

_____ FOR _____

C.R. KLEWIN LLC

LOCATION OF SITE:

19, 29 & 39 MILITARY HIGHWAY, TOWN OF LEDYARD

NEW LONDON COUNTY, CONNECTICUT

MAP #91, BLOCK #1590, LOT #19

MAP #91, BLOCK #1590, LOT #29

MAP #91, BLOCK #1590, LOT #39

REFERENCES

BOUNDARY & TOPOGRAPHIC SURVEY:
DIETER & GARDNER
1641 ROUTE 12 GALES FERRY, CT 0633
DATE: 12/23/2021
REVISED: 09/19/2024

GEOTECHNICAL INVESTIGATION REPORT
WHITESTONE ASSOCIATES, INC.
16 OLD FORGE ROAD, ROCKY HILL, CT
DATE: 06/28/2023

ARCHITECTURAL PLAN:
AEPMI
241 MAIN STREET, ANSONIA, CT 06401
DATE: 12/06/2024

* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

REVISIONS

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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	CTA220061.00
DRAWN BY:	CR/TJN/KMB
CHECKED BY:	JGB
DATE:	02/19/2025
CAD I.D.:	CTA220061.00-SPPD-6A

PROJECT:

**PROPOSED SITE
PLAN DOCUMENTS**

FOR _____

**C.R. KLEWIN
LLC**

**PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
CONNECTICUT**

BOHLER//

65 LaSALLE ROAD, SUITE 401
WEST HARTFORD, CT 06107
Phone: (860) 333-8900

www.BohlerEngineering.com



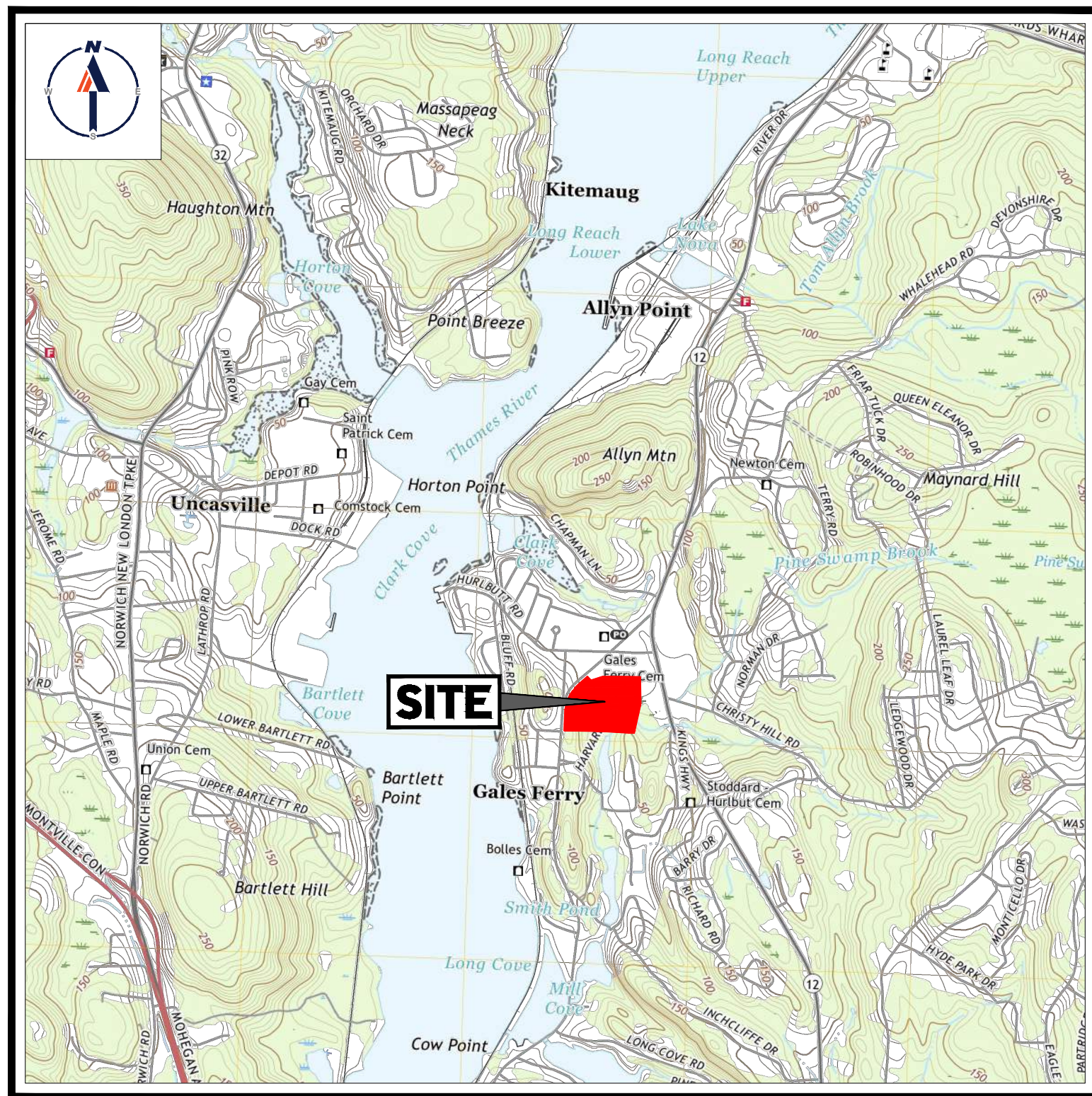
SHEET TITLE:

COVER SHEET

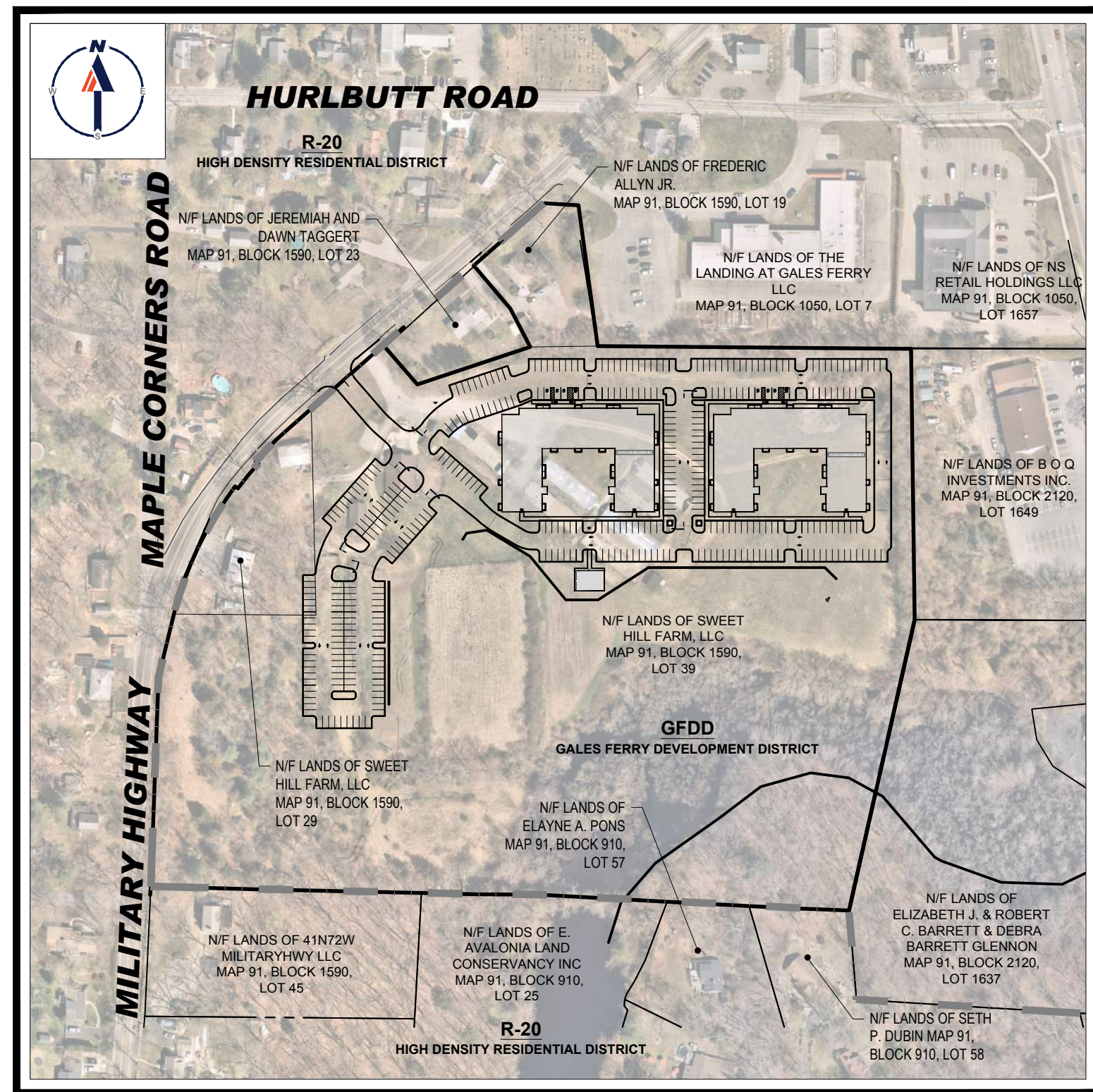
SHEET NUMBER:

C-101

REVISION 1 - 05/20/2025

**USGS MAP**

SCALE: 1" = 2,000'
SOURCE: USGS UNCASVILLE QUADRANGLE



SITE MAP

SCALE: 1" = 200'
SOURCE: 2023 BING AERIAL IMAGERY

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PREPARED BY

BOHLER

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1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THE ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC NOTES.

2. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.

3. WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM CONTROL OF TEMPORARY TRAFFIC CONTROL" (MUTCD) AND ANY OTHER APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, RULES, AND ORDINANCES.

4. THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ALL CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN.

4.1. THE CONTRACTOR MUST MAINTAIN ALL EXISTING RECORD DOCUMENTS AND INFORMATION AND PROVIDE THEM TO THE DESIGNER AND TO THE LOCAL PUBLIC WORKS NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

4.2. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED IN THE DEMOLITION OF EXISTING STRUCTURES, SEQUENCING, TECHNIQUES, AND PROCEDURES ARE TO BE USED IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, AND LOCAL REGULATIONS, RULES, AND ORDINANCES. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE DEMOLITION ACTIVITIES.

5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST MAINTAIN ALL EXISTING STRUCTURES AND IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR MUST PROVIDE ALL REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

6. IN ADDITION TO THE DEMOLITION OF EXISTING STRUCTURES, THE CONTRACTOR, FOR JOB SITE SAFETY OR SUPERVISION, THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.

7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.

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9. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST MAINTAIN ALL EXISTING UTILITIES AND SHALL NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.

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11. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE PROFESSIONAL OF RECORD AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

12. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.

13. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL EROSION IS MINIMIZED.

14. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT ADVANCE OF ANY EXCAVATION.

15. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.

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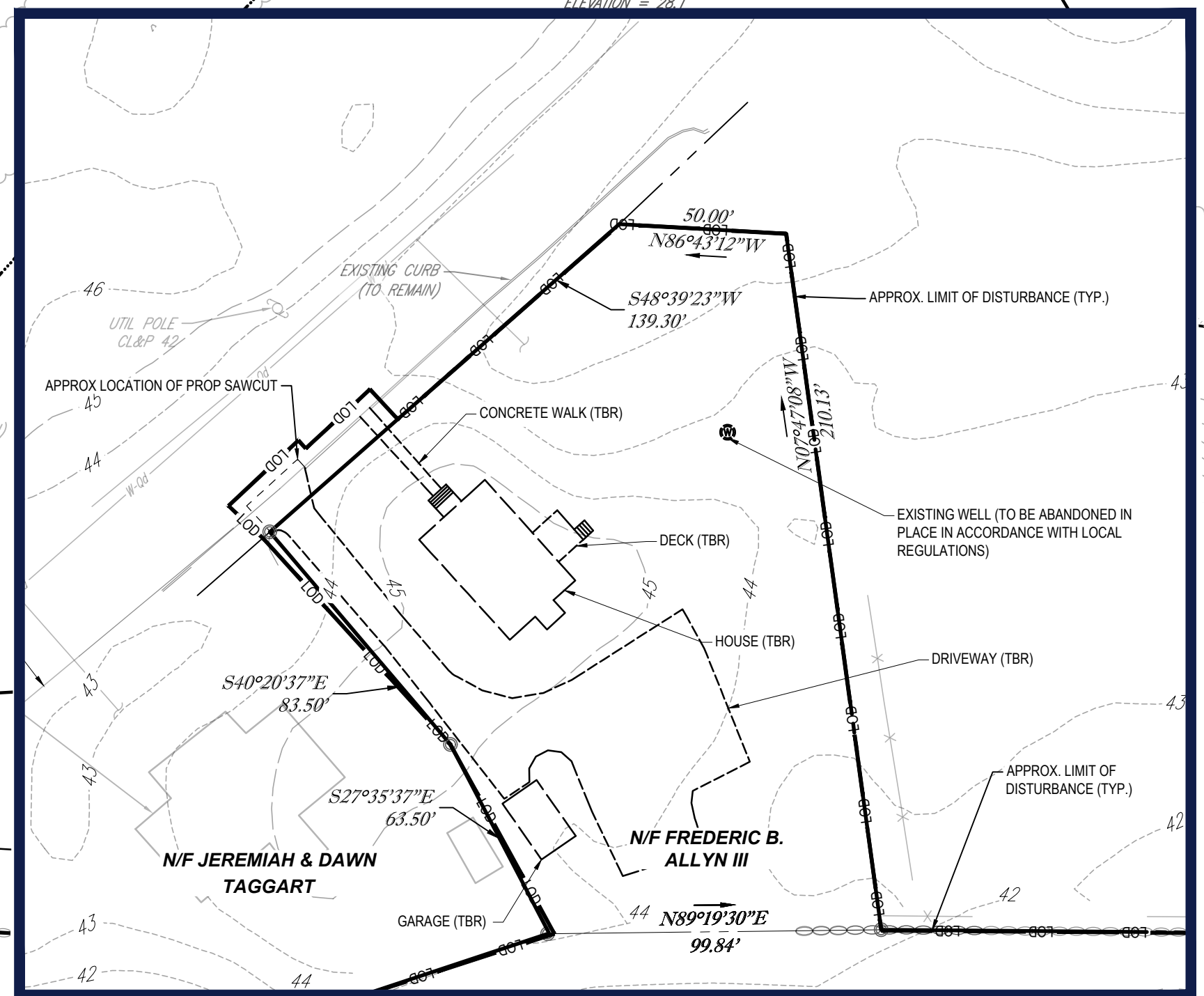
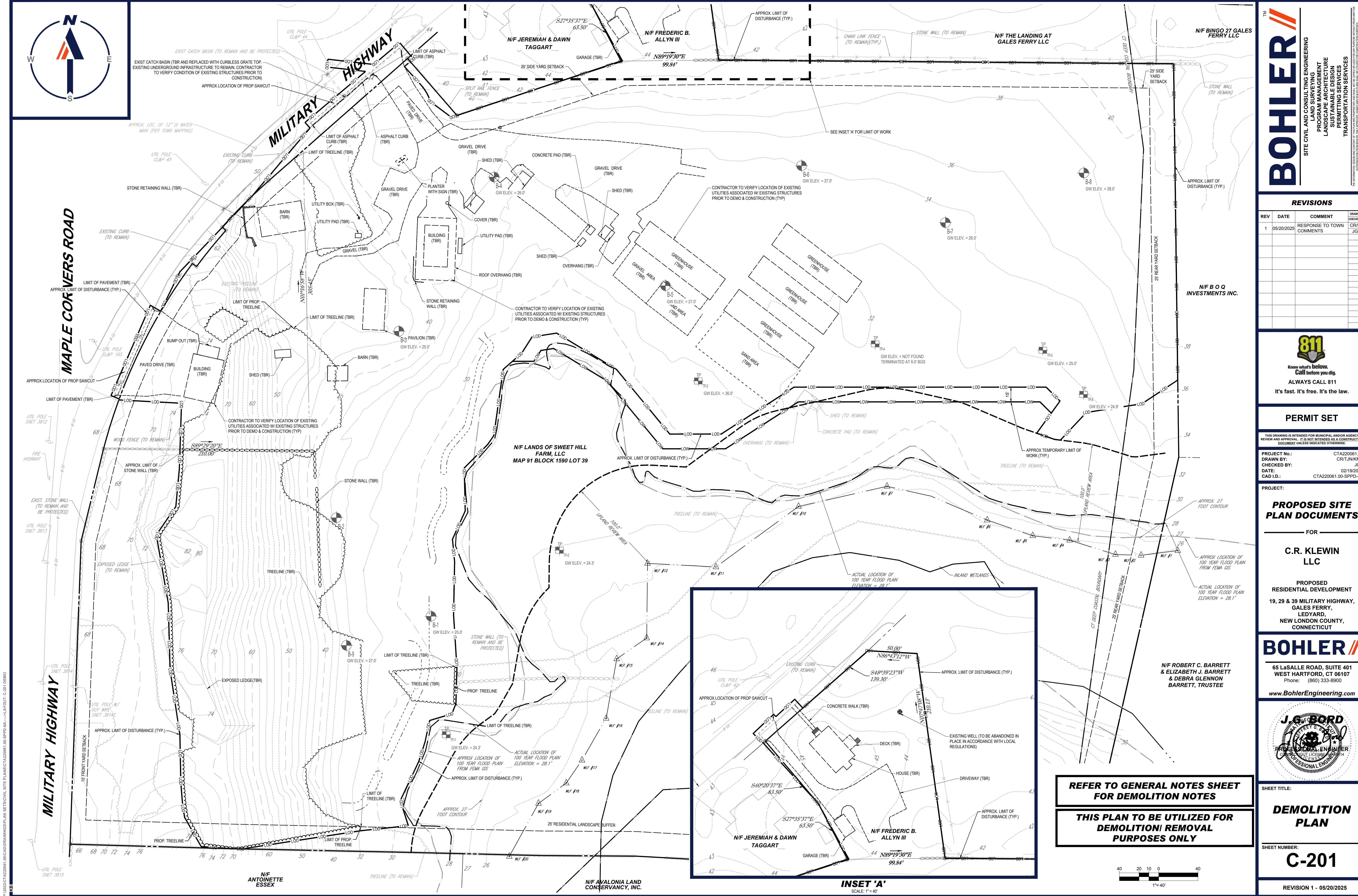
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ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE 42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.	
2.	THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.
3.	THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
3.1.	ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.
3.2.	PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDE A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.
3.3.	ACCESSIBLE RAMP MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDINGS MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERNATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND OTHER REFERENCES INCORPORATED BY CODE).
3.5.	DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST NOT BE FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).
3.6.	WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSING DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.
3.7.	THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING. PRIOR TO POURING CONCRETE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES.
4.	IT IS THE CONTRACTOR'S RESPONSIBILITY THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

