEET 6

MATCH LINE SHEET 8

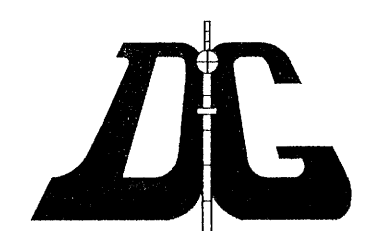


LEGEND

- ○ ○ ○ ○ ○ ○ ○ ○ ○ STONE WALL
- — — — — PROPERTY LINE
- — — — — STREET LINE
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- [] — BUILDING SETBACK LINE
- (58) STREET ADDRESS
- UGU — PROPOSED UNDERGROUND UTILITIES
- H CONCEPTUAL HOUSE
- P PRIMARY SEPTIC
- R RESERVE AREA
- W/L WATERLINE
- FD FOOTING DRAIN
- APPROXIMATE DEEP TEST PIT
- APPROXIMATE PERC TEST LOCATION
- TS TOPSOIL STOCKPILE
- WF 1 EDGE OF WETLANDS & FLAG NUMBER
- [] — SILT FENCE/HAYBALES OR WOODCHIPS
- PROPOSED CATCH BASIN
- ⊙ DRAINAGE MANHOLE

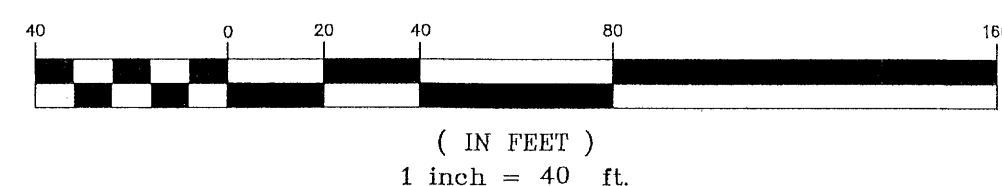
NOTE: DEVELOPMENT OF LOTS SHOWN CONCEPTUALLY ONLY.

PLAN SHOWING
SHEWVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
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84 SILAS DEANE ROAD
MAP ID 42/2220/84
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AND
58 & 59 SEABURY AVENUE
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SCALE: 1"=40'
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GRAPHIC SCALE



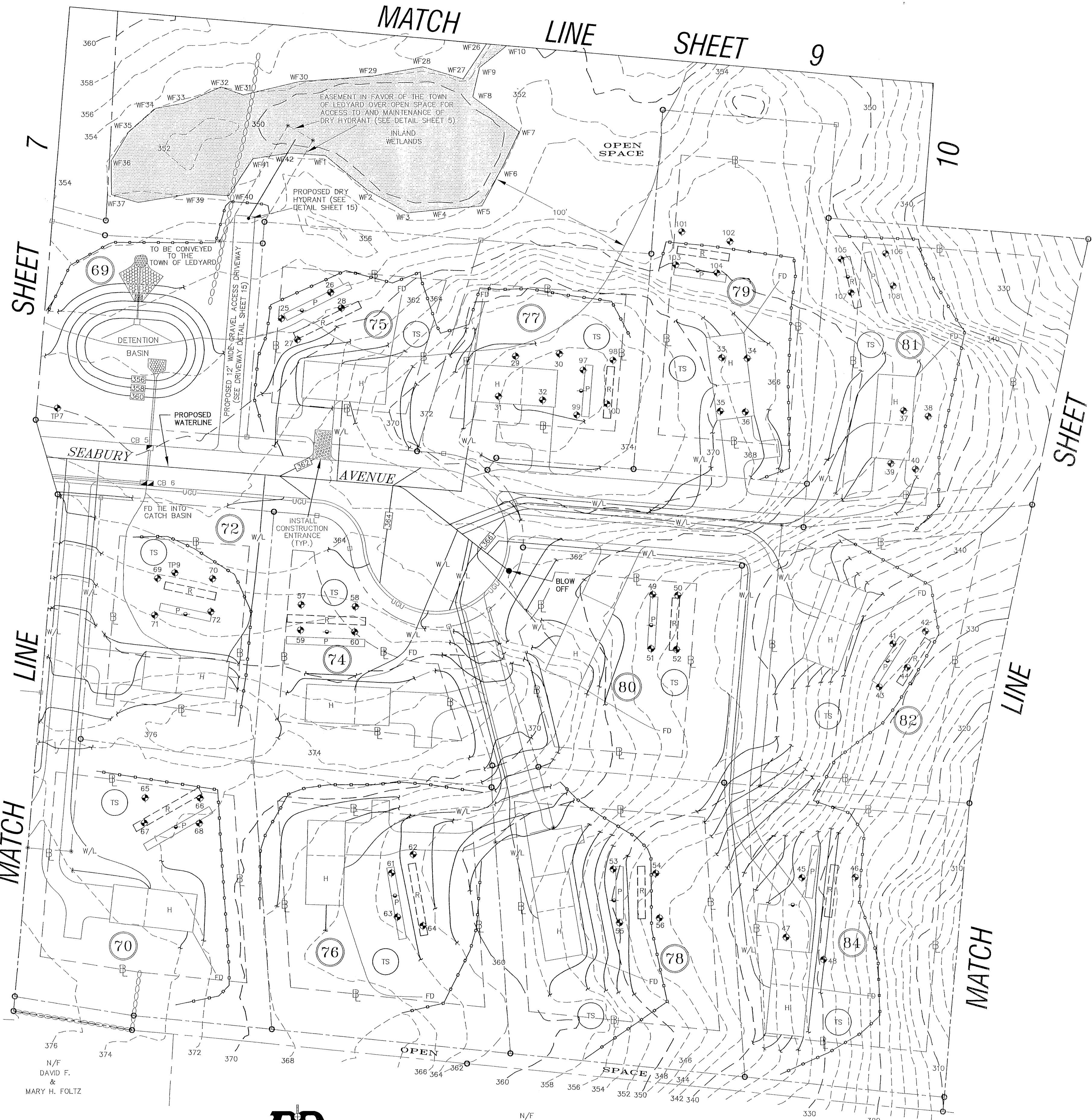
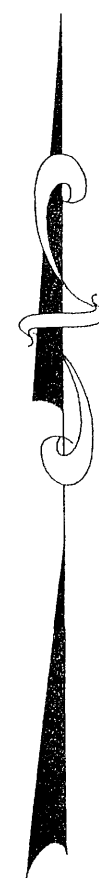
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JOB#23-031THDLDWG FBK#334

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TITLE: LAND SURVEYOR CT No. 14208
DATE: FEBRUARY 13, 2026



LEGEND

- STONE WALL
- PROPERTY LINE
- STREET LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BUILDING SETBACK LINE
- STREET ADDRESS
- PROPOSED UNDERGROUND UTILITIES
- CONCEPTUAL HOUSE
- PRIMARY SEPTIC
- RESERVE AREA
- WATERLINE
- FOOTING DRAIN
- APPROXIMATE DEEP TEST PIT
- APPROXIMATE PERC TEST LOCATION
- TOPSOIL STOCKPILE
- EDGE OF WETLANDS & FLAG NUMBER
- SILT FENCE/HAYBALES OR WOODCHIPS
- PROPOSED CATCH BASIN

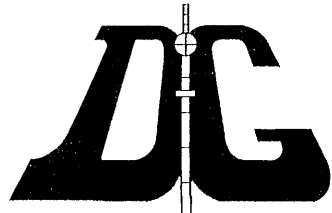
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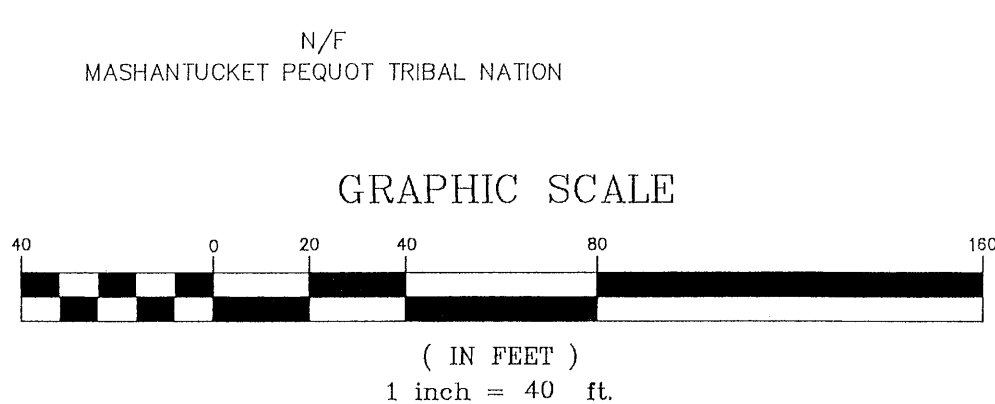
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I HAVE REVIEWED THE INLAND WETLAND BOUNDARY I DELINEATED AND I AM OF THE OPINION THAT THE WETLAND BOUNDARY IS SHOWN CORRECTLY ON THIS MAP.

IAN COLE
SOIL SCIENTIST



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NOTE: DEVELOPMENT OF LOTS SHOWN CONCEPTUALLY ONLY.

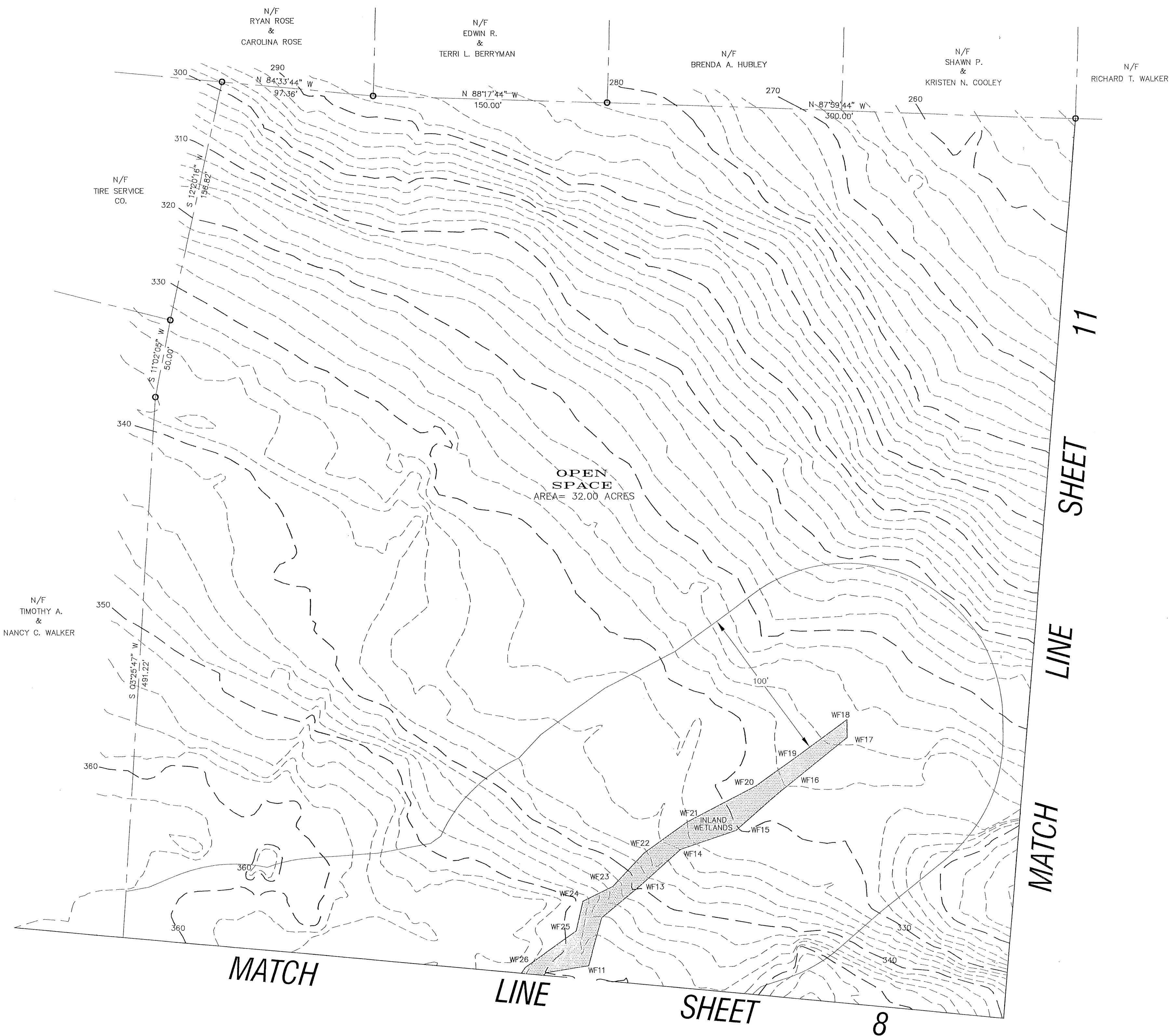
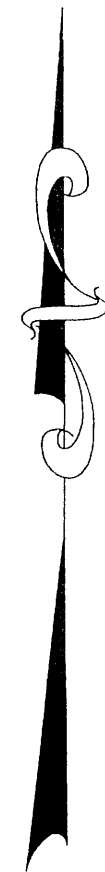
PLAN SHOWING
SHEWVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEWVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT
SCALE: 1"=40'
FEBRUARY 2026

REVISED: MAY 18, 2026
REVISED: JUNE 22, 2026

SHEET 8 OF 16

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TITLE: LAND SURVEYOR OF No. 14208
DATE: FEBRUARY 13, 2026



LEGEND

-----	STONE WALL
-----	PROPERTY LINE
-----	STREET LINE
-----	EXISTING CONTOUR
WF1	EDGE OF WETLANDS & FLAG NUMBER

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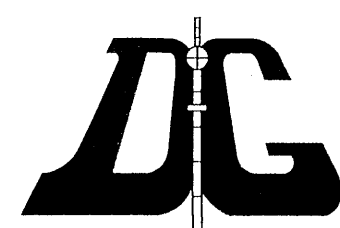
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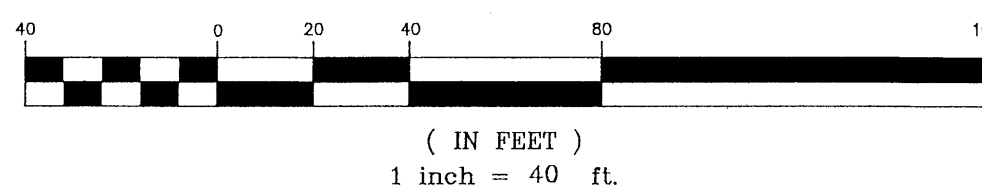
I HAVE REVIEWED THE INLAND WETLAND BOUNDARY I DELINEATED AND I AM OF THE OPINION THAT THE WETLAND BOUNDARY IS SHOWN CORRECTLY ON THIS MAP.