ABBREVIATIONS		TYPICAL LINE TYPE LEGEND	
KEY	DESCRIPTION	PROPERTY LINE	EXISTING
AG / ABVG	ABOVE GROUND	ADJACENT PROPERTY LINE	EXISTING
ARCH	ARCHITECT		PROPOSED
BC	BACK OF CURB	RIGHT-OF-WAY LINE	EXISTING
BCC	BITUMINOUS CONCRETE CURB		EXISTING
BM	BENCHMARK	SETBACK OR BUFFER	PROPOSED
BOC	BOTTOM OF CURB		EXISTING
BW	BOTTOM OF WALL	EASEMENT LINE	EXISTING
BLDG	BUILDING		PROPOSED
CC	CONCRETE CURB	WETLAND BOUNDARY	PROPOSED
CCB	CAPE CODE BERM		EXISTING
CONC.	CONCRETE	WETLAND BUFFER	EXISTING
DEC	DECORATIVE		PROPOSED
DEP	DEPRESSED	WATER WAY BOUNDARY	EXISTING
D / DIA	DIAMETER		PROPOSED
DMH	DRAIN MANHOLE	WATERWAY BUFFER	EXISTING
DUH	DUCTILE IRON PIPE		PROPOSED
ECC	EXTRUDED CONCRETE CURB	WETLAND OR WATERWAY FLAG	EXISTING
EOP	EDGE OF PAVEMENT		PROPOSED
ELEV	ELEVATION	RIGHT-OF-WAY CENTER OR BASE LINE	EXISTING
EXIST.	EXISTING		PROPOSED
FF	FINISH FLOOR	APPROX. LIMIT OF WORK OR DISTURBANCE	EXISTING
FFE	FINISH FLOOR ELEVATION		PROPOSED
GC	GENERAL CONTRACTOR	APPROX. SAWCUT LINE	EXISTING
GRTE	GRATE		PROPOSED
HDPE	HIGH DENSITY POLYETHYLENE PIPE	TREE LINE	PROPOSED
HP	HIGH POINT	SURFACE OR SUBSURFACE BASIN	EXISTING
INT	INTERSECTION		PROPOSED
INV	INVERT	OVERHEAD WIRES	PROPOSED
L.S.A.	LANDSCAPE AREA		EXISTING
LDW	LIMIT OF DISTURBANCE	CURBING	EXISTING
LOD	LIMIT OF WORK		PROPOSED
LF	LINEAR FOOT / FEET		EXISTING
LP	LOW POINT	FENCE OR RAILING	PROPOSED
MAX	MAXIMUM		EXISTING
MEX	MECHANICAL, ELECTRICAL, PLUMBING	RETAINING WALL	EXISTING
ME	MEET OR MATCH EXISTING		PROPOSED
MIN	MINIMUM		EXISTING
No. / #	NUMBER	CONTOURS	PROPOSED
+	PLUS OR MINUS		EXISTING
P	POINT OF CURVATURE	SWALE	EXISTING
PI	POINT OF INTERSECTION		PROPOSED
PT	POINT OF INTERFERENCE	BERM	EXISTING
PVI	POINT OF VERTICAL INTERSECTION		PROPOSED
PVC	POLYVINYL CHLORIDE PIPE	RIDGE	EXISTING
PROP.	PROPOSED		PROPOSED
R	RADIUS OR RADII	DRAIN PIPE	EXISTING
REINFC	REINFORCED CONCRETE PIPE		PROPOSED
R.O.W.	RIGHT-OF-WAY	SEWER PIPE	EXISTING
SAN	SANITARY		PROPOSED
SMH	SEWER MANHOLE	SEWER FORCE MAIN	EXISTING
S	SLOPE		PROPOSED
SF	SQUARE FOOT	ELECTRIC	EXISTING
SGC	SLOPED GRANITE CURB		PROPOSED
STA	STATION	TELECOMMUNICATIONS	EXISTING
STM	STORM		PROPOSED
TBR	TO BE REMOVED	CABLE TV	EXISTING
TBR/R	TO BE REMOVED AND REPLACED		PROPOSED
TC	TOP OF CURB	GAS	EXISTING
TF	TOP OF WALL		PROPOSED
TW	TREE PROTECTION FENCE	WATER	EXISTING
TRANS	TRANSITION		PROPOSED
TYPICAL	TYPICAL		
UG / UNGD	UNDERGROUND		
V.I.F.	VERIFY IN FIELD		
VGC	VERTICAL GRANITE CURB		
W	WIDTH		