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GRAPHIC SCALE

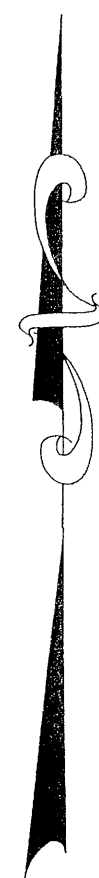


PLAN SHOWING
SHEWVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEWVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT
SCALE: 1"=40'
FEBRUARY 2026
REVISED: JUNE 22, 2026

SHEET 9 OF 16

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TITLE: LAND SURVEYOR CT No. 14208
DATE: FEBRUARY 13, 2026



LEGEND

-----	STONE WALL
-----	PROPERTY LINE
-----	STREET LINE
-----	EXISTING CONTOUR
□	MONUMENT OR DRILL HOLE TO BE SET
○	DRILL HOLE OR REBAR TO BE SET
CHD FND □	CONNECTICUT HIGHWAY DEPARTMENT MONUMENT FOUND
○	UTILITY POLE
WF12C	EDGE OF WETLANDS & FLAG NUMBER

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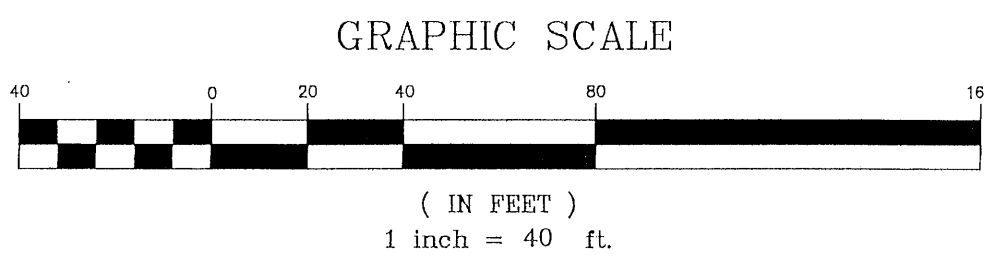
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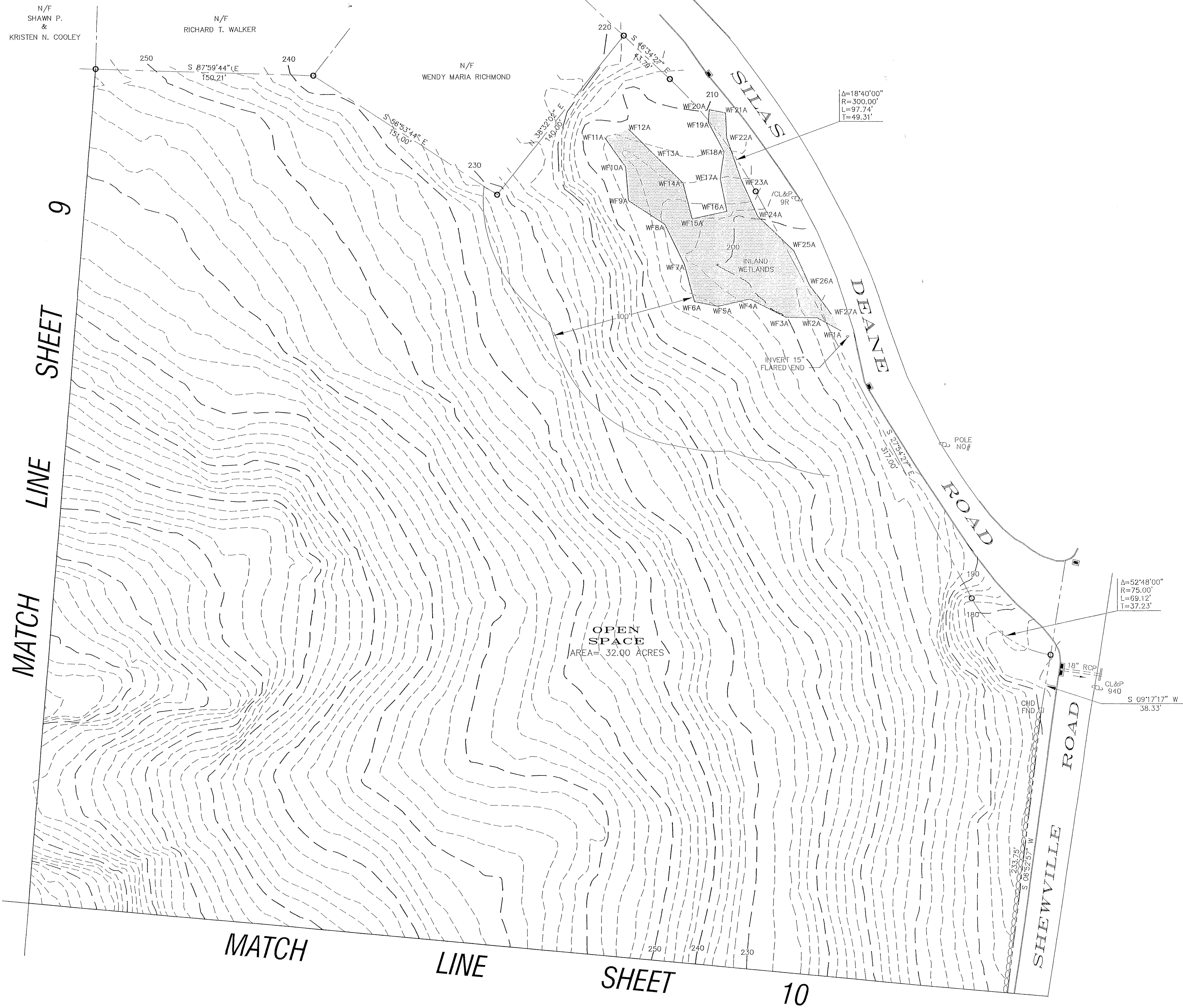
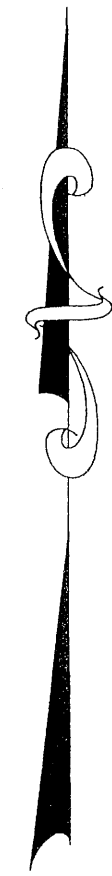
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PLAN SHOWING
SHEVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
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84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT
SCALE: 1"=40'
FEBRUARY 2026
REVISED: JUNE 22, 2026

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TITLE: LAND SURVEYOR CT No. 14208
DATE: FEBRUARY 13, 2026



LEGEND

-----	STONE WALL
-----	PROPERTY LINE
-----	STREET LINE
-----	EXISTING CONTOUR
CHD FND	CONNECTICUT HIGHWAY DEPARTMENT MONUMENT FOUND
CP	UTILITY POLE
WF1	EDGE OF WETLANDS & FLAG NUMBER

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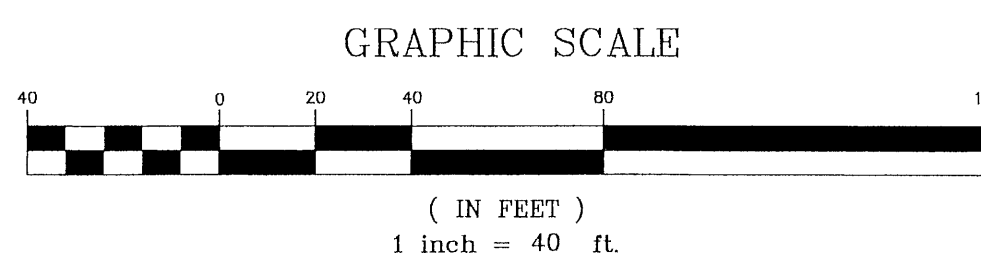
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LEDYARD, CONNECTICUT
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FEBRUARY 2026
REVISED: JUNE 22, 2026

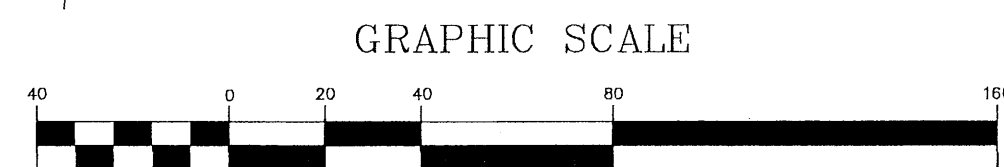
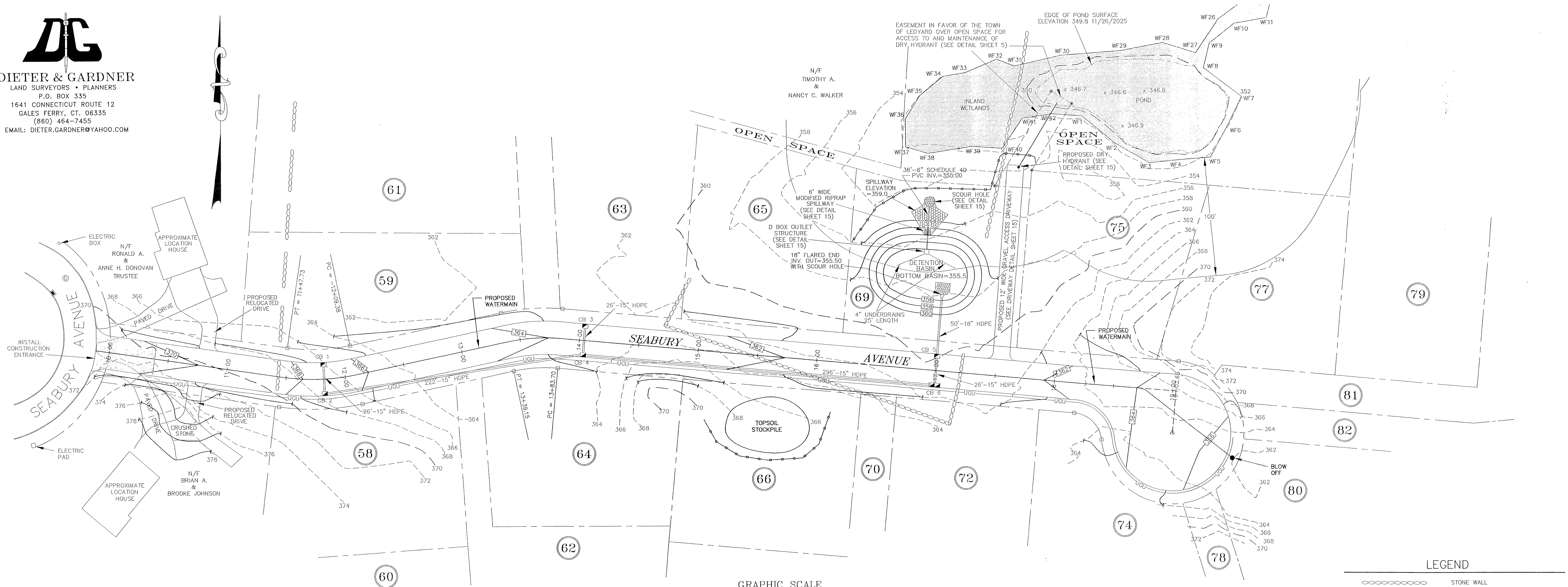
SHEET 11 OF 16

THIS MAP AND SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES-"MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", ADOPTED EFFECTIVE JUNE 21, 1996, REVISED OCTOBER 26, 2018. IT IS A BOUNDARY SURVEY BASED ON A DEFENDANT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY T-D. TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

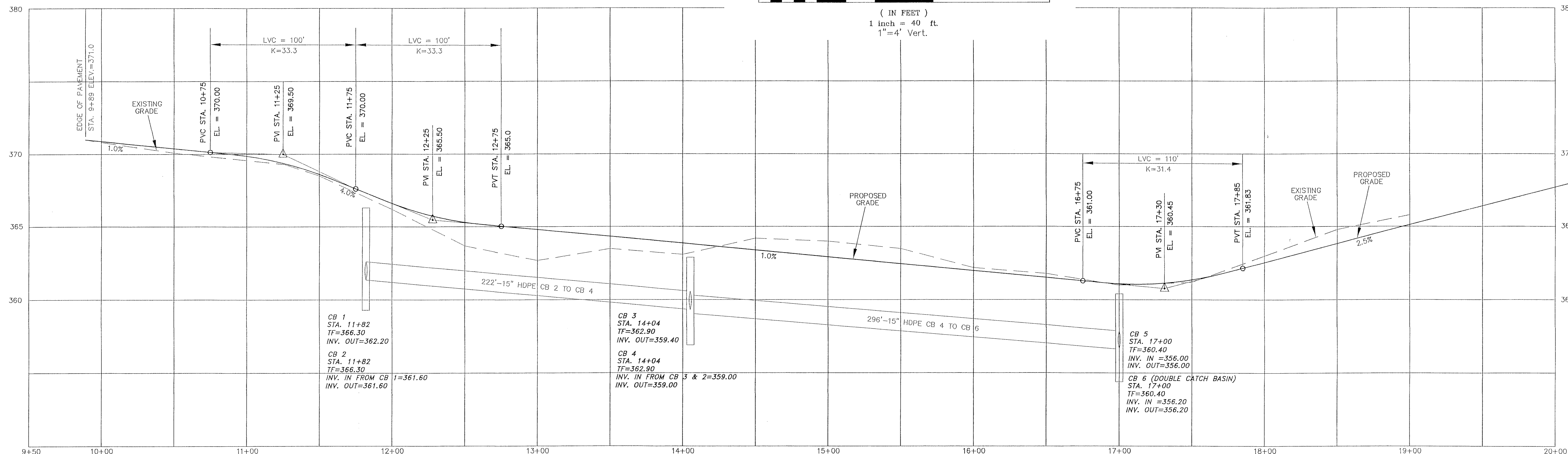
TITLE: LAND SURVEYOR CT No. 14208
DATE: FEBRUARY 13, 2026



DIETER & GARDNER
LAND SURVEYORS & PLANNERS
P.O. BOX 335
1641 CONNECTICUT ROUTE 12
GALES FERRY, CT. 06335
(860) 464-7455
EMAIL: DIETER.GARDNER@YAHOO.COM



(IN FEET)
1 inch = 40 ft.
1"=4' Vert.



LEGEND

- STONE WALL
- PROPERTY LINE
- STREET LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED CATCH BASIN
- SILT FENCE
- EDGE OF WETLANDS & FLAG NUMBER
- STREET ADDRESS
- SPOT ELEVATION BOTTOM OF POND
- PROPOSED UNDERGROUND UTILITIES
- DRAINAGE MANHOLE

PLAN / PROFILE
SHEWVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEWVILLE ROAD
AND
SEABURY AVENUE
MAP ID 42/2200/58 & 59

LEDYARD, CONNECTICUT
SCALE: 1"=40' HORIZ.
1"=4' VERT.

FEBRUARY 2026

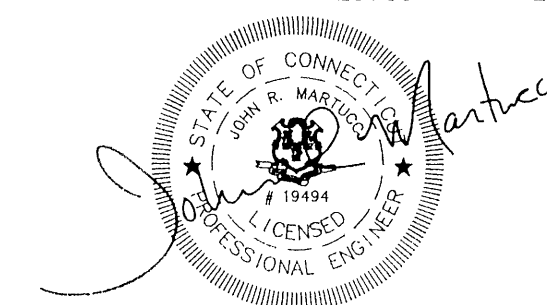
REVISED: MAY 18, 2026
REVISED: JUNE 22, 2026

SHEET 12 OF 16



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THIS PLAN AND REPRODUCTIONS, ADDITIONS OR REVISIONS OF
THIS PLAN ARE NOT VALID WITHOUT THE EMBOSSED SEAL AND
SIGNATURE OF THE LAND SURVEYOR WHO PREPARED THIS PLAN.
JOB#23-031THD.DWG FBK#334

NOTE: BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL
INFORMATIONAL PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS
BEING ACCURATELY LOCATED OR DEPICTED.



WITNESSED AND RECORDED BY ODALYS REYES MORALES AND IDELYS AMADOR LEDGE LIGHT HEALTH DISTRICT ON MAY 20, 28, AND 29 2025. ALSO PRESENT NICK RICE. TEST PITS 1-4 AND 97-108 WITNESSED AND RECORDED BY ODALYS REYES MORALES ON AUGUST 28, 2025.

TEST HOLE 1
0-5" TOPSOIL
5-31" LIGHT BROWN FINE SANDY LOAM,
TRACE OF SILT W/BOULDER
31-41" LIGHT GRAY FINE SAND WITH
PEBBLES & COBBLES, COMPACT
41-71" LIGHT BROWN FINE SAND WITH
PEBBLES
NO GW
NO REFUSAL
MOTTLING TRACE OF MOTTLE IN COMPACT
LAYER 35"

TEST HOLE 2
0-4" TOPSOIL
4-14" LIGHT BROWN FINE SANDY LOAM
14-41" LIGHT GRAY FINE SAND WITH
PEBBLES AND COBBLES, COMPACT
41-67" LIGHT BROWN FINE SAND
NO GW
MOTTLE-COMPACT WITH TRACE OF MOTTLING AT 41"
REFUSAL: 45"
ROOTS: 29"

TEST HOLE 3
0-8" TOPSOIL
8-24" LIGHT BROWN FINE SANDY LOAM
24-72" LIGHT BROWN FINE SAND WITH
PEBBLES
NO GW
NO MOTTLE - COMPACT 36"
NO REFUSAL

TEST HOLE 4
0-6" TOPSOIL
6-19" LIGHT BROWN FINE SANDY LOAM
19-68" LIGHT BROWN FINE SANDY LOAM
WITH PEBBLES AND COBBLES
NO GW
MOTTLE - COMPACT 33"
NO REFUSAL
ROOTS: 29"

TEST HOLE 5
0-8" TOPSOIL
8-37" BROWN FINE SANDY LOAM W/
BOULDERS
NO MOTTLING
NO GW
REFUSAL 37"

TEST HOLE 6
0-10" TOPSOIL
10-33" LIGHT BROWN FINE SANDY LOAM
33-68" LIGHT GRAY FINE/MED SAND & GRAVEL
W/COBBLES
MOTTLES 67"
NO GW
REFUSAL

TEST HOLE 7
0-5" TOPSOIL
5-37" LIGHT BROWN FINE SANDY LOAM, TRACE
OF SILT
37-68" LIGHT GRAY FINE/MED SAND & GRAVEL
W/COBBLES, SATURATED
MOTTLES 38"
GW: 64"
SEEPAGE: 62"
REFUSAL

TEST HOLE 8
0-8" TOPSOIL
8-35" LIGHT BROWN FINE SANDY LOAM, TRACE
OF SILT
35-78" LIGHT GRAY FINE/MED SAND & GRAVEL
W/COBBLES
MOTTLES 67"
NO GW
NO REFUSAL

TEST HOLE 9
0-5" TOPSOIL
5-27" BROWN FINE SANDY LOAM W/
TRACE OF SILT
27-86" LIGHT GRAY FINE/MED SAND & GRAVEL
& PEBBLES
NO MOTTLING
NO GW
NO REFUSAL

TEST HOLE 10
0-5" TOPSOIL
5-25" ORANGE BROWN, FINE SANDY LOAM
25-81" LIGHT GRAY FINE/MED SAND & GRAVEL
W/COBBLES
NO MOTTLING
NO GW
NO REFUSAL

TEST HOLE 11
0-11" TOPSOIL
11-35" ORANGE BROWN, FINE SANDY LOAM
COBBLES & BOULDERS
35-58" LIGHT BROWN FINE SAND MOTTLED,
FIRM & SILTY
58-77" BROWN FINE/MED SAND & COBBLES
MOTTLES 35"
NO GW
NO REFUSAL

TEST HOLE 12
0-11" TOPSOIL
11-34" ORANGE BROWN, FINE SANDY LOAM
34-64" LIGHT GRAY VERY FINE SILTY, MOTTLED
64-75" LIGHT GRAY FINE/MED SAND & GRAVEL
MOTTLES 44"
REFUSAL 58" ONE END OF TH-POSSIBLE BOULDER

TEST HOLE 13
0-6" TOPSOIL
6-32" BROWN, FINE SANDY LOAM
32-69" LIGHT GRAY FINE SAND W/COBBLES,
MOTTLED
MOTTLES 38"
NO GW
REFUSAL: 69"

TEST HOLE 14
0-5" TOPSOIL
5-48" ORANGE BROWN, FINE SANDY LOAM
48-71" LIGHT GRAY FINE SAND
MOTTLES 47"
NO GW
REFUSAL: 72"

TEST HOLE 15
0-8" TOPSOIL
8-34" ORANGE BROWN, FINE SANDY LOAM
34-77" LIGHT GRAY FINE SAND
MOTTLES 34"
NO GW
NO REFUSAL

TEST HOLE 16
0-12" TOPSOIL
12-26" ORANGE BROWN, FINE SANDY LOAM
26-74" LIGHT BROWN VERY FINE SAND,
COMPACT, MOTTLED
MOTTLES 31"
NO GW
NO REFUSAL

TEST HOLE 17
0-11" TOPSOIL
11-30" LIGHT BROWN, FINE SANDY LOAM
30-79" LIGHT GRAY FINE SAND, SATURATED
& COMPACT W/SOME COBBLES
MOTTLED 44"
GW: 78"
NO REFUSAL

TEST HOLE 18
0-18" TOPSOIL
18-29" LIGHT BROWN, FINE SANDY LOAM,
MOTTLED
29-89" LIGHT GRAY FINE SAND, SATURATED
& COMPACT W/ SOME COBBLES
MOTTLED 25"
GW: 87"
NO REFUSAL

TEST HOLE 19
0-25" TOPSOIL
25-40" LIGHT BROWN, FINE SANDY LOAM
40-78" LIGHT GRAY SAND, COMPACT,
MOTTLED THROUGHOUT,
SATURATED, W/COBBLES
MOTTLED 33"
GW: 58"
NO REFUSAL

TEST HOLE 20
0-10" TOPSOIL
10-29" LIGHT BROWN, FINE SANDY LOAM
29-90" LIGHT GRAY SAND, COMPACT,
MOTTLED THROUGHOUT,
SATURATED, W/COBBLES
MOTTLED 27"
GW: 67"
NO REFUSAL

TEST HOLE 21
0-8" TOPSOIL
8-36" ORANGE BROWN, FINE SANDY LOAM
36-70" GRAY FINE SAND, COMPACT,
& STAINING THROUGHOUT, SILTY
SATURATED, W/COBBLES
MOTTLED 36"
GW: 63"

TEST HOLE 22
0-15" TOPSOIL
15-32" ORANGE BROWN, FINE SANDY LOAM
32-70" FINE/MED SAND WITH PEBBLES
& COBBLES, UNDER WATER
MOTTLED 28"
GW: 32"

TEST HOLE 23
0-12" TOPSOIL
12-34" ORANGE BROWN, FINE SANDY LOAM
34-70" LIGHT GRAY SAND, COMPACT,
MOTTLED THROUGHOUT, SATURATED,
W/COBBLES
MOTTLED 35"
GW: 54"

TEST HOLE 24
0-18" TOPSOIL
18-35" ORANGE BROWN, FINE SANDY LOAM
35-82" LIGHT GRAY FINE SAND,
SATURATED & FIRM
MOTTLED 30"
GW: 36"

TEST HOLE 25
0-11" TOPSOIL
11-22" ORANGE BROWN, FINE SANDY LOAM
22-93" LIGHT BROWN FINE/MED SAND W/
PEBBLES & COBBLES
MOTTLED 59"
GW: 29"
NO REFUSAL

TEST HOLE 26
0-17" TOPSOIL
17-34" ORANGE BROWN, FINE SANDY LOAM
34-90" LIGHT BROWN FINE/MED SAND W/
PEBBLES & COBBLES
MOTTLED 40"
NO GW
NO REFUSAL

TEST HOLE 27
0-8" TOPSOIL
8-24" ORANGE BROWN, FINE SANDY LOAM
24-96" LIGHT BROWN FINE/MED SAND,
SATURATED
MOTTLED 24"
GW: 54"
NO REFUSAL

TEST HOLE 28
0-11" TOPSOIL
11-39" ORANGE BROWN, FINE SANDY LOAM
39-87" LIGHT GRAY FINE/MED SAND W/
GRAVEL, SATURATED
MOTTLED 58"
GW: 74"
NO REFUSAL

TEST HOLE 29
0-7" TOPSOIL
7-33" ORANGE BROWN, FINE SANDY LOAM
33-36" LIGHT BROWN FINE SAND &
COBBLES
MOTTLED 40"
NO GW
NO REFUSAL

TEST HOLE 30
0-10" TOPSOIL
10-24" ORANGE BROWN, FINE SANDY LOAM
24-89" LIGHT GRAY FINE SAND, SATURATED
& COMPACT W/ SOME COBBLES
MOTTLED 25"
GW: 87"
NO REFUSAL

TEST HOLE 31
0-6" TOPSOIL
6-38" ORANGE BROWN, FINE SANDY LOAM,
W/BOULDERS & COBBLES
38-79" LIGHT GRAY FINE/MED SAND
W/COBBLES
MOTTLED 59"
GW: 77"
NO REFUSAL

TEST HOLE 32
0-12" TOPSOIL
12-29" ORANGE BROWN, FINE SANDY LOAM
29-32" LIGHT BROWN VERY FINE SAND,
SATURATED
NO MOTTLING
NO GW
REFUSAL: 32"

TEST HOLE 33
0-12" TOPSOIL
12-29" ORANGE BROWN, FINE SANDY LOAM
29-32" LIGHT BROWN VERY FINE SAND,
SATURATED
NO MOTTLING
NO GW
REFUSAL: 32"

TEST HOLE 34
0-8" TOPSOIL
8-24" ORANGE BROWN, FINE SANDY LOAM,
SOME SILT
24-38" LIGHT GRAY VERY FINE SAND,
SATURATED
NO MOTTLING
NO GW
REFUSAL: 32"

TEST HOLE 35
0-7" TOPSOIL
7-23" LIGHT BROWN FINE/MED SAND,
W/PEBBLES, SAND & COBBLES
NO MOTTLING
NO GW
REFUSAL: 43"

TEST HOLE 36
0-16" TOPSOIL
16-25" LIGHT BROWN, FINE SANDY LOAM,
25-79" LIGHT BROWN FINE/MED SAND,
W/PEBBLES, SAND & COBBLES
NO MOTTLING
NO GW
REFUSAL

TEST HOLE 37
0-11" TOPSOIL
11-42" LIGHT BROWN, FINE SANDY LOAM
42-92" LIGHT GRAY FINE SAND
& GRAVEL
NO MOTTLING
NO GW
REFUSAL

TEST HOLE 38
0-10" TOPSOIL
10-36" YELLOW/BROWN, FINE SANDY LOAM
36-79" BROWN, FINE SILTY SAND, MOTTLED,
FIRM
MOTTLED 47"
NO GW
REFUSAL: 79"

TEST HOLE 39
0-4" TOPSOIL
4-22" LIGHT BROWN, FINE SANDY LOAM
22-66" LIGHT BROWN FINE/MED SAND
W/PEBBLES, SAND & COBBLES
NO MOTTLING
NO GW
REFUSAL: 66"

TEST HOLE 40
0-7" TOPSOIL
7-26" ORANGE BROWN, FINE SANDY LOAM
26-79" LIGHT BROWN FINE/MED SAND
W/PEBBLES, SAND & COBBLES
NO MOTTLING
NO GW
REFUSAL

TEST HOLE 41
0-11" TOPSOIL
11-39" ORANGE BROWN, FINE SANDY LOAM
39-87" LIGHT GRAY FINE/MED SAND W/
GRAVEL, SATURATED
MOTTLED 58"
GW: 74"
NO REFUSAL

TEST HOLE 42
0-8" TOPSOIL
8-40" ORANGE BROWN, FINE SANDY LOAM,
W/COBBLES
40-65" DARK GRAY FINE/MED SAND
& MOTTLED
MOTTLED 47"
GW: 65"

TEST HOLE 43
0-11" TOPSOIL
11-38" BROWN, FINE SANDY LOAM,
W/COBBLES
38-80" LIGHT BROWN FINE/MED SAND
AND STRATIFIED LAYERS WITH GRAVEL
AND FINER SAND
FAINT MOTTLING 57"
GW: 78"
NO REFUSAL

TEST HOLE 44
0-6" TOPSOIL
6-38" ORANGE BROWN, FINE SANDY LOAM,
W/BOULDERS & COBBLES
38-79" LIGHT GRAY FINE/MED SAND
W/COBBLES
MOTTLED 59"
GW: 77"
NO REFUSAL

TEST HOLE 45
0-12" TOPSOIL
12-36" ORANGE, FINE SANDY LOAM,
W/COBBLES
36-93" LIGHT GRAY FINE/MED SAND
W/GRAVEL
MOTTLED 49"
NO GW
NO REFUSAL

TEST HOLE 46
0-5" TOPSOIL
5-54" LIGHT BROWN, FINE SANDY LOAM,
54-95" LIGHT GRAY FINE SAND & GRAVEL
NO MOTTLING
NO GW
NO REFUSAL

TEST HOLE 47
0-5" TOPSOIL
5-54" LIGHT BROWN, FINE SANDY LOAM,
54-95" LIGHT GRAY FINE SAND & GRAVEL
NO MOTTLING
NO GW
NO REFUSAL

TEST HOLE 48
0-11" TOPSOIL
11-42" LIGHT BROWN, FINE SANDY LOAM
42-92" LIGHT GRAY FINE SAND
& GRAVEL
NO MOTTLING
NO GW
NO REFUSAL

TEST HOLE 49
0-14" TOPSOIL
14-34" YELLOW/BROWN, FINE SANDY LOAM
34-68" BROWN, FINE SILTY SAND, MOTTLED,
FIRM
MOTTLED 48"
NO GW
NO REFUSAL

TEST HOLE 50
0-10" TOPSOIL
10-36" YELLOW/BROWN, FINE SANDY LOAM
36-79" BROWN, FINE SILTY SAND, MOTTLED,
MOTTLED W/PEBBLES & COBBLES
MOTTLED 48"
NO GW
NO REFUSAL

TEST HOLE 51
0-8" TOPSOIL
8-33" ORANGE/BROWN, FINE SANDY LOAM
33-72" MOTTLED TOWARDS THE BOTTOM
FIRM W/COBBLES MOTTLED THROUGHOUT
MOTTLED 39"
NO GW
REFUSAL:

TEST HOLE 52
0-3" TOPSOIL
3-24" LIGHT BROWN, FINE SANDY LOAM,
MOTTLED, SILTY
24-82" LIGHT BROWN FINE SILTY SAND,
FIRM W/ COBBLES
MOTTLED 26"
NO GW
REFUSAL: 82"

TEST HOLE 53
0-12" TOPSOIL
12-43" BROWN, FINE SANDY LOAM
W/BOULDERS
43-82" LIGHT GRAY FINE/MED SAND
W/PEBBLES & COBBLES
NO MOTTLING
NO GW
NO REFUSAL

TEST HOLE 54
-HUGE BOULDERS
0-8" TOPSOIL
8-40" ORANGE BROWN, FINE SANDY LOAM
40-65" DARK GRAY FINE/MED SAND
& MOTTLED
MOTTLED 47"
GW: 65"

TEST HOLE 55
0-12" TOPSOIL
12-42" LIGHT BROWN, FINE SANDY LOAM
W/COBBLES
42-71" LIGHT GRAY FINE/MED SAND
W/COBBLES
MOTTLED 47"
GW: 65"

TEST HOLE 56
0-8" TOPSOIL
8-41" YELLOW/BROWN, FINE SANDY LOAM
41-92" BROWN, FINE/MED SAND W/COBBLES
& PEBBLES & SOME GRAVEL
MOTTLED 49"
NO GW
NO REFUSAL

TEST HOLE 57
0-10" TOPSOIL
10-38" ORANGE BROWN, FINE SANDY LOAM
38-95" BROWN, FINE TO MED SAND W/COBBLES
& PEBBLES & SOME GRAVEL
MOTTLES 50"
NO GW
NO REFUSAL?

TEST HOLE 58
0-8" TOPSOIL
8-41" YELLOW/BROWN, FINE SANDY LOAM
41-92" BROWN, FINE/MED SAND W/COBBLES
& PEBBLES & SOME GRAVEL
MOTTLED 49"
NO GW
NO REFUSAL

TEST HOLE 59
0-10" TOPSOIL
10-38" ORANGE BROWN, FINE SANDY LOAM
38-95" BROWN, FINE TO MED SAND W/COBBLES
& PEBBLES & SOME GRAVEL
MOTTLED 38"
NO GW
NO REFUSAL

TEST HOLE 60
0-10" TOPSOIL
10-29" ORANGE BROWN, FINE SANDY LOAM
29-86" BROWN, FINE TO MED SAND W/COBBLES
& PEBBLES
NO MOTTLING
NO GW
NO REFUSAL

TEST HOLE 61
0-11" TOPSOIL
11-45" ORANGE BROWN FINE SANDY LOAM
45-100" BROWN, FINE TO MEDIUM SAND
WITH PEBBLES & COBBLES
MOTTLES 45"
NO GW
NO REFUSAL

TEST HOLE 62
0-9" TOPSOIL
9-48" YELLOW BROWN FINE SANDY LOAM
48-96" LIGHT BROWN, FINE TO MEDIUM SAND
MOTTLED THROUGHOUT WITH PEBBLES
MOTTLES 48"
NO GW
NO REFUSAL

TEST HOLE 63
0-11" TOPSOIL
11-37" ORANGE BROWN FINE SANDY LOAM--
MOTTLED TOWARDS THE BOTTOM
WITH COBBLES AND BOULDERS
37-66" LIGHT GREY VERY SILTY SAND, FIRM
66-78" LIGHT BROWN, FINE SAND AND
SOME GRAVEL
MOTTLES 29"
NO GW
NO REFUSAL

TEST HOLE 64
0-9" TOPSOIL
9-40" YELLOW BROWN FINE SANDY LOAM
WITH COBBLES AND BOULDERS
40-80" LIGHT BROWN, FINE TO MEDIUM SAND
MOTTLES 47"
NO GW
NO REFUSAL

TEST HOLE 65
0-5" TOPSOIL
5-35" ORANGE BROWN, FINE SANDY LOAM
35-49" LIGHT GRAY, VERY FINE SILTY SAND
MOTTLED THROUGHOUT, FIRM
49-93" LIGHT BROWN, FINE SAND WITH SOME
GRAVEL AND COBBLES
MOTTLING 35"
NO GW
NO REFUSAL

TEST HOLE 66
0-10" TOPSOIL
10-33" ORANGE BROWN FINE SANDY LOAM--
MOTTLED TOWARD THE BOTTOM
33-62" LIGHT BROWN FINE TO MEDIUM
SAND AND GRAVEL
62-96" LIGHT GREY VERY FINE SILTY SAND
MOTTLED THROUGHOUT, COMPACT
MOTTLE 62"
NO GW
NO REFUSAL

TEST HOLE 67
0-10" TOPSOIL
10-43" ORANGE BROWN FINE SANDY LOAM
43-97" LIGHT BROWN, FINE SAND AND SOME
GRAVEL
MOTTLES 50"
NO GW
NO REFUSAL?