[illegible]



REFER TO GENERAL NOTES SHEET
FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR
DEMOLITION/ REMOVAL
PURPOSES ONLY

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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	05/20/2025	RESPONSE TO TOWN COMMENTS	CR/KS

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PROJECT No.: CT A220061.00
DRAWN BY: CR/TJ/NK/MB
CHECKED BY: JGB
DATE: 02/19/2025
CAD ID: CT A220061.00-SPPD-6A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

C.R. KLEWIN LLC

PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
CONNECTICUT

BOHLER
65 LaSALLE ROAD, SUITE 401
WEST HARTFORD, CT 06107
Phone: (860) 333-8900
www.BohlerEngineering.com

SHEET TITLE:

DEMOLITION PLAN

SHEET NUMBER:

C-201

REVISION 1 - 05/20/2025

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MAPLE CORNERS ROAD

MILITARY HIGHWAY

SITE INFORMATION

- APPLICANT:
C.R. KLEWIN, LLC
3 JOHNNY CAKE HILL ROAD
OLD LYME, CT 06371
- OWNER:
SWEET HILL FARM LLC
80 BARNES ROAD
STONINGTON, CT 06378
- PARCEL:
MAP 91, LOT 19 & MAP 91, LOT 39
19 & 39 MILITARY HIGHWAY
GALES FERRY, TOWN OF LEDYARD
NEW LONDON COUNTY, CONNECTICUT

ZONING ANALYSIS TABLE

ZONING DISTRICT REQUIRED PERMIT	GFDD (GALES FERRY DEVELOPMENT DISTRICT)		
	PERMIT FROM DEPT.	REQUIRED	EXISTING
MIN. LOT AREA	10,000 SF	825,498 SF (18.9 AC)	NO CHANGE
MIN. LOT WIDTH	100 FT	867 FT	NO CHANGE
MAX. BLDG COVERAGE	N/A	-	6.0%
MIN. FRONT SETBACK	15 FT	-	192.5'
MIN. SIDE SETBACK	25 FT	-	81.4'
MIN. REAR SETBACK	25 FT	-	67.5'
MAX. BUILDING HEIGHT	50 FT (1)	-	65 FT
MAX. IMPER. COVERAGE	70%	-	23.6%
PARKING SPACES	-	-	387 SPACES
ACCESS. PARKING SPACES	8 SPACES	-	8 SPACES
PARKING STALL CRITERIA STANDARD: 9 FT x 18 FT	USE/CATEGORY: REQUIRED PARKING: CALCULATION:	AS DETERMINED BY COMMISSION TBD	
ACCESSIBLE PARKING CRITERIA STANDARD: 10 FT x 18 FT STALL (MIN.) 5 FT x 18 FT AISLE (MIN.) VAN: 8 FT x 18 FT STALL (MIN.) 8 FT x 18 FT AISLE (MIN.)	1-25 SPACES = 1 MIN. ACCESSIBLE SPACE 26-50 SPACES = 2 MIN. ACCESSIBLE SPACES 51-75 SPACES = 3 MIN. ACCESSIBLE SPACES 76-100 SPACES = 4 MIN. ACCESSIBLE SPACES 101-150 SPACES = 5 MIN. ACCESSIBLE SPACES 151-200 SPACES = 6 MIN. ACCESSIBLE SPACES 201-300 SPACES = 7 MIN. ACCESSIBLE SPACES 301-400 SPACES = 8 MIN. ACCESSIBLE SPACES	401-500 SPACES = 9 MIN. ACCESSIBLE SPACES 501-1,000 SPACES = MIN. 2% OF TOTAL 1001+ SPACES = MIN. 2% + 1 FOR EACH 100 SPACES OVER 1,000	1 ACCESSIBLE VAN SPACE PER 6 STANDARD ACCESSIBLE SPACES (MIN.)

(1) - MAX HEIGHT MAY BE INCREASED TO 65 FT FOR MULTI-FAMILY OR MIXED USED BUILDINGS WITH FULL SPRINKLE SYSTEMS; LOCATED IN AREAS WITH FUNCTIONING FIRE HYDRANTS; AND WHERE ALL SIDES OF THE STRUCTURE ARE ACCESSIBLE BY A LADDER FIRE ENGINEER

REVISIONS

REV	DATE	COMMENT	DRAWN BY
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DRAWN BY: CR/TJN/KMB
CHECKED BY: JGB
DATE: 02/19/2025
CAD ID: CTA220061.00-SPPD-6A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

C.R. KLEWIN
LLC

PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
CONNECTICUT

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SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER:

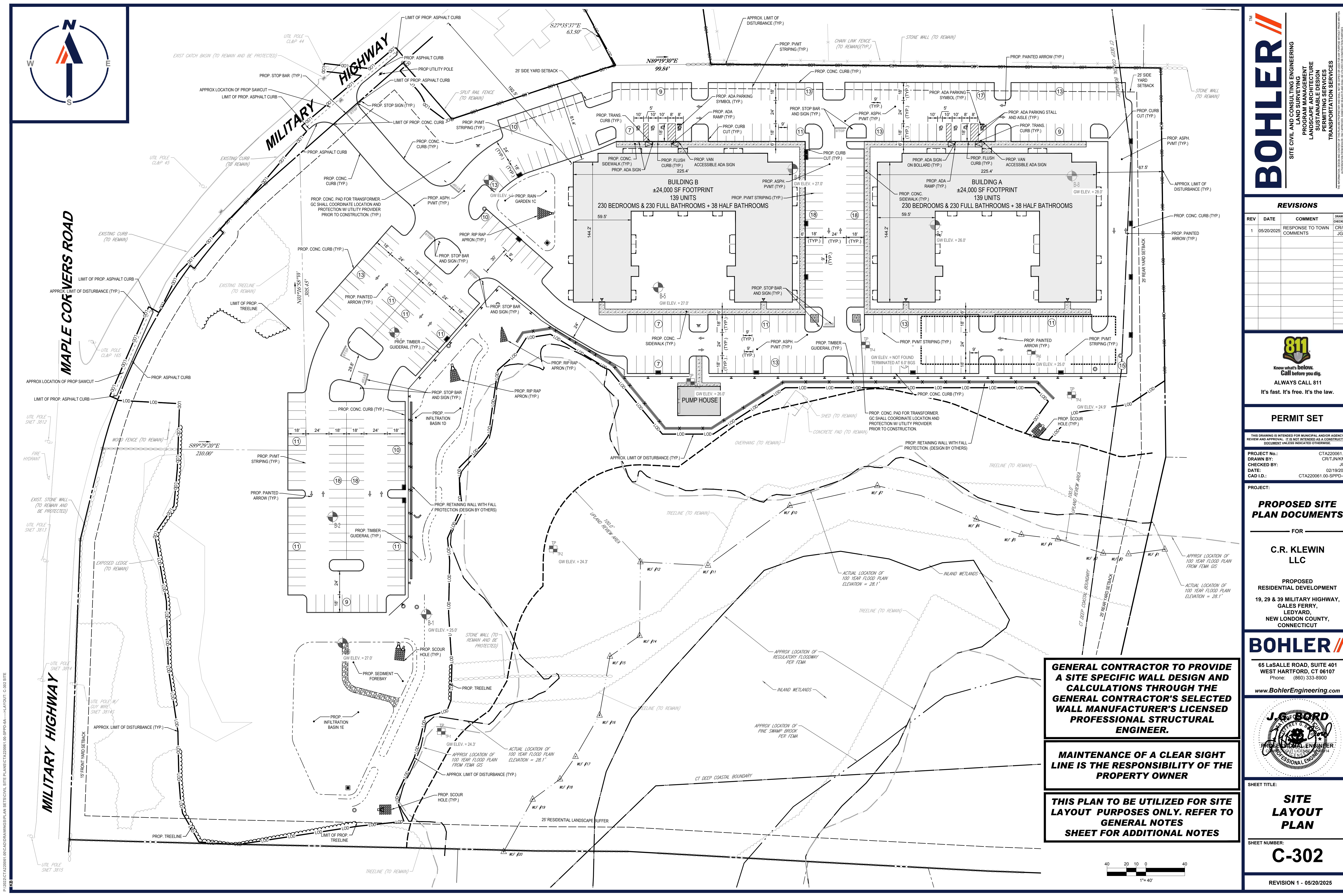
C-301

REVISION 1 - 05/20/2025

APPROVED BY THE LEDYARD PLANNING AND ZONING COMMISSION ON:

CHAIRMAN'S SIGNATURE DATE OF APPROVAL DATE OF EXPIRATION

50 25 12.5 0
1" = 50'



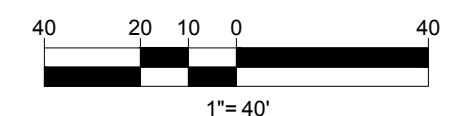
MILITARY HIGHWAY

MAPLE CORNERS ROAD

GENERAL CONTRACTOR TO PROVIDE A SITE SPECIFIC WALL DESIGN AND CALCULATIONS THROUGH THE GENERAL CONTRACTOR'S SELECTED WALL MANUFACTURER'S LICENSED PROFESSIONAL STRUCTURAL ENGINEER.

MAINTENANCE OF A CLEAR SIGHT LINE IS THE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES



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PROJECT No.: CTA220061.00
 DRAWN BY: CR/TJN/KMB
 CHECKED BY: JGB
 DATE: 02/19/2025
 CAD ID: CTA220061.00-SPDP-6A

PROPOSED SITE PLAN DOCUMENTS

FOR

C.R. KLEWIN LLC

PROPOSED RESIDENTIAL DEVELOPMENT
 19, 29 & 39 MILITARY HIGHWAY,
 GALES FERRY,
 LEDYARD,
 NEW LONDON COUNTY,
 CONNECTICUT

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SHEET TITLE:

SITE LAYOUT PLAN

SHEET NUMBER:

C-302

REVISION 1 - 05/20/2025

P:\2022\CTA220061_00\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CTA220061_00-SPDP-6A-LAYOUT C-302 SITE



EXIST CATCH BASIN (TO REMAIN AND BE PROTECTED)

APPROX LOCATION OF PROP SAWCUT

APPROX LIMIT OF DISTURBANCE (TYP.)

SEE INSET 'A' FOR EXTENTS OF LEACHING AREA

APPROX LIMIT OF DISTURBANCE (TYP.)

APPROX LIMIT OF DISTURBANCE (TYP.)

APPROX LOCATION OF PROP SAWCUT

APPROX LIMIT OF DISTURBANCE (TYP.)

APPROX LIMIT OF DISTURBANCE (TYP.)

APPROX LIMIT OF DISTURBANCE (TYP.)

APPROX LIMIT OF DISTURBANCE (TYP.)

APPROX LOCATION OF PROP SAWCUT

APPROX LIMIT OF DISTURBANCE (TYP.)

THIS PLAN TO BE UTILIZED FOR SITE GRADING AND DRAINAGE PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

40 20 10 0 40
1"=40'

INSET 'A'

SCALE: 1"=40'

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DATE: 02/19/2025
CAD ID: CTA220061.00-GDUL-6A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

C.R. KLEWIN LLC

PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
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SHEET TITLE:

GRADING PLAN

SHEET NUMBER:

C-401

REVISION 1 - 05/20/2025



EXIST CATCH BASIN (TO REMAIN AND BE PROTECTED)

APPROX LOCATION OF PROP SAWCUT

APPROX. LIMIT OF DISTURBANCE (TYP.)

25' SIDE YARD SETBACK

25' SIDE YARD SETBACK

25' SIDE YARD SETBACK

25' SIDE YARD SETBACK

25' SIDE YARD SETBACK

25' SIDE YARD SETBACK

25' SIDE YARD SETBACK

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25' SIDE YARD SETBACK

25' SIDE YARD SETBACK

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CHECKED BY: JGB
DATE: 02/19/2025
CAD ID: CTA220061.00-GDUL-6A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

C.R. KLEWIN
LLC

PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
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SHEET TITLE:

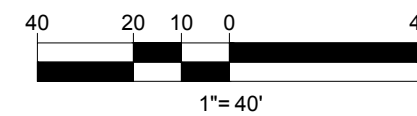
DRAINAGE
PLAN

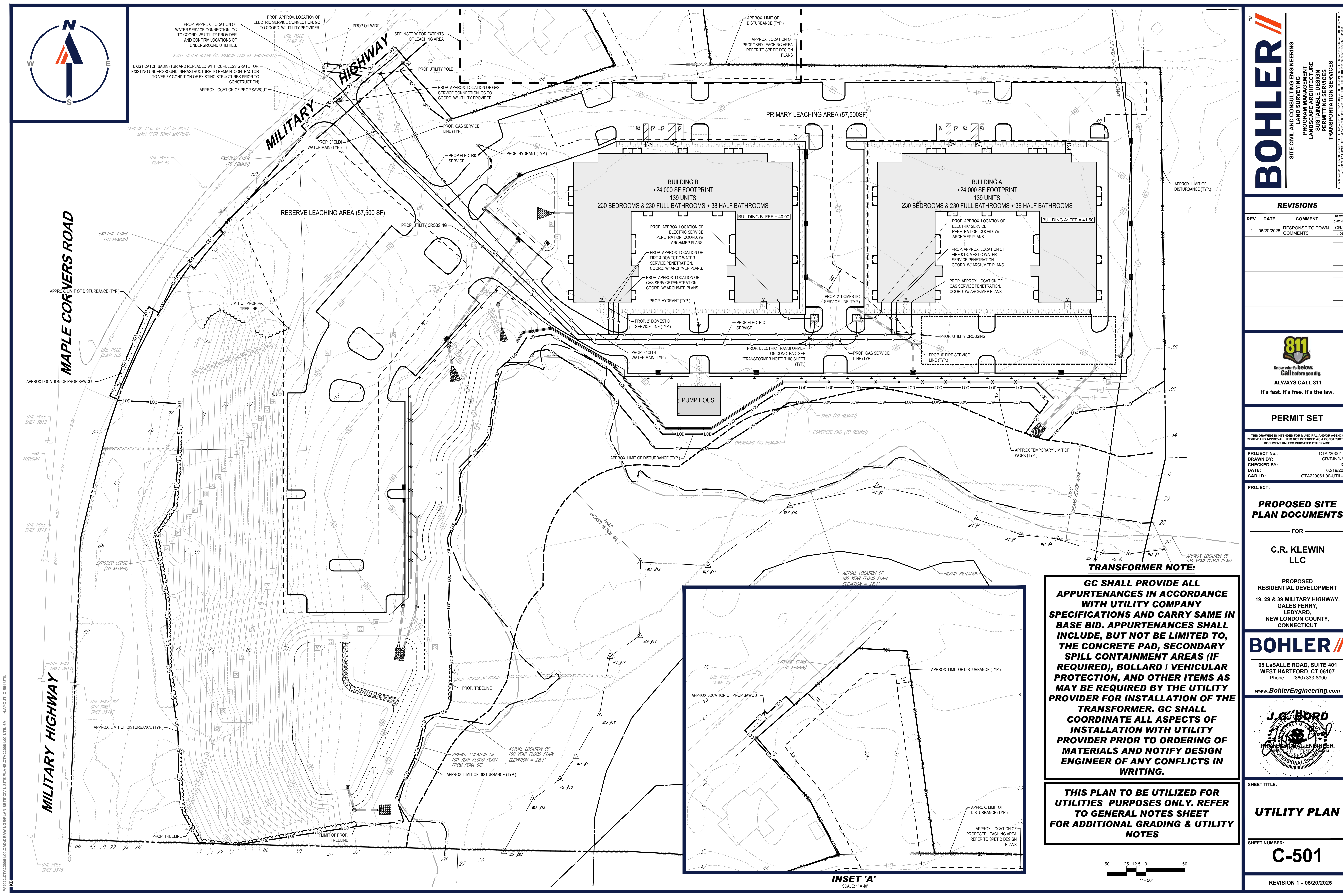
SHEET NUMBER:

C-402

REVISION 1 - 05/20/2025

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GRADING AND DRAINAGE PURPOSES
ONLY. REFER TO GENERAL NOTES
SHEET FOR ADDITIONAL GRADING &
UTILITY NOTES





P:\0222\CTA22061.00\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\CTA22061.00\UTIL-6A-LAYOUT C-501 UTIL-6A

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REVISIONS				
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PROJECT No.: CTA22061.00
DRAWN BY: CR/TJ/NK/MB
CHECKED BY: JGB
DATE: 02/19/2025
CAD ID: CTA22061.00-UTIL-6A

PROPOSED SITE PLAN DOCUMENTS

FOR

C.R. KLEWIN LLC

PROPOSED RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
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J.C. BORD
PROFESSIONAL ENGINEER
LICENSE NO. 14714
EXPIRATION DATE 12/31/2025

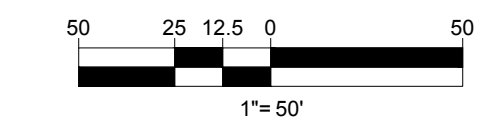
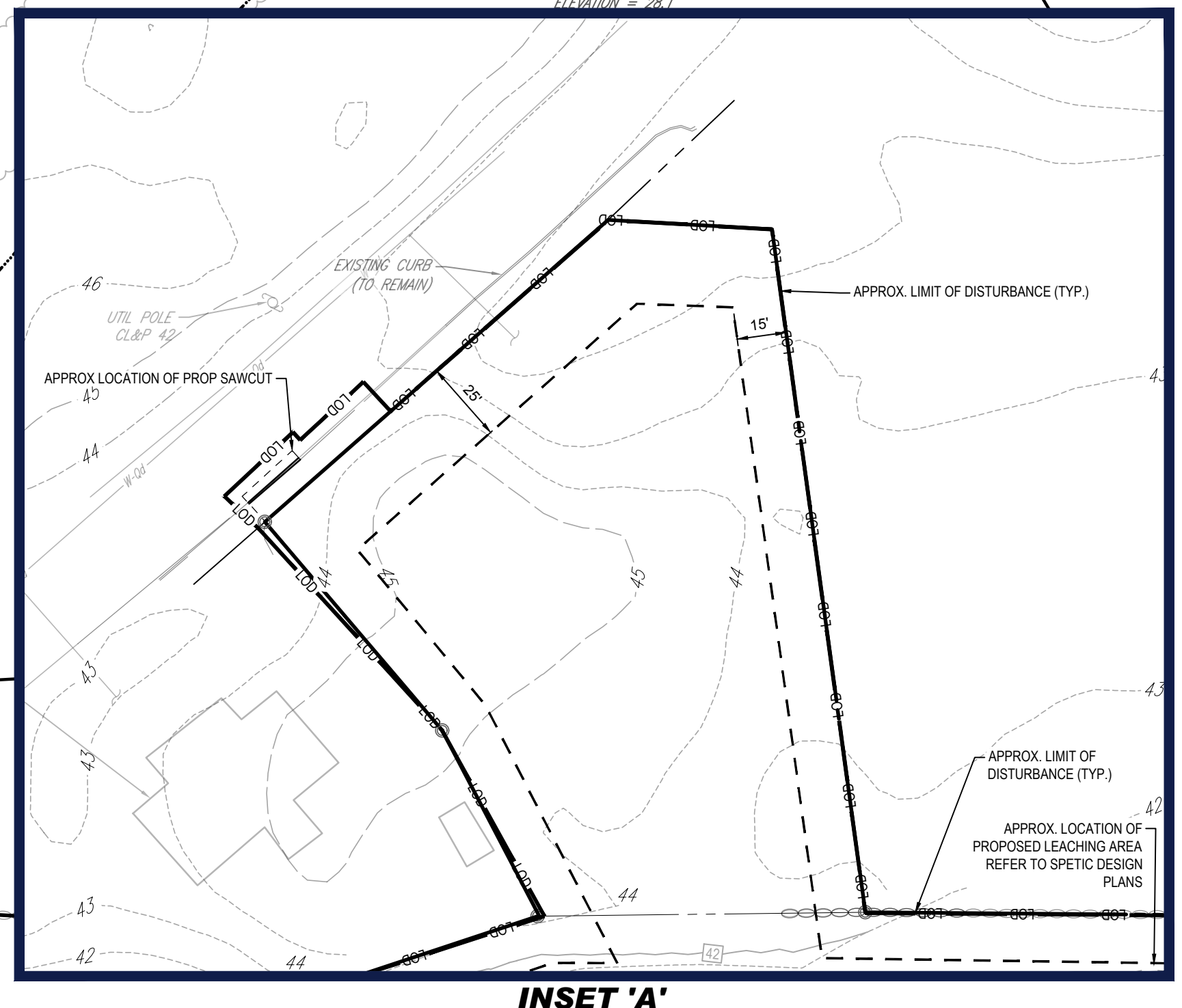
SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-501

REVISION 1 - 05/20/2025

GC SHALL PROVIDE ALL APPURTENANCES IN ACCORDANCE WITH UTILITY COMPANY SPECIFICATIONS AND CARRY SAME IN BASE BID. APPURTENANCES SHALL INCLUDE, BUT NOT BE LIMITED TO, THE CONCRETE PAD, SECONDARY SPILL CONTAINMENT AREAS (IF REQUIRED), BOLLARD / VEHICULAR PROTECTION, AND OTHER ITEMS AS MAY BE REQUIRED BY THE UTILITY PROVIDER FOR INSTALLATION OF THE TRANSFORMER. GC SHALL COORDINATE ALL ASPECTS OF INSTALLATION WITH UTILITY PROVIDER PRIOR TO ORDERING OF MATERIALS AND NOTIFY DESIGN ENGINEER OF ANY CONFLICTS IN WRITING.