TEST HOLE 68
0-8" TOPSOIL
8-49" ORANGE BROWN FINE SANDY LOAM
49-95" LIGHT BROWN, FINE SAND
AND SOME GRAVEL
MOTTLES 29"
NO GW
NO REFUSAL

TEST HOLE 69
0-7" TOPSOIL
7-39" LIGHT BROWN, FINE SANDY LOAM
39-94" LIGHT BROWN, FINE SAND AND
SOME GRAVEL
MOTTLES 53"
NO GW
NO REFUSAL

TEST HOLE 70
0-12" TOPSOIL
12-44" YELLOW/BROWN, FINE SANDY LOAM
44-103" BROWN, FINE TO MED SAND
W/COBBLES & PEBBLES & SOME GRAVEL
MOTTLES 60"
NO GW
NO REFUSAL

TEST HOLE 71
0-18" TOPSOIL
16-33" ORANGE BROWN, FINE SANDY LOAM
33-95" LIGHT BROWN, FINE/MED SAND
W/PEBBLES, SAND & COBBLES
MOTTLES 63"
NO GW
NO REFUSAL

TEST HOLE 72
0-11" TOPSOIL
11-45" ORANGE BROWN FINE SANDY LOAM
45-100" BROWN, FINE TO MEDIUM SAND
WITH PEBBLES & COBBLES
MOTTLES 45"
NO GW
NO REFUSAL

TEST HOLE 73
0-9" TOPSOIL
9-30" ORANGE BROWN, FINE SANDY LOAM
30-88" LIGHT BROWN, FINE SAND, AND SOME
GRAVEL AND COBBLES
MOTTLES 41"
GW: 105"
REFUSAL:

TEST HOLE 74
0-9" TOPSOIL
9-43" ORANGE BROWN, FINE SANDY LOAM, SILTY
43-87" LIGHT BROWN, FINE SAND, AND SOME
GRAVEL AND COBBLES
NO MOTTLES
NO GW
NO REFUSAL

TEST HOLE 75
0-6" TOPSOIL
6-30" ORANGE BROWN, FINE SANDY LOAM, SILTY
30-95" LIGHT BROWN, FINE SAND, AND SOME
GRAVEL AND COBBLES
NO MOTTLES
NO GW
NO REFUSAL

TEST HOLE 76
0-12" TOPSOIL
12-33" ORANGE BROWN, FINE SANDY LOAM
33-49" LIGHT GRAY, VERY FINE SILTY SAND
MOTTLED THROUGHOUT, FIRM
48-84" LIGHT BROWN, FINE SAND, SOME
GRAVEL, AND COBBLES
MOTTLES 44"
NO GW
NO REFUSAL

TEST HOLE 77
0-12" TOPSOIL
12-33" ORANGE BROWN, FINE SANDY LOAM
33-49" LIGHT GRAY, VERY FINE SILTY SAND
MOTTLED THROUGHOUT, FIRM
48-102" LIGHT BROWN, FINE SAND AND
SOME GRAVEL
MOTTLES 39"
NO GW
NO REFUSAL

TEST HOLE 78
0-10" TOPSOIL
10-39" ORANGE BROWN, FINE SANDY LOAM
39-83" LIGHT BROWN, FINE SAND, WITH SOME
GRAVEL, AND COBBLES
MOTTLES 38"
NO GW
NO REFUSAL

TEST HOLE 79
0-14" TOPSOIL
14-38" ORANGE BROWN, FINE SANDY LOAM
38-48" LIGHT GRAY, VERY FINE SILTY SAND
MOTTLED THROUGHOUT, FIRM
48-102" LIGHT BROWN, FINE SAND AND
SOME GRAVEL
MOTTLES 38"
NO GW
NO REFUSAL

TEST HOLE 80
0-9" TOPSOIL
9-37" ORANGE BROWN, FINE SANDY LOAM
37-58" LIGHT GRAY, VERY FINE SILTY SAND
MOTTLED THROUGHOUT, FIRM
58-93" LIGHT BROWN, FINE SAND WITH SOME
GRAVEL AND COBBLES
MOTTLES 43"
NO GW
NO REFUSAL

TEST HOLE 81
0-8" TOPSOIL
8-30" RED BROWN, FINE SANDY LOAM, COBBLES
30-57" LIGHT BROWN, FINE SANDY LOAM,
MOTTLED
57-98" LIGHT GRAY, VERY FINE SAND,
HEAVY MOTTLING, SILTY, COMPACT
MOTTLES 37"
GW: 94"
NO REFUSAL

TEST HOLE 82
0-5" TOPSOIL
5-31" ORANGE BROWN, FINE SANDY LOAM
31-46" LIGHT GRAY, VERY FINE SAND,
MOTTLED
46-88" LIGHT BROWN, FINE/MED SAND,
LITTLE COBBLES W/PEBBLES
MOTTLES 29"
GW:
NO REFUSAL

TEST HOLE 83
0-10" TOPSOIL
10-50" LIGHT BROWN, FINE SANDY LOAM,
W/COBBLES
50-97" LIGHT BROWN, VERY FINE SAND,
W/PEBBLES & COBBLES, SILTY
MOTTLES 31"
GW: 90"
SEEPAGE: 70"
NO REFUSAL

TEST HOLE 84
0-5" TOPSOIL
5-40" LIGHT BROWN, FINE SANDY LOAM,
W/COBBLES
40-71" LIGHT GRAY, VERY FINE SAND,
MOTTLED & SILTY
71-112" LIGHT BROWN, FINE/MED SAND
W/PEBBLES & COBBLES
MOTTLES 41"
NO GW
NO REFUSAL

TEST HOLE 85 - HEAVY MOTTLING
0-8" TOPSOIL
8-51" LIGHT GRAY, VERY FINE SAND,
BOULDERS
51-102" LIGHT GRAY, FINE/MED SAND
& MOTTLED
MOTTLES 27"
NO GW
NO REFUSAL

TEST HOLE 86
0-6" TOPSOIL
6-30" BROWN FINE SANDY LOAM
36-101" LIGHT GRAY FINE/MED
SAND W/COBBLES
SILTY, COMPACT, MOTTLED THROUGHOUT
NO MOTTLES
NO GW
NO REFUSAL

TEST HOLE 87
0-8" TOPSOIL
8-29" ORANGE BROWN, FINE SANDY LOAM, SILTY
29-94" LIGHT BROWN, FINE SAND, AND SOME
GRAVEL AND COBBLES
NO MOTTLES
NO GW
NO REFUSAL

TEST HOLE 88
0-5" TOPSOIL
5-35" ORANGE BROWN, FINE SANDY LOAM
35-87" LIGHT GRAY, FINE/MED SAND
W/COBBLES AND A LOT OF
BOULDERS
NO MOTTLES
NO GW
NO REFUSAL

TEST HOLE 89
0-9" TOPSOIL
9-27" LIGHT BROWN, FINE SANDY LOAM,
SATURATED
27-76" UNDER WATER
NO MOTTLES
NO GW
NO REFUSAL

TEST HOLE 90
0-5" TOPSOIL
5-25" LIGHT BROWN, FINE SANDY LOAM,
SILTY
25-70" LIGHT BROWN FINE SAND,
MOTTLED, SATURATED, HUGE
BOULDERS AND SILTY
MOTTLES 25"
GW: 57"
SEEPAGE: 26"
NO REFUSAL

TEST HOLE 91
0-8" TOPSOIL
8-27" LIGHT BROWN, FINE SANDY LOAM
27-82" LIGHT BROWN FINE SAND,
MOTTLED, FIRM & SILTY
MOTTLES 33"
GW: 57"
SEEPAGE: 27"
REFUSAL

TEST HOLE 92
0-8" TOPSOIL
8-24" ORANGE BROWN, FINE SANDY LOAM,
W/COBBLES
24-72" LIGHT BROWN FINE SAND,
MOTTLED, FIRM & SILTY
MOTTLES 38"
GW: 65"
SEEPAGE: 51"
NO REFUSAL

TEST HOLE 93
0-9" TOPSOIL
9-21" BROWN FINE SANDY LOAM
21-80" LIGHT BROWN FINE/MED SAND
W/PEBBLES, COBBLES
FAINT MOTTLES 38"
NO GW
NO REFUSAL

TEST HOLE 94
0-9" TOPSOIL
9-31" BROWN FINE SANDY LOAM,
BOULDERS
31-83" LIGHT GRAY FINE/MED SAND
& GRAVEL, COBBLES
NO MOTTLES
NO GW
NO REFUSAL

TEST HOLE 95
0-8" TOPSOIL
8-30" ORANGE BROWN FINE SANDY LOAM
30-86" LIGHT BROWN FINE/MED SAND
W/PEBBLES
MOTTLES 45"
NO GW
NO REFUSAL

TEST HOLE 96
0-10" TOPSOIL
10-24" LIGHT BROWN FINE SANDY LOAM,
BOULDERS
24-76" LIGHT BROWN FINE/MED
W/ GRAVEL, COBBLES
NO MOTTLES
NO GW
NO REFUSAL

TEST HOLE 97
0-8" TOPSOIL
8-24" LIGHT BROWN FINE SANDY LOAM
24-72" LIGHT BROWN FINE SAND WITH
PEBBLES & COBBLES, TRACE OF SILT
NO GW
NO MOTTLE
NO REFUSAL
ROOTS:

TEST HOLE 98
0-6" TOPSOIL
6-26" LIGHT BROWN FINE SANDY LOAM,
TRACE OF SILT W/BOULDER
26-40" LIGHT GRAY FINE SAND WITH
PEBBLES & COBBLES
NO GW
NO MOTTLE
NO REFUSAL
ROOTS: 28"

TEST HOLE 99
0-8" TOPSOIL
8-27" LIGHT BROWN FINE SANDY LOAM,
TRACE OF SILT W/BOULDER
27-48" LIGHT GRAY FINE SAND WITH
PEBBLES & COBBLES
NO GW
NO MOTTLE
NO REFUSAL
ROOTS: 29"

TEST HOLE 100
0-6" TOPSOIL
6-26" LIGHT BROWN FINE SANDY LOAM,
TRACE OF SILT W/BOULDER
26-40" LIGHT GRAY FINE SAND WITH
PEBBLES & COBBLES
NO GW
NO MOTTLE
NO REFUSAL
ROOTS: 28"

TEST HOLE 101
0-8" TOPSOIL
8-32" LIGHT BROWN FINE SANDY LOAM
32-78" LIGHT GRAY FINE SAND WITH
PEBBLES & COBBLES, TRACE
OF SILT
NO GW
NO MOTTLE
NO REFUSAL

TEST HOLE 102
0-6" TOPSOIL
6-32" LIGHT BROWN FINE SANDY LOAM
32-72" LIGHT GRAY FINE SAND WITH
PEBBLES & COBBLES
NO GW
NO MOTTLE
NO REFUSAL

TEST HOLE 103
0-10" TOPSOIL
10-29" LIGHT BROWN FINE SANDY LOAM,
TRACE OF SILT, W/BOULDER
29-80" LIGHT GRAY FINE SAND WITH
PEBBLES & COBBLES
NO GW
NO MOTTLE

PERCOLATION TEST RESULTS
WITNESSED AND RECORDED BY DIETER & GARDNER INC. ON JULY 9, 10, 11 AND SEPTEMBER 26, 2025.

TIME	READING
12:20	3 1/2"
12:25	8 3/4"
12:30	12"
12:35	14 1/4"
12:40	16"
12:45	17 1/2"
12:50	19"
12:55	20 1/2"
1:00	22"
1:05	DRY

PERC RATE: 3.3 MIN/INCH

TIME	READING
12:18	6"
12:23	7 1/4"
12:28	8"
12:33	8 5/8"
12:38	9 1/4"
12:43	9 1/2"
12:48	10 1/4"
12:53	10 1/2"
12:58	11 1/8"
1:03	11 1/2"

PERC RATE: 13.3 MIN/INCH

TIME	READING
10:19	3 1/4"
10:24	4 1/2"
10:29	5 1/4"
10:34	6 1/8"
10:39	6 7/8"
10:44	7 3/8"
10:49	7 7/8"
10:54	8 1/2"
10:59	8 7/8"
11:04	9 1/4"

PERC RATE: 13.3 MIN/INCH

TIME	READING
9:22	3 1/8"
9:27	4 7/8"
9:32	5 1/4"
9:37	6 7/8"
9:42	8"
9:47	8 1/2"
9:52	9"
9:57	9 1/2"
10:02	10 1/4"
10:07	10 7/8"

PERC RATE: 8 MIN/INCH

TIME	READING
12:32	2"
12:37	5"
12:42	7"
12:47	8"
12:52	8 3/4"
12:57	9 1/2"
1:02	10 1/4"
1:07	11"
1:12	11 3/4"
1:17	12 1/2"

PERC RATE: 6.7 MIN/INCH

TIME	READING
12:19	3 3/4"
12:24	9 1/2"
12:29	12 1/2"
12:34	15 1/4"
12:39	17 1/4"
12:44	19"
12:49	20 1/2"
12:54	DRY

PERC RATE: 3.3 MIN/INCH

TIME	READING
10:23	4"
10:28	6 1/2"
10:33	7 1/8"
10:38	8 3/8"
10:43	9 1/4"
10:48	10"
10:53	11"
10:58	12"
11:03	12 3/4"
11:08	13 1/2"
11:13	14 1/4"

PERC RATE: 6.7 MIN/INCH

TIME	READING
12:50	5"
12:55	9"
1:00	11"
1:05	13"
1:10	14"
1:15	15"
1:20	16"
1:25	16 3/4"
1:30	17 5/8"
1:35	18 1/4"
1:40	18 7/8"

PERC RATE: 8 MIN/INCH

TIME	READING
8:25	4"
8:30	8"
8:35	9 1/2"
8:40	10 1/4"
8:45	11 1/4"
8:50	12 1/4"
8:55	13 1/4"
9:00	14 1/4"
9:05	15 1/4"
9:10	16 1/4"

PERC RATE: 5 MIN/INCH

TIME	READING
8:20	4"
8:25	8"
8:30	10 1/2"
8:35	12 1/2"
8:40	13 3/4"
8:45	15 1/2"
8:50	17"
8:55	18 1/2"
9:00	19 1/2"
9:05	20 1/2"

PERC RATE: 5 MIN/INCH

TIME	READING
12:00	3"
12:05	9 1/4"
12:10	12 1/4"
12:15	14 1/4"
12:20	15 1/4"
12:25	16 1/4"
12:30	17 1/2"
12:35	18 1/2"
12:40	19 1/2"
12:45	20 5/8"

PERC RATE: 5 MIN/INCH

TIME	READING
12:10	4 1/2"
12:15	8 1/4"
12:20	10 1/4"
12:25	12 1/4"
12:30	13 1/2"
12:35	14 7/8"
12:40	15 7/8"
12:45	16 3/4"
12:50	17 3/4"
12:55	18 3/4"

PERC RATE: 5.7 MIN/INCH

TIME	READING
8:18	3 1/2"
8:23	12"
8:28	17 1/2"
8:33	18 7/8"
8:38	20"
8:43	22"
8:48	DRY

PERC RATE: 4.4 MIN/INCH

TIME	READING
8:22	2 1/4"
8:27	5"
8:32	6 3/4"
8:37	8 5/8"
8:42	9 5/8"
8:47	10 3/4"
8:52	12 1/4"
8:57	13"
9:02	14 1/8"
9:07	15 1/4"

PERC RATE: 4.4 MIN/INCH

TIME	READING
12:07	7 3/4"
12:12	8 3/4"
12:17	9 7/8"
12:22	10 3/4"
12:27	11 3/4"
12:32	12 1/4"
12:37	12 3/4"
12:42	13 1/2"
12:47	14 1/8"

PERC RATE: 8 MIN/INCH

TIME	READING
11:53	3"
11:58	9"
12:03	13"
12:08	15"
12:13	17"
12:18	18 1/4"
12:23	19 1/4"
12:28	20 1/2"
12:33	22"
12:38	DRY

PERC RATE: 3.3 MIN/INCH

TIME	READING
9:21	3 1/4"
9:26	4 1/2"
9:31	4 3/4"
9:36	5"
9:41	5 1/4"
9:46	5 1/2"
9:51	5 3/4"
9:56	6"
10:01	6 1/4"
10:06	6 1/2"

PERC RATE: 20 MIN/INCH

TIME	READING
9:32	2"
9:37	7 1/4"
9:42	10 1/8"
9:47	12 7/8"
9:52	14 7/8"
9:57	15 7/8"
10:02	17 1/2"
10:07	19 1/2"
10:12	22"
10:17	DRY

PERC RATE: 3 MIN/INCH

TIME	READING
12:03	6 1/4"
12:08	10 1/4"
12:13	11 3/4"
12:18	13 1/2"
12:23	14 1/2"
12:28	15 3/4"
12:33	16 1/2"
12:38	17 3/4"
12:43	18 1/2"
12:48	DRY

PERC RATE: 6.7 MIN/INCH

TIME	READING
12:02	4"
12:07	9 3/4"
12:12	12"
12:17	14"
12:22	15 1/4"
12:27	17 1/4"
12:32	19 1/4"
12:37	21 1/2"
12:42	DRY

PERC RATE: 4 MIN/INCH

TIME	READING
9:25	2"
9:30	4 5/8"
9:35	6 1/4"
9:40	7 1/4"
9:45	8 1/4"
9:50	9 1/4"
9:55	10 1/4"
10:00	11 1/4"
10:05	12 1/8"
10:10	13 1/8"

PERC RATE: 4.4 MIN/INCH

TIME	READING
10:30	1 1/2"
10:35	5 1/2"
10:40	8 1/4"
10:45	10 1/4"
10:50	12 1/4"
10:55	14 1/4"
11:00	15 5/8"
11:05	16 7/8"
11:10	18 1/4"
11:15	DRY

PERC RATE: 3.5 MIN/INCH

TIME	READING
1:55	2 1/2"
2:00	6 1/2"
2:05	9 1/4"
2:10	11"
2:15	12 1/2"
2:20	13 1/2"
2:25	14 1/2"
2:30	15 1/2"
2:35	16 1/2"
2:40	17 1/2"

PERC RATE: 5 MIN/INCH

TIME	READING
10:18	5 1/4"
10:23	7 1/4"
10:28	8 1/2"
10:33	10 1/8"
10:38	10 1/2"
10:43	11 1/8"
10:48	12"
10:53	12 1/2"
10:58	13 1/4"
11:03	13 7/8"

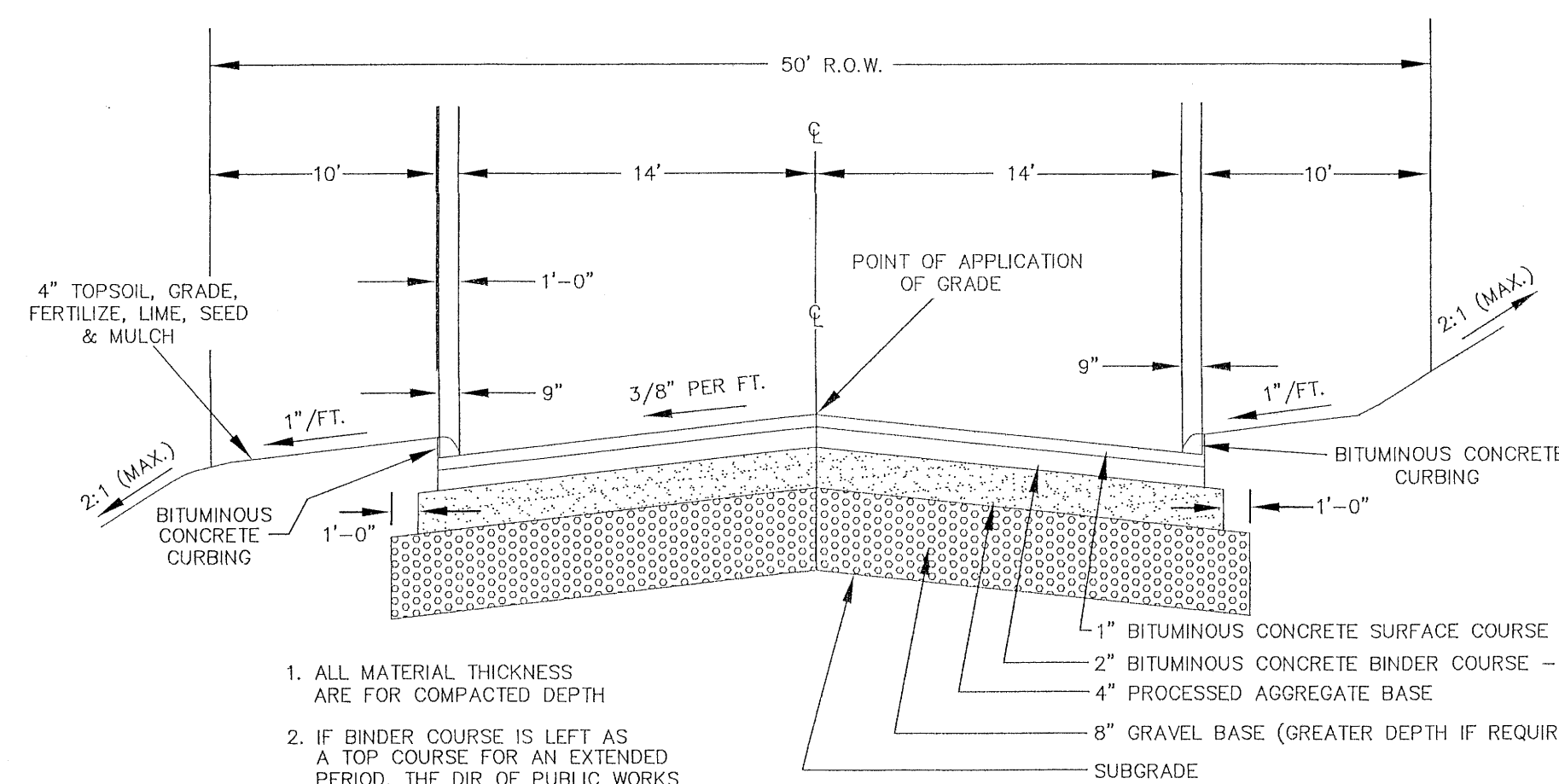
PERC RATE: 8 MIN/INCH

DEEP TEST PIT DATA

WITNESSED AND RECORDED BY JOSEPH BLANCHARD, LEDGE LIGHT HEALTH DISTRICT ON 4/19/2023.

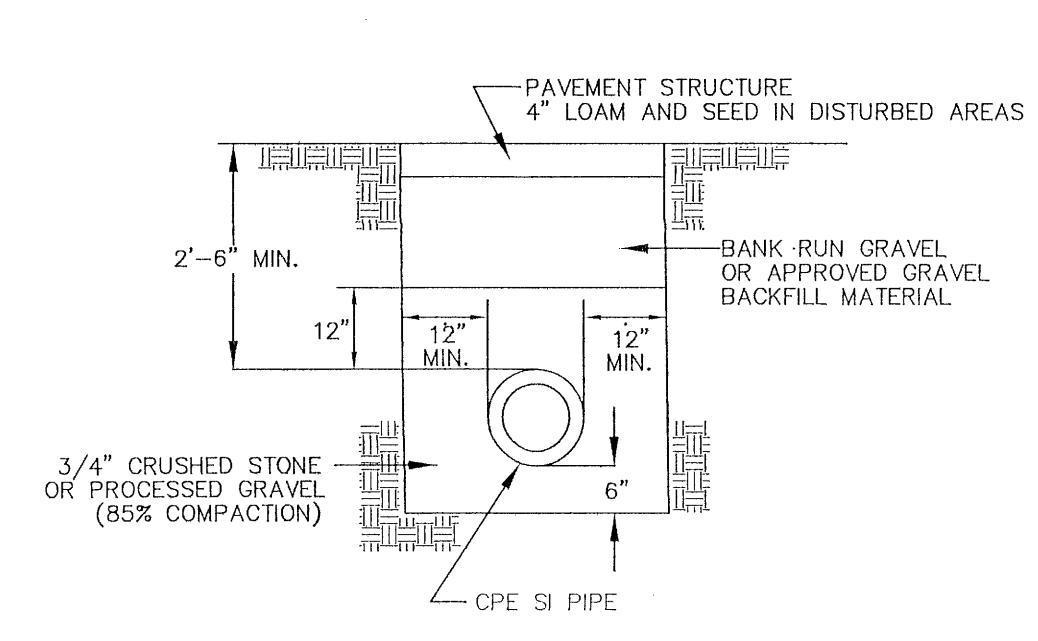
84 Silas Deane Rd Ledge 4/19
TP1 95'
0-7' 1/2" silt
7-30' 20" silt
30-44' 1/2" silt
44-95' 1/2" silt
95-100' 1/2" silt
100-105' 1/2" silt
105-110' 1/2" silt
110-115' 1/2" silt
115-120' 1/2" silt
120-125' 1/2" silt
125-130' 1/2" silt
130-135' 1/2" silt
135-140' 1/2" silt
140-145' 1/2" silt
145-150' 1/2" silt
150-155' 1/2" silt
155-160' 1/2" silt
160-165' 1/2" silt
165-170' 1/2" silt
170-175' 1/2" silt
175-180' 1/2" silt
180-185' 1/2" silt
185-190' 1/2" silt
190-195' 1/2" silt
195-200' 1/2" silt
200-205' 1/2" silt
205-210' 1/2" silt
210-215' 1/2" silt
215-220' 1/2" silt
220-225' 1/2" silt
225-230' 1/2" silt
230-235' 1/2" silt
235-240' 1/2" silt
240-245' 1/2" silt
245-250' 1/2" silt
250-255' 1/2" silt
255-260' 1/2" silt
260-265' 1/2" silt
265-270' 1/2" silt
270-275' 1/2" silt
275-280' 1/2" silt
280-285' 1/2" silt
285-290' 1/2" silt
290-295' 1/2" silt
295-300' 1/2" silt
300-305' 1/2" silt
305-310' 1/2" silt
310-315' 1/2" silt
315-320' 1/2" silt
320-325' 1/2" silt
325-330' 1/2" silt
330-335' 1/2" silt
335-340' 1/2" silt
340-345' 1/2" silt
345-350' 1/2" silt
350-355' 1/2" silt
355-360' 1/2" silt
360-365' 1/2" silt
365-370' 1/2" silt
370-375' 1/2" silt
375-380' 1/2" silt
380-385' 1/2" silt
385-390' 1/2" silt
390-395' 1/2" silt
395-400' 1/2" silt
400-405' 1/2" silt
405-410' 1/2" silt
410-415' 1/2" silt
415-420' 1/2" silt
420-425' 1/2" silt
425-430' 1/2" silt
430-435' 1/2" silt
435-440' 1/2" silt
440-445' 1/2" silt
445-450' 1/2" silt
450-455' 1/2" silt
455-460' 1/2" silt
460-465' 1/2" silt
465-470' 1/2" silt
470-475' 1/2" silt
475-480' 1/2" silt
480-485' 1/2" silt
485-490' 1/2" silt
490-495' 1/2" silt
495-500' 1/2" silt
500-505' 1/2" silt
505-510' 1/2" silt
510-515' 1/2" silt
515-520' 1/2" silt
520-525' 1/2" silt
525-530' 1/2" silt
530-535' 1/2" silt
535-540' 1/2" silt
540-545' 1/2" silt
545-550' 1/2" silt
550-555' 1/2" silt
555-560' 1/2" silt
560-565' 1/2" silt
565-570' 1/2" silt
570-575' 1/2" silt
575-580' 1/2" silt
580-585' 1/2" silt
585-590' 1/2" silt
590-595' 1/2" silt
595-600' 1/2" silt
600-605' 1/2" silt
605-610' 1/2" silt
610-615' 1/2" silt
615-620' 1/2" silt
620-625' 1/2" silt
625-630' 1/2" silt
630-635' 1/2" silt
635-640' 1/2" silt
640-645' 1/2" silt
645-650' 1/2" silt
650-655' 1/2" silt
655-660' 1/2" silt
660-665' 1/2" silt
665-670' 1/2" silt
670-675' 1/2" silt
675-680' 1/2" silt
680-685' 1/2" silt
685-690' 1/2" silt
690-695' 1/2" silt
695-700' 1/2" silt
700-705' 1/2" silt
705-710' 1/2" silt
710-715' 1/2" silt
715-720' 1/2" silt
720-725' 1/2" silt
725-730' 1/2" silt
730-735' 1/2" silt
735-740' 1/2" silt
740-745' 1/2" silt
745-750' 1/2" silt
750-755' 1/2" silt
755-760' 1/2" silt
760-765' 1/2" silt
765-770' 1/2" silt
770-775' 1/2" silt
775-780' 1/2" silt
780-785' 1/2" silt
785-790' 1/2" silt
790-795' 1/2" silt
795-800' 1/2" silt
800-805' 1/2" silt
805-810' 1/2" silt
810-815' 1/2" silt
815-820' 1/2" silt
820-825' 1/2" silt
825-830' 1/2" silt
830-835' 1/2" silt
835-840' 1/2" silt
840-845' 1/2" silt
845-850' 1/2" silt
850-855' 1/2" silt
855-860' 1/2" silt
860-865' 1/2" silt
865-870' 1/2" silt
870-875' 1/2" silt
875-880' 1/2" silt
880-885' 1/2" silt
885-890' 1/2" silt
890-895' 1/2" silt
895-900' 1/2" silt
900-905' 1/2" silt
905-910' 1/2" silt
910-915' 1/2" silt
915-920' 1/2" silt
920-925' 1/2" silt
925-930' 1/2" silt
930-935' 1/2" silt
935-940' 1/2" silt
940-945' 1/2" silt
945-950' 1/2" silt
950-955' 1/2" silt
955-960' 1/2" silt
960-965' 1/2" silt
965-970' 1/2" silt
970-975' 1/2" silt
975-980' 1/2" silt
980-985' 1/2" silt
985-990' 1/2" silt
990-995' 1/2" silt
995-1000' 1/2" silt