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

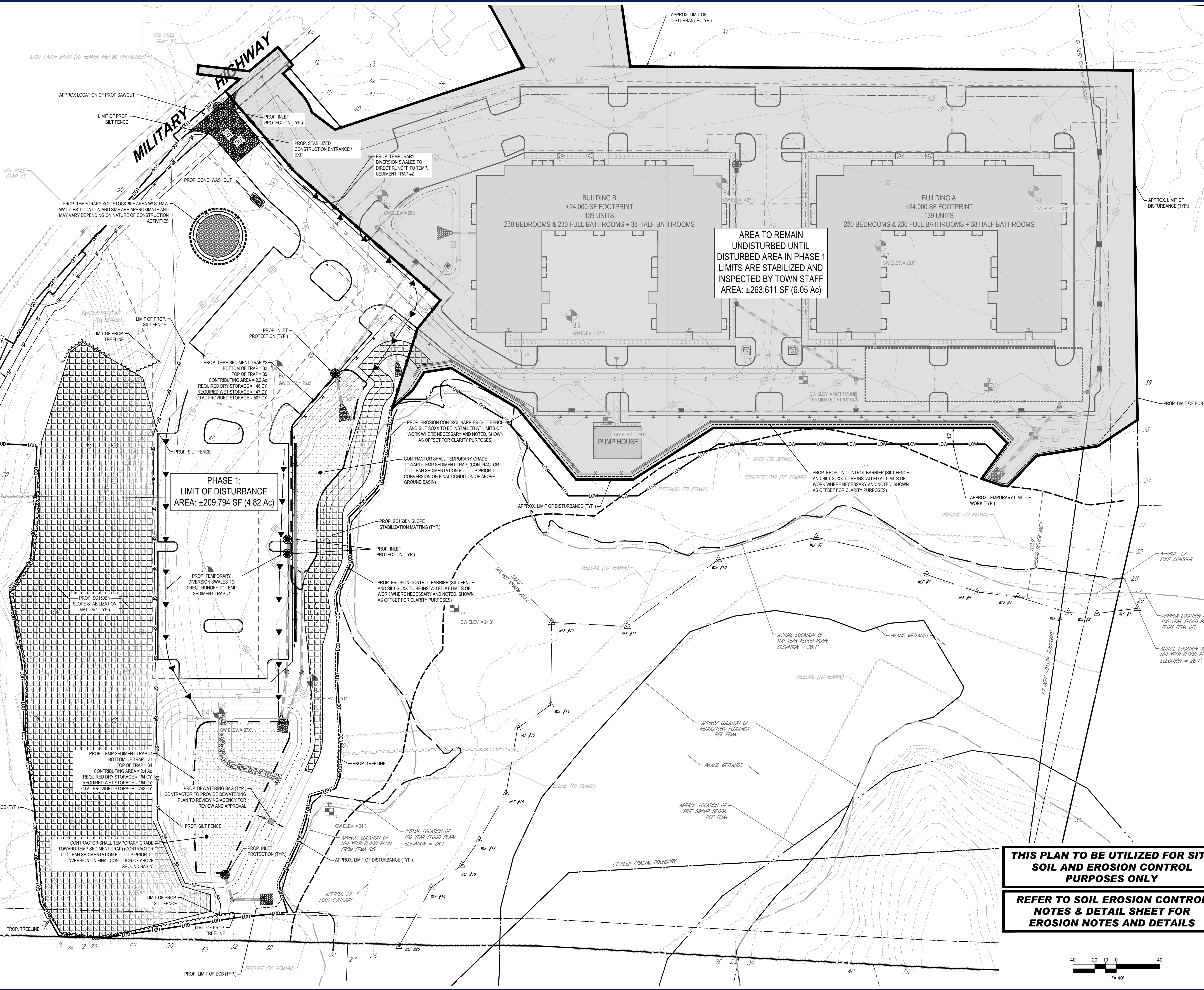




MILITARY HIGHWAY

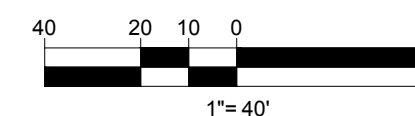
MAPLE CORNERS ROAD

PHASE 1:
LIMIT OF DISTURBANCE
AREA: ±209,794 SF (4.82 Ac)



THIS PLAN TO BE UTILIZED FOR SITE
SOIL AND EROSION CONTROL
PURPOSES ONLY

REFER TO SOIL EROSION CONTROL
NOTES & DETAIL SHEET FOR
EROSION NOTES AND DETAILS



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PROJECT No.: CT220061.00
DRAWN BY: CR/TJN/KMB
CHECKED BY: JGB
DATE: 02/19/2025
CAD ID: CT220061.00-EROS-6A

PROJECT:

**PROPOSED SITE
PLAN DOCUMENTS**

FOR

**C.R. KLEWIN
LLC**

PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
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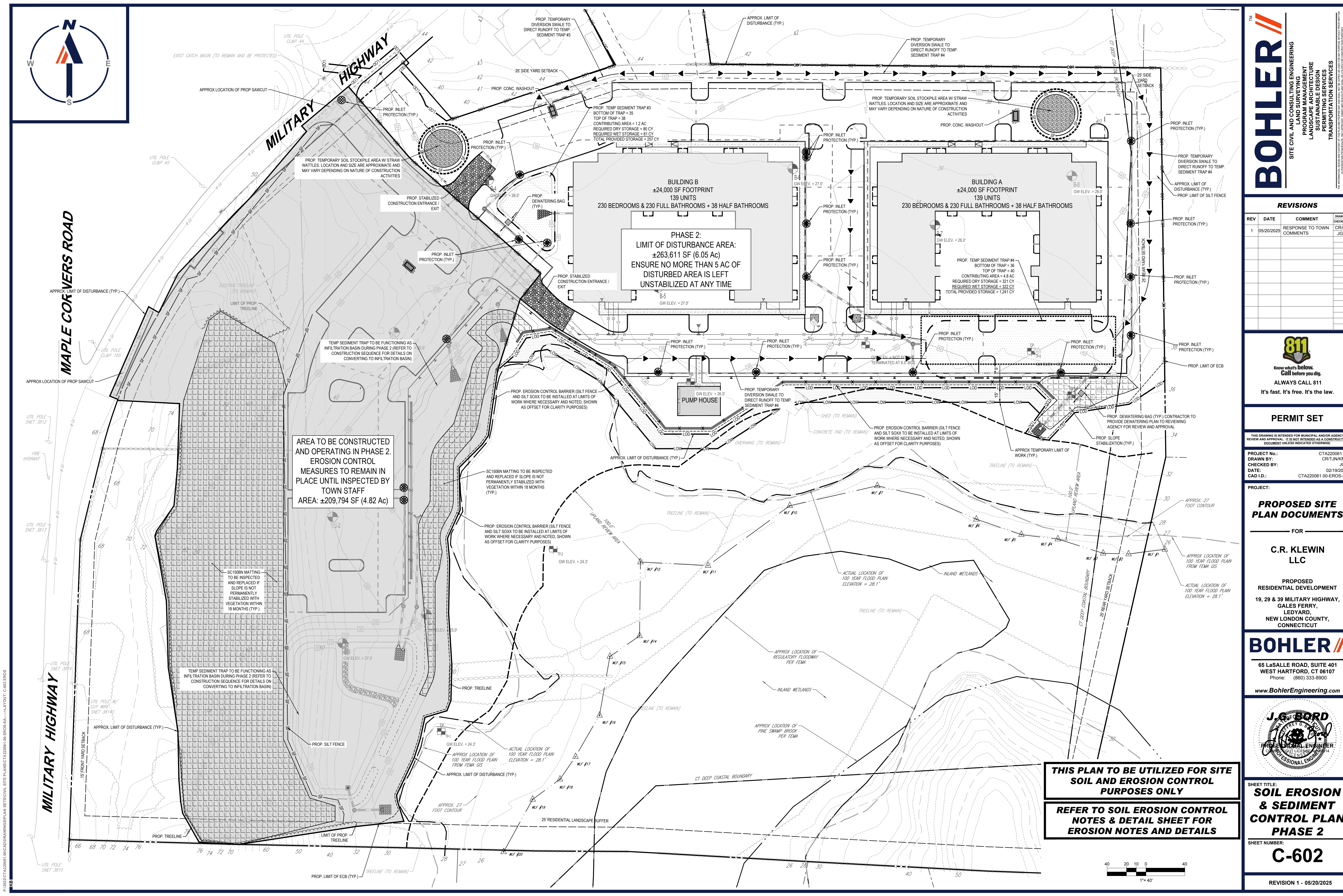
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WEST HARTFORD, CT 06107
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J.C. BORD
PROFESSIONAL ENGINEER
LICENSE NO. 14144
CIVIL ENGINEERING

SHEET TITLE:
**SOIL EROSION
& SEDIMENT
CONTROL PLAN
PHASE 1**

SHEET NUMBER:
C-601

REVISION 1 - 05/20/2025



TM

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SITE CIVIL AND CONSULTING ENGINEERING

PROGRAM MANAGER

LANDSCAPE ARCHITECTURE

SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

REVISIONS			
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1	05/20/2025	RESPONSE TO TOWN COMMENTS	CR/KS
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PROJECT No.: CTA220061.00
DRAWN BY: CRT/JNK/MB
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CAD ID: CTA220061.00-EROS-6A