TP2 73' ledge
0-7' 1

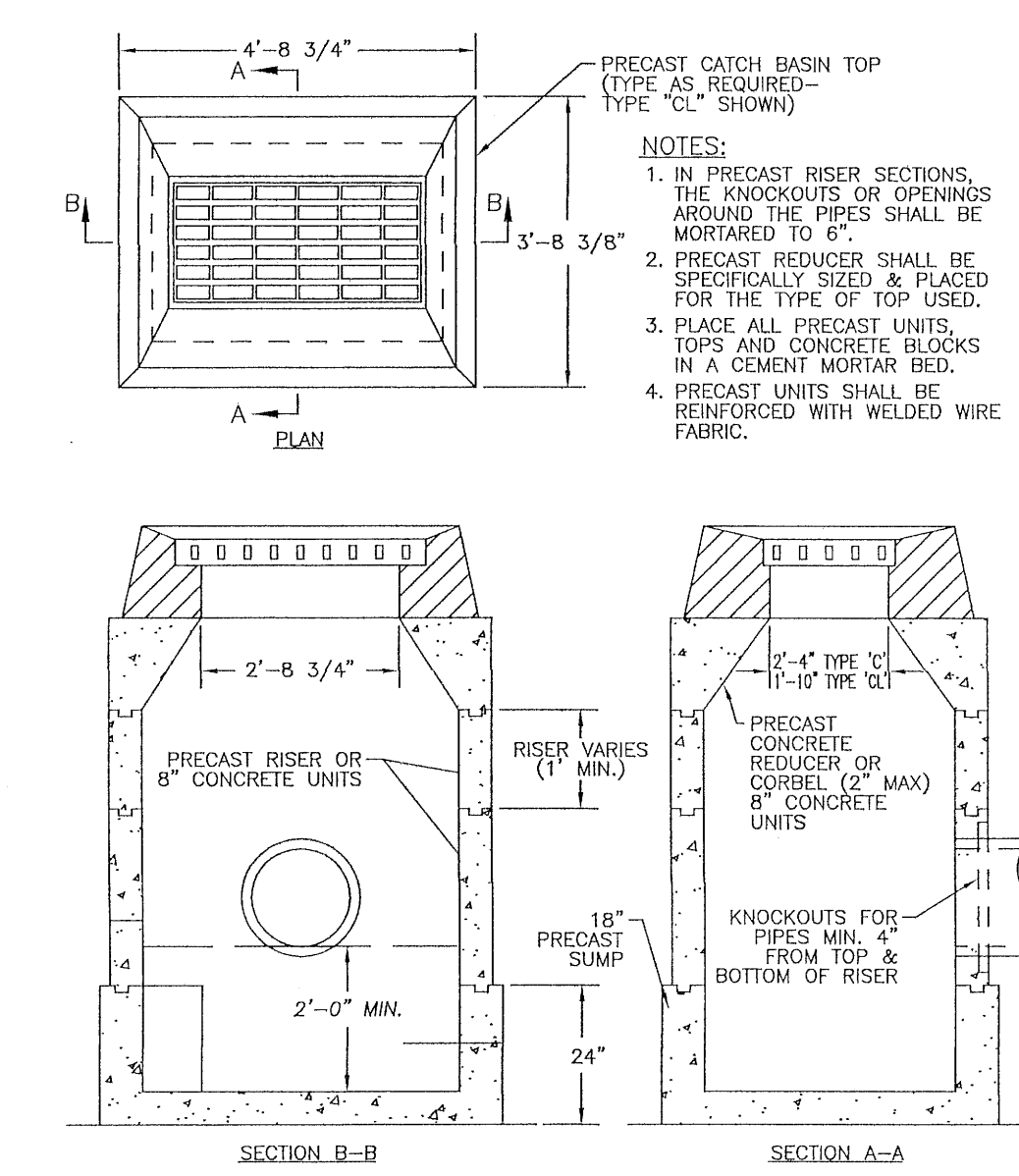


1. ALL MATERIAL THICKNESS ARE FOR COMPACTED DEPTH
2. IF BINDER COURSE IS LEFT AS A TOP COURSE FOR AN EXTENDED PERIOD, THE DIR OF PUBLIC WORKS MAY REQUIRE THAT A TACK COAT OF BITUMINOUS MATERIAL MAY BE APPLIED BEFORE LAYING THE BITUMINOUS CONCRETE SURFACE COURSE.
3. SUBBASE DEPTH SHALL BE INCREASED TO 18" WHERE LEDGE ROCK IS ENCOUNTERED.
4. FOR CONSTRUCTION MATERIAL STANDARDS, REFER TO STATE OF CONNECTICUT, STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 813, AS AMENDED.

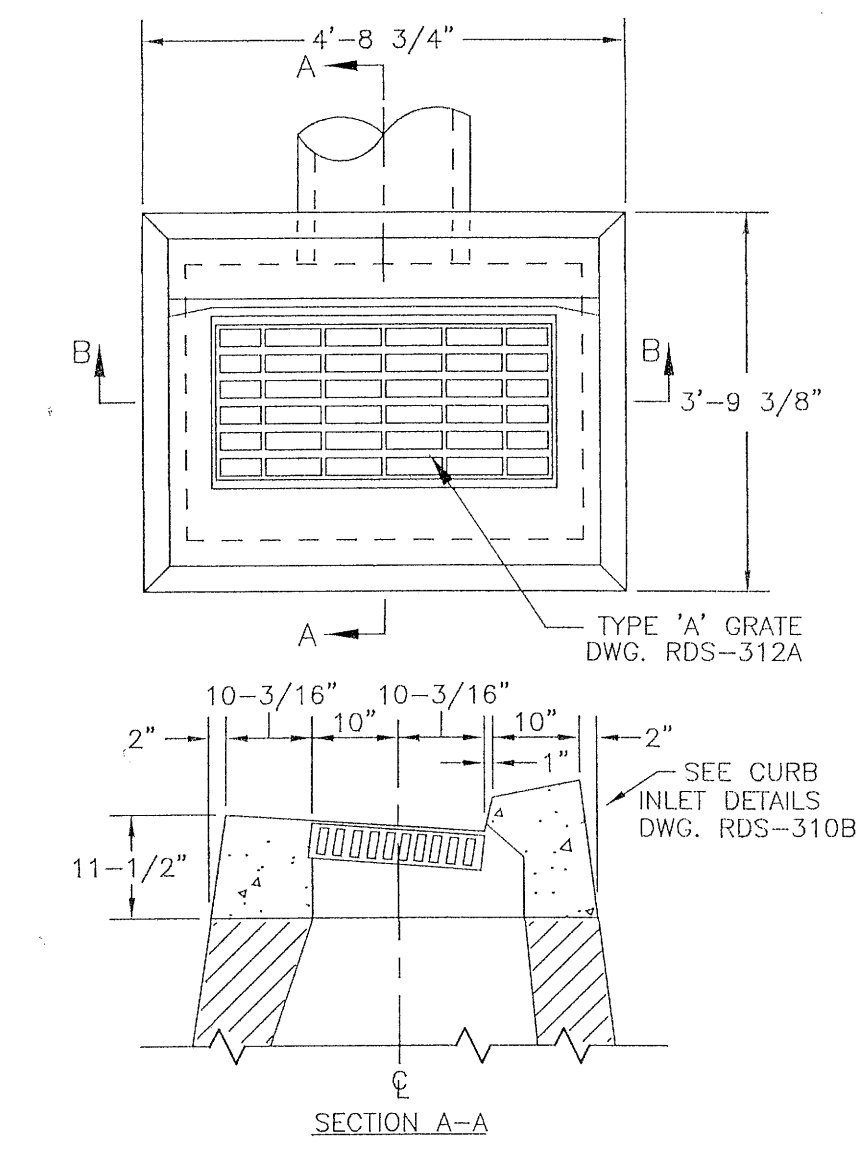
TYPICAL CROSS SECTION LOCAL STREET
NOT TO SCALE



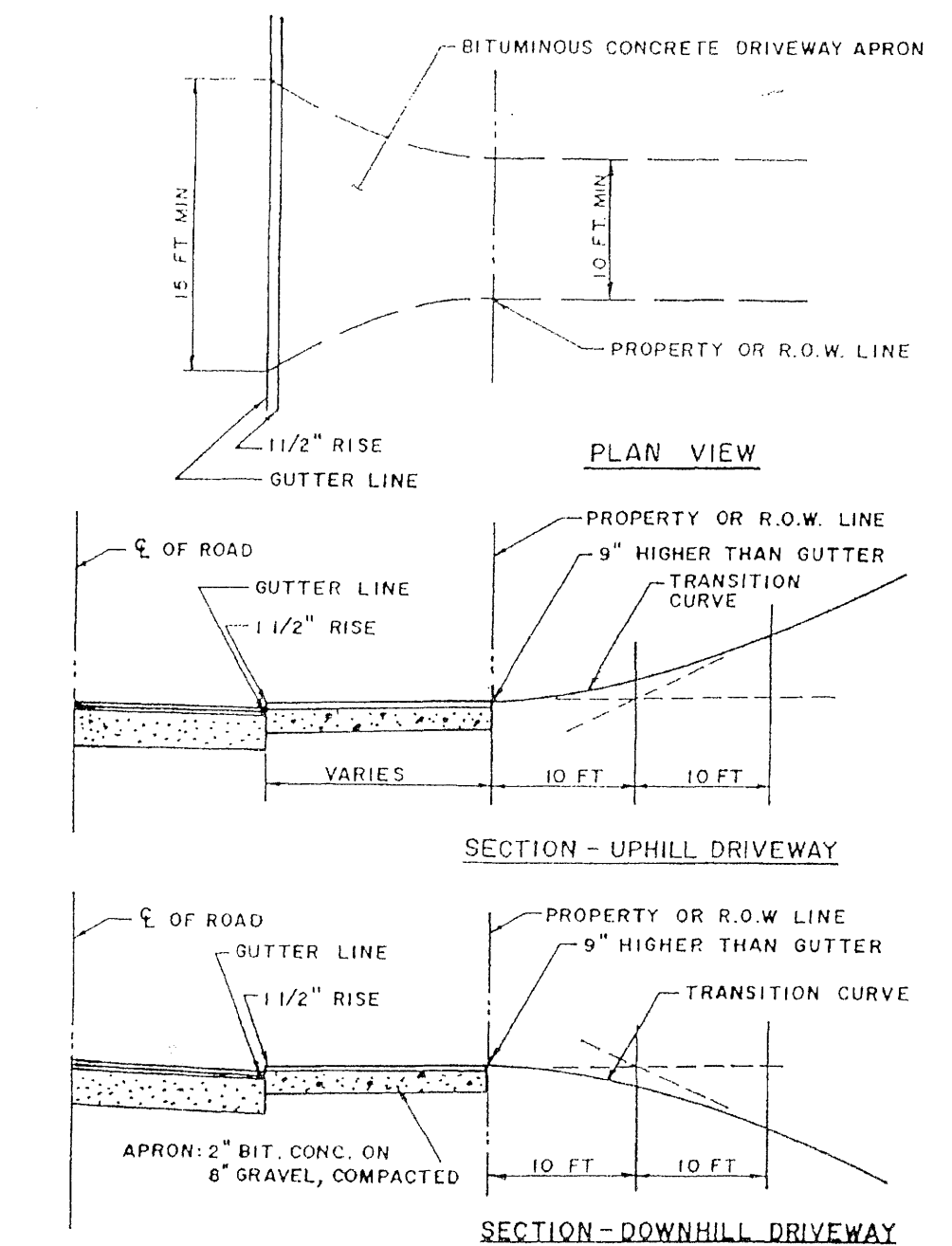
NOTE:
1. IF PIPE IS PLACED IN OR ON LEDGE, ALL LEDGE WITHIN 12" OF PIPE SHALL BE REMOVED AND REPLACED WITH PIPE BEDDING.
DRAINAGE PIPE TRENCH
NOT TO SCALE



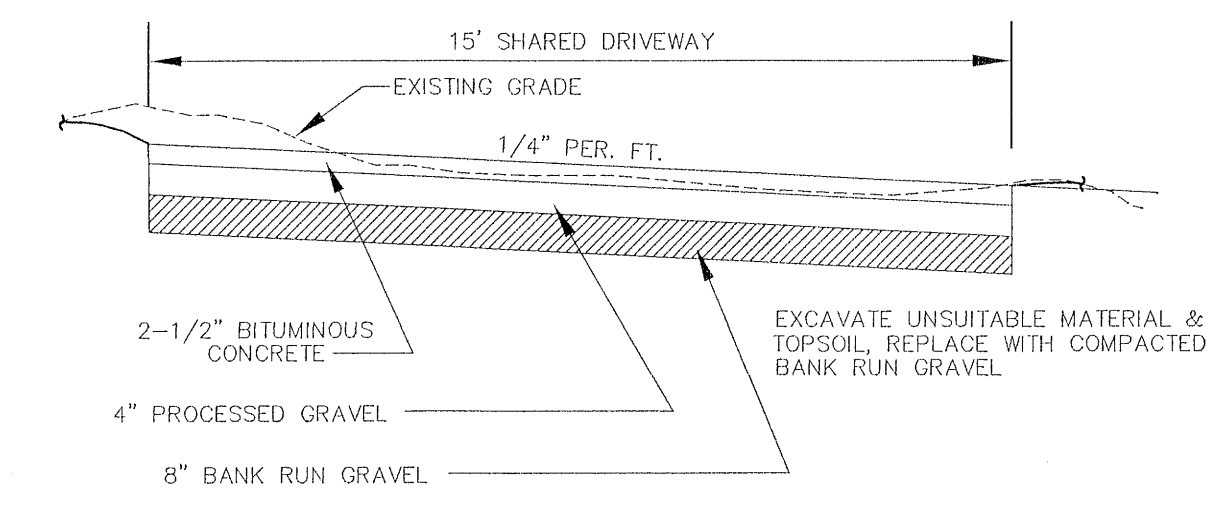
PRECAST CATCH BASIN
NOT TO SCALE



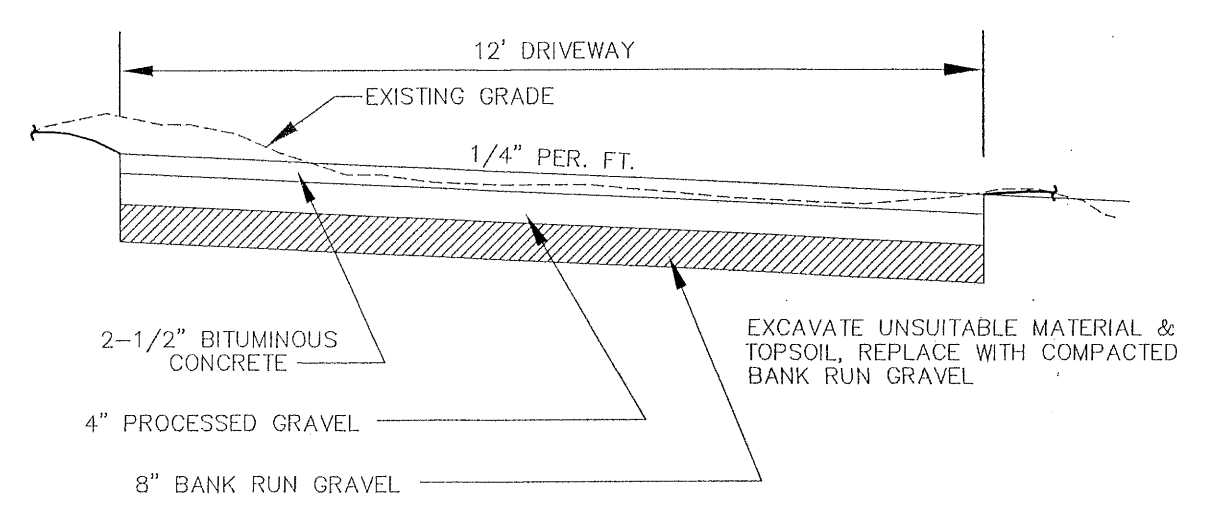
NOTE:
1. IN PRECAST RISER SECTIONS, THE KNOCKOUTS OR OPENINGS AROUND THE PIPES SHALL BE MORTARED TO 6".
2. PRECAST REDUCER SHALL BE SPECIFICALLY SIZED & PLACED FOR THE TYPE OF TOP USED.
3. PLACE ALL PRECAST UNITS, TOPS AND CONCRETE BLOCKS IN A CEMENT MORTAR BED.
4. PRECAST UNITS SHALL BE REINFORCED WITH WELDED WIRE FABRIC.
PRECAST CATCH BASIN
NOT TO SCALE



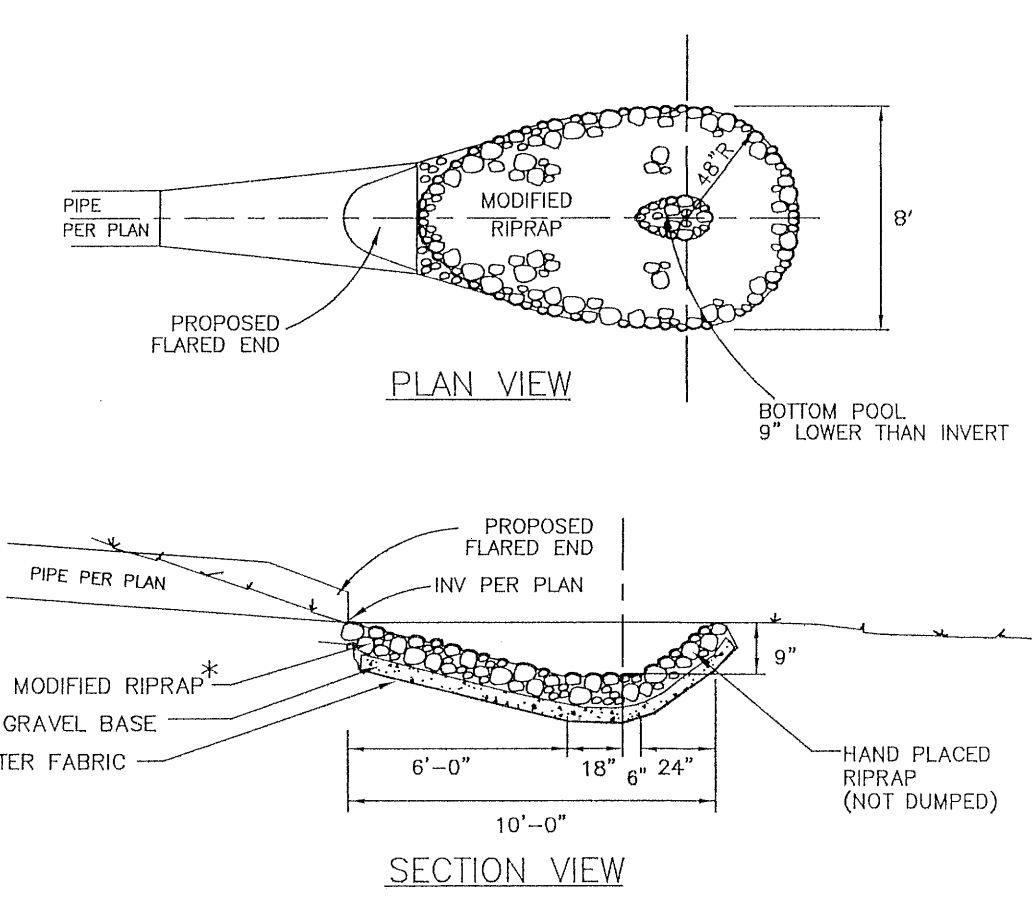
DRIVEWAY APRON DETAIL
NOT TO SCALE



TYPICAL SHARED DRIVEWAY CROSS-SECTION
NOT TO SCALE
INCLUDES ACCESS TO N/F TIMOTHY A. AND NANCY C. WALKER AND HOME AT 84 SILAS DEANE ROAD.

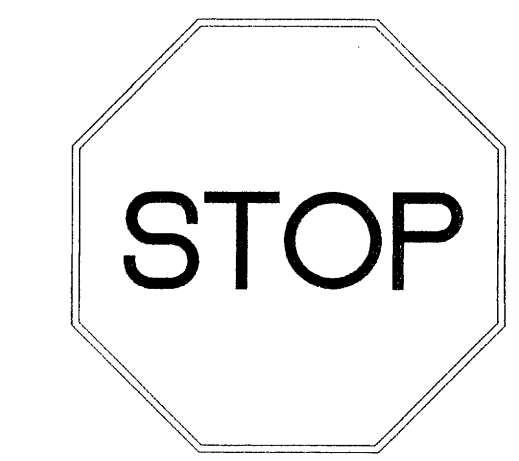


TYPICAL DRIVEWAY CROSS-SECTION
NOT TO SCALE
FOR EMERGENCY ACCESS. UNOBSTRUCTED ACCESS TO BE 20'.



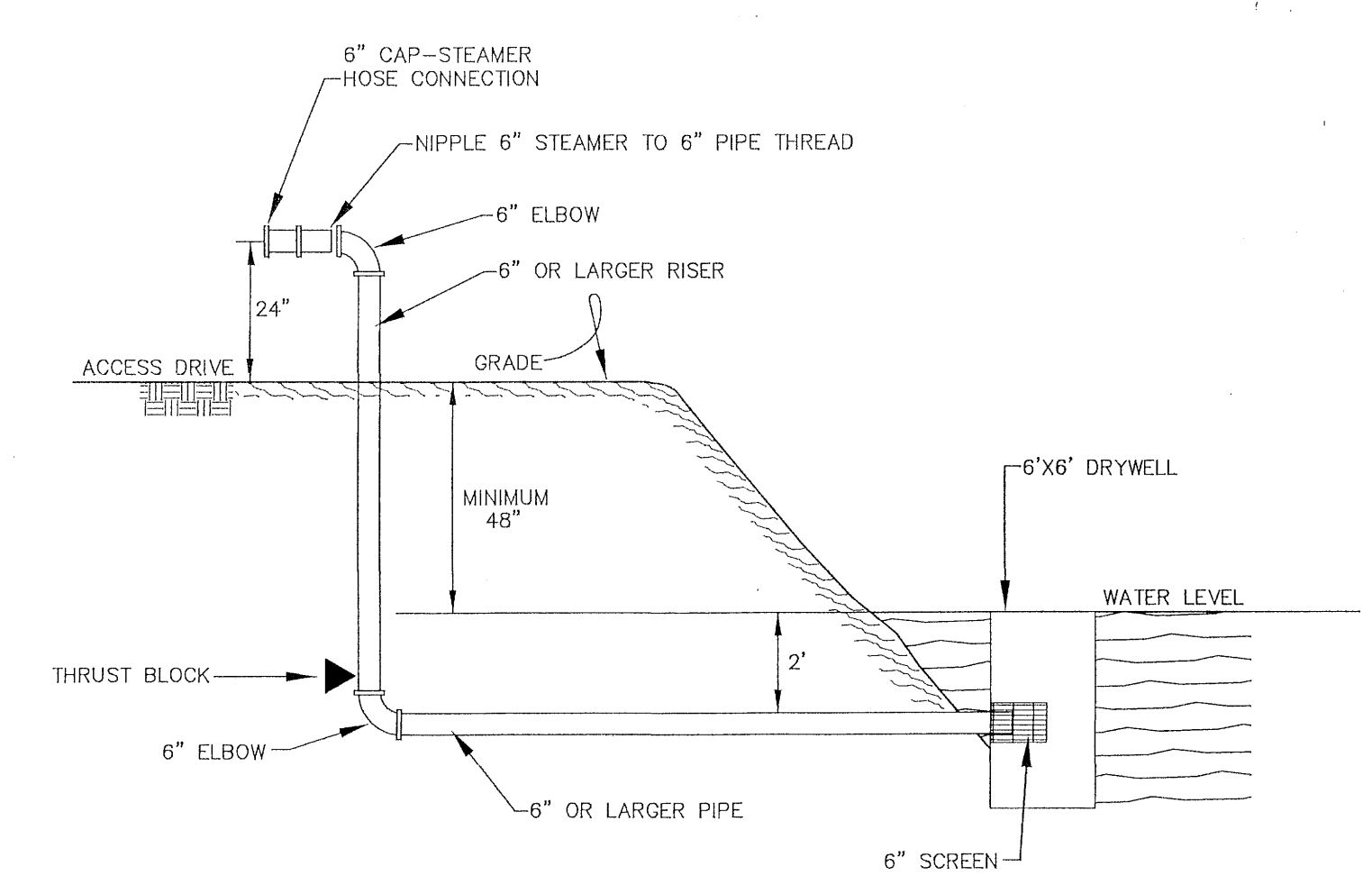
PREFORMED SCOUR HOLE
NOT TO SCALE

NOTE:
1. TYPE "C" CATCH BASIN TOP SHALL CONFORM TO CONNECTICUT DEPT. OF TRANSPORTATION STANDARD SPECIFICATION FORM 814A SECTION: M. 08. 02-4.

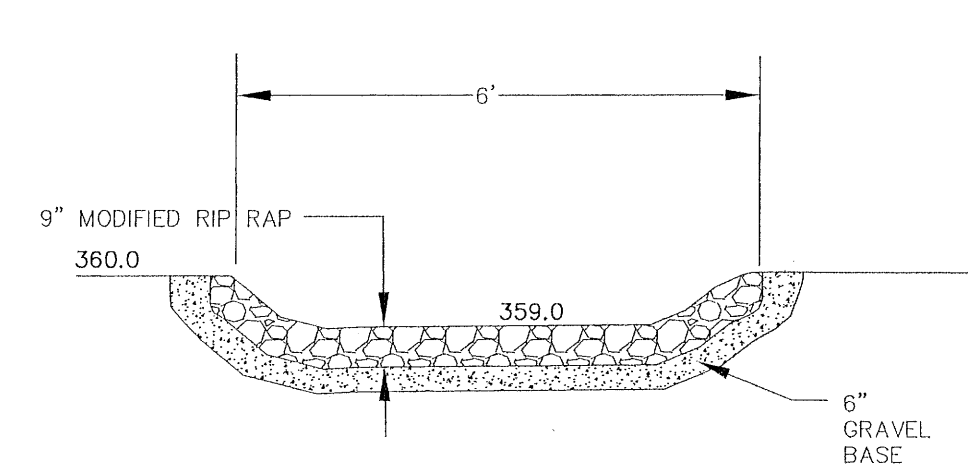


STOP SIGN
NOT TO SCALE

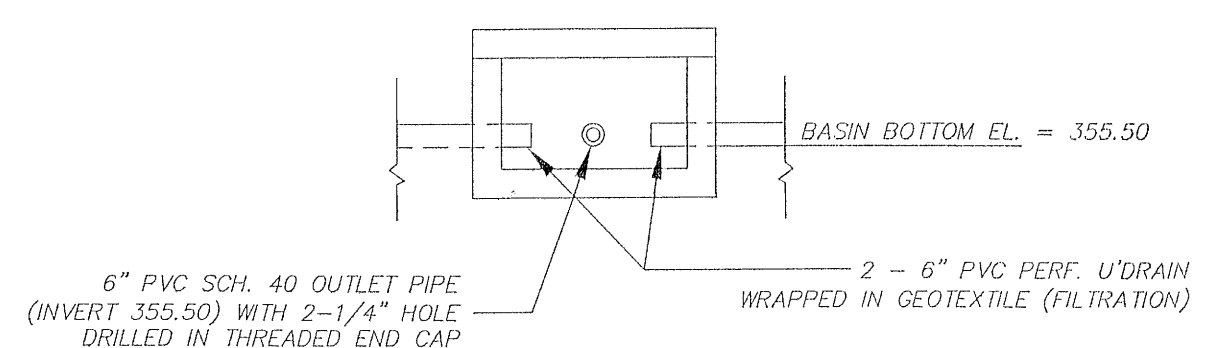
SECURE TO 1 1/2" GALVANIZED STEEL POST WITH (2) 1/4" GALVANIZED BOLTS (1 TOP, 1 BOTTOM)
NOTE: SIGN TO BE INSTALLED IN ACCORDANCE WITH STATE OF CONNECTICUT D.O.T. STANDARDS



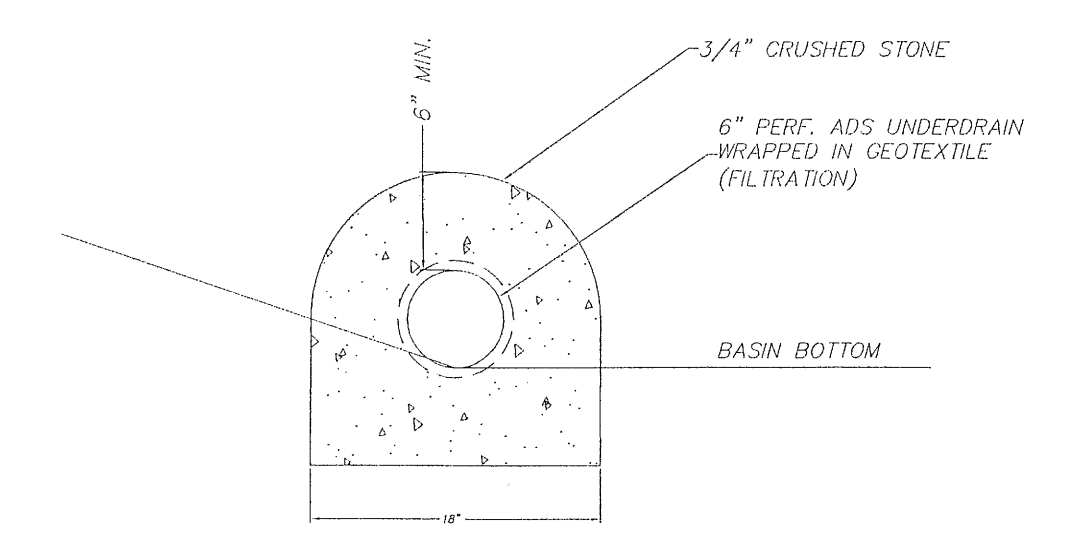
DRY HYDRANT WITH DRYWELL
NOT TO SCALE



MODIFIED RIP RAP SPILLWAY
NOT TO SCALE



**D-BOX OUTLET
EXTENDED DETENTION
UNDERDRAIN OUTLET**
NOT TO SCALE



EXTENDED DETENTION UNDERDRAIN
NOT TO SCALE

PLAN SHOWING
CONSTRUCTION DETAILS
SHEWVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEWVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT
FEBRUARY 2026
REVISED: MAY 18, 2026

CONSTRUCTION SEQUENCING:

CONSTRUCTION OF SEABURY AVENUE.

1. The Applicant shall remove surface soil in the area proposed for the installation of the anti-tracking pad construction entrance at the beginning of the proposed extension of Seabury Avenue.
2. Any stumps removed shall either be ground in place or removed to a location approved, in advance, by the Town of Ledyard Zoning Enforcement Officer. In no event shall stumps be buried on site.
3. Surface soil shall be stripped and shall be stockpiled in the surface soil stockpile locations delineated on the Plan.
4. Surface soil shall be retained on site for eventual use in the stabilization of all disturbed areas of the property. Surface soil stockpiles shall be stabilized by installing a single row of silt fence around each stockpile location. The stockpiles shall be constructed at a slope not to exceed 4:1 and shall be stabilized by seeding with an annual ryegrass mix and mulch. The annual ryegrass mix shall be applied at a rate of forty (40) pounds per acre. Mulch shall be applied at the rate of eighty (80) pounds per one thousand (1,000) square feet and shall be spread by hand or with a mulch blower. Topsoil stockpiles shall be screened before being spread.
5. The road shall be "boxed out" and trenches excavated for the installation of all utilities, including stormwater drainage.
6. Subsequent to the installation of bedding, utilities, including drainage pipe, shall be installed as delineated on the Plan.
7. Catch basins shall remain elevated in order to ensure that stormwater is not introduced into the stormwater drainage system.
8. Once all disturbed areas have been permanently stabilized as determined by the Town of Ledyard Zoning Enforcement Officer spreading stockpiled surface soil over these areas at a thickness of not less than four (4") inches, Erosion Control measures shall be removed. Areas to be seeded will be prepared by spreading ground limestone equivalent to fifty (50%) percent calcium plus magnesium oxide applied at a rate of fifty (50) pounds per one thousand (1,000) square feet. Fertilizer (10-10-10) is to be applied at a rate of seven and one-half (7.5) pounds per one thousand (1,000) square feet. Following the initial application of lime and fertilizer, there are to be no periodic applications of lime and fertilizer. Disturbed areas will be seeded with a seeding mix of Kentucky Bluegrass applied at a rate of twenty (20) pounds per acre, Creeping Red Fescue applied at a rate of twenty (20) pounds per acre and Perennial Ryegrass applied at a rate of five (5) pounds per acre for a total application of forty-five (45) pounds per acre. A hydroseed mix utilizing comparable cultivars shall be a suitable substitute. In the event that a hydroseed mix is not utilized, after seeding, the areas seeded shall be stabilized with hay mulch immediately applied at a rate of seventy (70) pounds per one thousand (1,000) square feet and anchored by tracking. Seeding shall only occur between April 1 and June 15 and August 15 to October 1.
9. Once all disturbed areas have been thoroughly stabilized, erosion control measures shall be removed.
8. Once all disturbed areas have been permanently stabilized as determined by the Town of Ledyard Zoning Enforcement Officer spreading stockpiled

INDIVIDUAL LOT DEVELOPMENT (WITH UPLAND REVIEW AREA ACTIVITIES).

1. The Applicant shall clear, but not grub, within the limits of development activity for each lot on the Plan.
2. The Applicant shall install a construction entrance to each lot which is being developed in accordance with the "Temporary Construction Entrance" detail.
3. The Applicant shall install a single row of erosion control in the location delineated on each lot in locations down gradient from proposed construction activities.
4. The Applicant shall strip the surface soil in the area of construction of the dwelling house, yard, septic system and driveway. Surface soil shall be retained on each lot for eventual use in the stabilization of disturbed areas.
5. No stumps shall be buried on site.
6. Construction of the dwelling house, septic system, driveway and utility installation shall be completed.
7. Upon the completion of construction of improvements on each lot, all disturbed areas shall be stabilized by loaming the same with not less than four (4") inches of topsoil obtained from the surface soil stockpile. Areas to be seeded will be prepared by spreading ground limestone equivalent to fifty (50%) percent calcium plus magnesium oxide applied at a rate of one hundred (100) pounds per one thousand (1,000) square feet. Fertilizer (10-10-10) is to be applied at a rate of fifteen (15) pounds per one thousand (1,000) square feet. Seeding shall be applied with a mix of Kentucky Bluegrass applied at a rate of twenty (20) pounds per acre, Creeping Red Fescue applied at a rate of twenty (20) pounds per acre and Perennial Ryegrass applied at a rate of five (5) pounds per acre for a total application of forty-five (45) pounds per acre. Hydroseed, utilizing comparable cultivars shall be an acceptable substitute for the referenced seeding mix. After seeding, and in the event that a hydroseed application is not used, the areas seeded shall be stabilized with hay mulch immediately applied at a rate of seventy (70) pounds per one thousand (1,000) square feet and anchored by tracking. Seeding shall only occur between April 1 and June 15 and August 15 to October 1.

EROSION & SEDIMENT CONTROL PLAN
1. NARRATIVE

1.1 PURPOSE AND DESCRIPTION OF PROJECT.

THE PURPOSE OF THIS PROJECT IS TO SUBDIVIDE 48.58 ACRES OF LAND TO CREATE 23 NEW RESIDENTIAL BUILDING LOTS. LOTS RANGE IN SIZE FROM 0.46 ACRES TO 0.92 ACRES. 962 LINEAR FEET OF ROAD WILL BE CONSTRUCTED. THE PLANNED PAVEMENT WIDTH IS 28 FEET. ROAD DRAINAGE HAS BEEN DESIGNED BY A PROFESSIONAL ENGINEER, AND INCLUDES CURBED PAVEMENT EDGES AND CATCH BASINS WITH A MINIMUM SUMP DEPTH OF 2 FEET. THE UPLANDS ARE GENTLY TO LOCALLY SLOPING AND WOODED.

IT IS ANTICIPATED THAT ONCE WORK ON THE PUBLIC IMPROVEMENTS BEGINS, IT WILL CONTINUE UNTIL THE PROJECT IS COMPLETED. IT IS ANTICIPATED THAT THE ROAD CONSTRUCTION WILL BE COMPLETED WITHIN ONE YEAR OF COMMENCEMENT.

(STEVEN RICE 860-625-0102) OR OWNER AT TIME OF CONSTRUCTION SHALL BE RESPONSIBLE FOR THE SEDIMENT CONTROL MEASURES.

1.2 ESTIMATES OF THE TOTAL AREA OF THE PROJECT SITE AND THE TOTAL AREA OF THE SITE THAT IS EXPECTED TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

THE TOTAL PROJECT AREA IS 48.58 ACRES OF WHICH 7.5± ACRES TOTAL WILL BE DISTURBED TO FACILITATE THE CONSTRUCTION OF THE ROAD, HOMES, DRIVEWAYS AND ESTABLISHMENT OF REASONABLE YARD AREAS. A CONNECTICUT DEEP GENERAL PERMIT SHALL BE REQUIRED.

1.3 THE PLANNED START AND COMPLETION DATES FOR EACH PHASE OF THE PROJECT.

IT IS ANTICIPATED THAT THE PROJECT (PUBLIC IMPROVEMENT PORTION) WILL COMMENCE DURING THE SUMMER OF 2026 AND BE COMPLETED BEFORE THE END OF FALL 2027.

1.4 - WOOD CHIPS, SILT FENCE AND SILT FENCE BACKED WITH HAY BALES FOR STRUCTURAL SUPPORT MAY BE UTILIZED. ALL SILT FENCE SHALL BE MAINTAINED SUCH THAT SEDIMENTS WILL BE REMOVED WHEN REACHING A HEIGHT OF 0.5 FEET. BREACHES IN SILT FENCE SHALL BE REPAIRED IMMEDIATELY. THE SILT FENCE SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCH IN A 24 HOUR PERIOD.

1.5 - STOCKPILE MANAGEMENT WILL BE DONE IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL 2024 GUIDELINES TOPSOIL STOCKPILES WILL BE LOCATED AS DEPICTED ON THE PLANS, AND WILL BE TREATED AS DISTURBED GROUND, I.E.: SURROUNDED BY SILT FENCE, AND SEEDED TO GRASS AFTER ALL THE TOPSOIL TO BE STRIPPED IS PLACED IN THE STOCKPILE. STOCKPILE SLOPES SHALL NOT EXCEED 2:1.

1.6 - TOPSOILING SHALL TAKE PLACE AS AREAS WITHIN THE PROJECT SITE ARE BROUGHT TO GRADE. THE TOPSOIL THAT SHALL BE SPREAD IS OF NATURAL ORIGIN AND WILL BE TAKEN FROM THE TOPSOIL STOCKPILE(S).

1.7 - PERMANENT SEEDING WILL BE DONE AS DISTURBED AREAS ARE BROUGHT TO GRADE AND TOPSOILED AS LONG AS SUCH SEEDING IS DONE BETWEEN APRIL 1 AND JUNE 15 OR AUGUST 15 THROUGH NOVEMBER 15. WITHIN 7 DAYS AFTER TOPSOIL IS APPLIED SEED MIX WILL BE BROADCAST AT THE PRESCRIBED RATE FOR THAT PARTICULAR MIX. THE SELECTED SEED MIX WILL BE FROM THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

MAINTENANCE: THE SEEDBED WILL BE INSPECTED AT LEAST ONCE PER WEEK, AND WITHIN 24 HOURS OF A RAINFALL IN AN AMOUNT EXCEEDING 0.5 INCHES IN 24 HOURS. IN ANY AREAS THAT SUSTAIN DAMAGE, THE TOPSOIL WILL BE REAPPLIED AND SMOOTHED, AND RESEED AS DESCRIBED ABOVE.

1.8 (CONSTRUCTION SEQUENCE). PRIOR TO THE COMMENCEMENT OF MAJOR EARTH DISTURBANCES, THE FOLLOWING SHALL BE IN PLACE AND INSPECTED BY THE TOWN OF LEDYARD ZONING ENFORCEMENT OFFICER.

1.8A - CONSTRUCTION ENTRANCES AS DEPICTED ON PLAN.

1.8B - STAKEOUT LIMITS OF DISTURBANCE ASSOCIATED WITH THE PROPOSED CONSTRUCTION.

CLEAR TREES, CHIP WOOD AND BRUSH. WOOD CHIPS MAY BE TRUCKED OFF SITE OR SAVED FOR USE AS MULCH ON THE PROJECT SITE. INSTALL SILT FENCE/HAYBALES WITH WOOD CHIPS.

1.8C - INSTALL SEDIMENT BARRIERS AS DEPICTED ON THE PLANS.

1.8D - REMOVE STUMPS FROM ROADWAY.

1.8E - STRIP TOPSOIL FROM THE ROADWAY AND STOCKPILE TOPSOIL.

1.8F - GRADE THE ROAD TO ATTAIN THE PLANNED SUBGRADE PROFILE AND GRADE SIDESLOPES TO PLAN.

1.8G - APPLY TOPSOIL AND PERMANENT SEED MIX AND APPLY AND ANCHOR MULCH TO ALL FINISHED SLOPES.

1.8H - INSTALL ALL DRAINAGE FACILITIES STARTING AT THE OUTFALL AND PROCEEDING UPGRAIDENT. THE CONTRACTOR WILL ENSURE THAT ADEQUATE PROTECTION IS PROVIDED AT THE OUTLET OF THE DRAINAGE SYSTEM SO THAT SEDIMENTS WILL BE PREVENTED FROM MIGRATING OFF THE SITE. ON A REGULAR BASIS AND CLEANED AS NEEDED TO MAINTAIN PROPER FUNCTION.

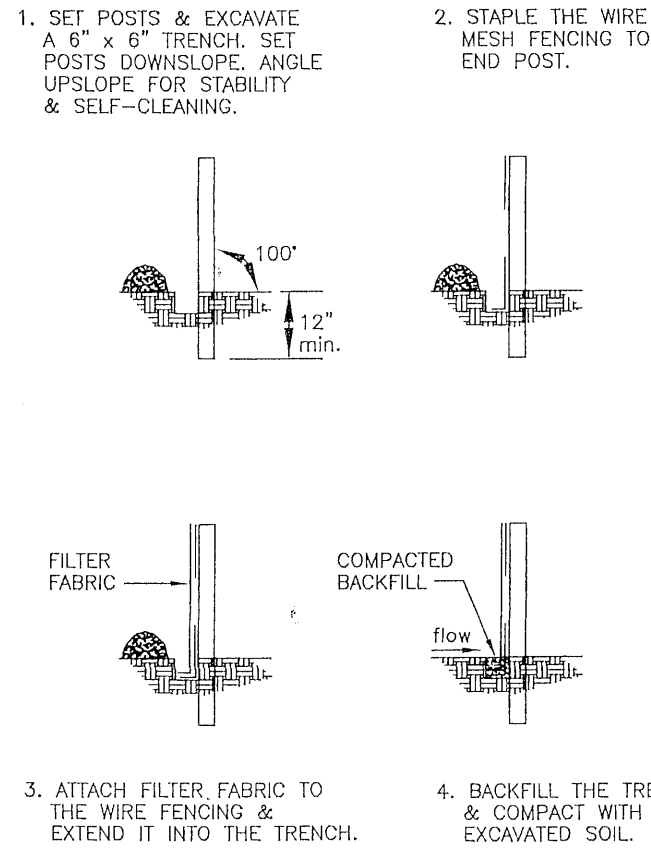
1.8I - PLACE, GRADE AND COMPACT THE SUBGRADE AGGREGATE TO ESTABLISH THE ROADWAY BASE.

1.8J - TOPSOIL AND GRADE ALL SLOPES/DISTURBED AREAS WITHIN 2 FEET OF THE OUTSIDE OF THE PROPOSED CURBS.

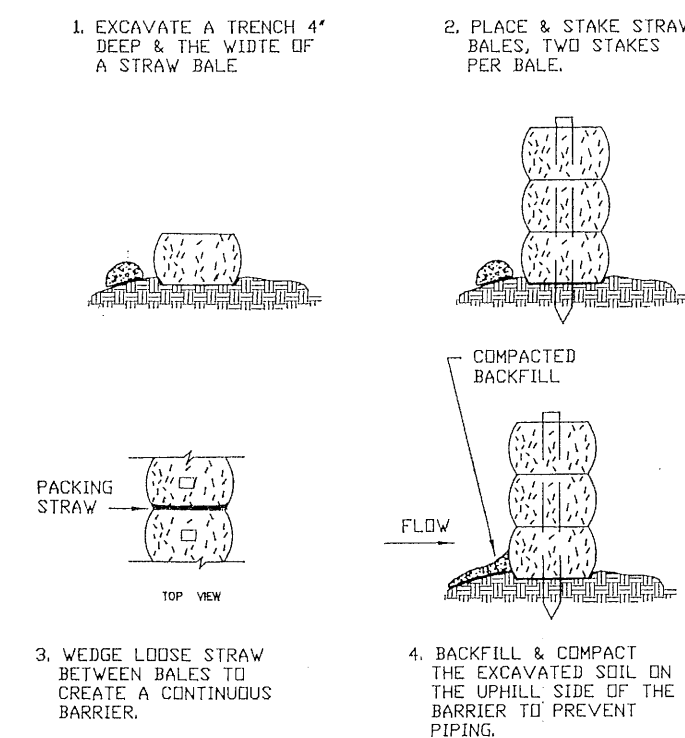
1.8K - LAY DOWN FIRST COURSE OF BITUMINOUS PAVEMENT.

1.8L - INSTALL CURBING.

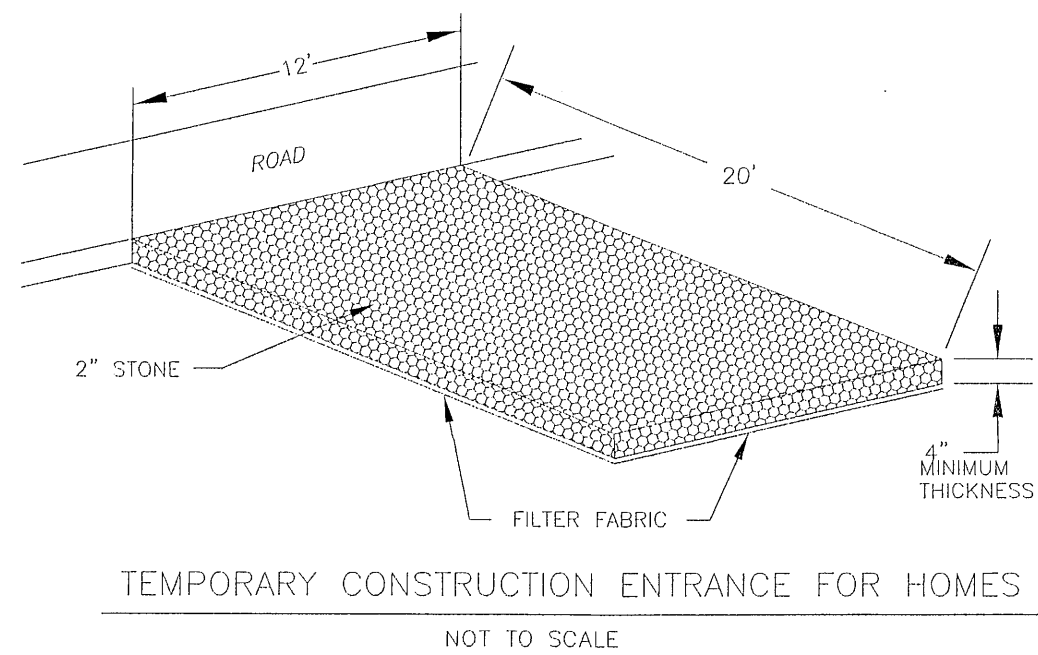
1.8M - APPLY TOP COURSE OF BITUMINOUS PAVEMENT.



FILTER FABRIC SEDIMENT BARRIER
NOT TO SCALE



CONSTRUCTION OF A STRAW BALE BARRIER
NOT TO SCALE

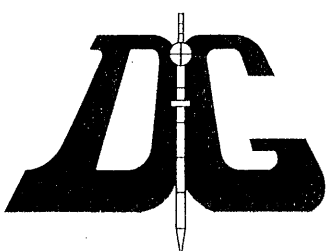


TEMPORARY CONSTRUCTION ENTRANCE FOR HOMES
NOT TO SCALE

PLAN SHOWING
CONSTRUCTION SEQUENCING
EROSION AND SEDIMENT CONTROL
NARRATIVE AND DETAILS
SHEWVILLE HEIGHTS
OPEN SPACE RESUBDIVISION
PROPERTY OF
84 SILAS DEANE LLC
84 SILAS DEANE ROAD
MAP ID 42/2220/84
SHEWVILLE ROAD
AND
58 & 59 SEABURY AVENUE
MAP ID 42/2200/58 & 59
LEDYARD, CONNECTICUT

FEBRUARY 2026

REVISED: MAY 18, 2026
REVISED: JUNE 22, 2026


DIETER & GARDNER
LAND SURVEYORS • PLANNERS
P.O. BOX 335
1641 CONNECTICUT ROUTE 12
GALES FERRY, CT. 06335
(860) 464-7455
EMAIL: DIETER.GARDNER@YAHOO.COM