PROPOSED SITE PLAN DOCUMENTS

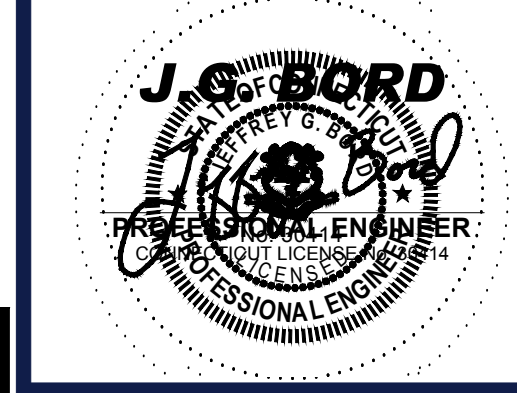
FOR

C.R. KLEWIN LLC

PROPOSED RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY, LEDYARD,
NEW LONDON COUNTY, CONNECTICUT

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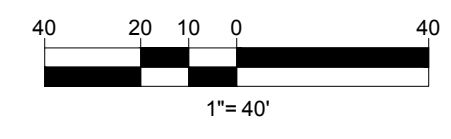
SHEET TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN PHASE 2

SHEET NUMBER:
C-602

REVISION 1 - 05/20/2025

THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS



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P:\2022\CTA220061_00\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CTA220061_00-EROS-6A.....LAYOUT: C-603 ENOTE

KG

EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
 - THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
 - INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
 - ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
 - NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
 - IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
 - TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
 - DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
 - REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LBS PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOD MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOD ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% PERMANENTLY STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS. APPROVAL FROM TOWN STAFF REQUIRED PRIOR TO REMOVAL OF EROSION AND SEDIMENTATION CONTROL MEASURES.
 - WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, BIODEGRADABLE COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
 - TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" AND PROVIDE A MINIMUM STORAGE AREA OF 134 CY PER ACRE OF DRAINAGE AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED EMBANKMENT HEIGHT OF 5 FT. HALF OF THE STORAGE VOLUME SHALL BE IN THE FORM OF WET STORAGE TO PROVIDE A STABLE SETTLING MEDIUM. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
 - STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS NEED TO BE SEEDDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE.
 - EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
 - THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
 - THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.
 - WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
 - WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
 - CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
 - AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
 - FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED. IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
 - MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
 - ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
 - DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OR RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
- THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 10.87 ACRES.
- THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND SOIL STOCKPILES.
 - INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
- INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6 INCHES OR HALF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
- THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS, WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
- THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
- THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
- THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
- THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
- SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.
- THE CONTRACTOR MUST REFERENCE THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

PHASE 1: ANTICIPATED DURATION - 4 to 6 MONTHS

 - PRECONSTRUCTION MEETING WITH ALL PARTIES
 - MARK CLEARING LIMIT LINE; TOWN OF LEDYARD STAFF TO INSPECT
 - INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (SEE SHEET C-601)
 - INSTALLATION OF PERIMETER EROSION CONTROL BARRIERS (STRAW BALES, SILT FENCE, COMPOST FILTER SOCK) WITHIN THE LIMIT OF DISTURBANCE AS INDICATED ON THE PLAN (SEE SHEET C-601)
 - INSTALLATION OF INLET PROTECTION IN STREET (SEE SHEET C-601)
 - DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
 - DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
 - CLEARING AND GRUBBING IN AREAS DESIGNATED AS BEING REMOVED AS NECESSARY TO INSTALL TEMPORARY SWALES AND SEDIMENT TRAPS (SEE SHEET C-601)
 - INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS (SEE SHEET C-601)
 - DEWATERING NEEDS ARE EXPECTED ON SITE. INSTALLATION OF DEWATERING BAGS PER PLAN (SEE SHEET C-601). THE USE OF THESE DEWATERING MEASURES IS DEPENDENT UPON SPECIFIC SITE CONDITIONS. IT SHOULD BE RECOGNIZED THAT ANY DEWATERING PLAN TYPICALLY NEEDS TO BE MODIFIED DUE TO UNFORESEEN SITE CONDITIONS OR ALTERNATE METHODS AVAILABLE TO THE CONTRACTOR.
 - INITIATE THE NECESSARY EARTHWORK TO REACH GRADES INDICATED ON THE PLANS. TEMPORARILY STABILIZE ANY AREAS WITH SEEDING OR MULCH AS DETAILED IN THESE PLANS WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK IN DISTURBED AREAS WHERE THE SUSPENSION OF WORK IS EXPECTED TO BE MORE THAN 30 DAYS BUT LESS THAN 1 YEAR.
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH SC150 BN EROSION CONTROL BLANKET ON SLOPES OF 3:1 OR GREATER AND TEMPORARY SEEDING (SEE SHEET C-601).
 - INSTALLATION OF RETAINING WALL.
 - INSTALLATION OF UTILITIES BUT NOT LIMITED TO STORMWATER TO BE INSTALLED IN A DOWNSTEAM TO UPSTREAM MANNER. (SEE SHEET C-602)
 - INSTALLATION OF INLET PROTECTION ON-SITE UTILITIES (SEE SHEET C-601)
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
 - REMOVAL OF THE TEMPORARY SEDIMENT TRAPS IN ACCORDANCE WITH THE 2024 CT EROSION AND SEDIMENT CONTROL GUIDELINES. THE TEMPORARY SEDIMENT TRAP MUST BE MODIFIED TO PREPARE IT FOR LONG-TERM USE INCLUDING: AT A MINIMUM, REMOVAL OF ANY ACCUMULATED SEDIMENTS, RESTORATION OF THE PRE-CONSTRUCTION INFILTRATION CAPACITY OF THE UNDERLYING SOILS, AND OTHER STRUCTURAL MODIFICATIONS IN ACCORDANCE WITH THE BMP-SPECIFIC DESIGN GUIDANCE IN THE CONNECTICUT STORMWATER QUALITY MANUAL, AS AMENDED.
 - PAVE PARKING LOT
 - LANDSCAPING PER LANDSCAPING PLAN
 - CLEAR SITE OF DEBRIS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER, AND ONCE THE SITE HAS BEEN INSPECTED BY THE TOWN OF LEDYARD STAFF.

OPERATION AND MAINTENANCE

- MAINTENANCE REQUIREMENTS OF MEASURES DURING CONSTRUCTION OF PROJECT
 - THE SPECIFIC EROSION AND SEDIMENTATION CONTROL MEASURES, WHICH INCLUDE A BARRIER OF TRENCHED SILTATION FENCE, STAKED HAY BALES, AND INLET PROTECTION WILL, THROUGHOUT ALL PHASES OF CONSTRUCTION, SHALL BE INSPECTED (IN ADDITION TO THE INTERVALS EXPLAINED ABOVE) AT THE END OF EACH WORKDAY IF PRECIPITATION IS FORECAST AND AFTER EACH RAINFALL. AT THE END OF EACH WORKWEEK, PRIOR TO WEEKENDS, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED.
 - THROUGHOUT THE CONSTRUCTION PROCESS, EXTRA STOCKS OF HAY BALES AND SILTATION FENCING WILL BE KEPT ON-SITE TO REPLACE THOSE THAT BECOME DAMAGED AND/OR DETERIORATED.
 - AREAS, WHICH ARE MULCHED OR SEEDDED FOR TEMPORARY VEGETATIVE COVER, WILL BE INSPECTED FOR PROPER COVER AT THE END OF EACH WORKDAY IF PRECIPITATION IS FORECAST AND ALSO PRIOR TO WEEKENDS. CONTRACTOR SHALL KEEP PAVING CLAY AT ALL TIMES. ADDITIONAL SEEDING OR MULCH WILL BE PLACED AS NECESSARY.
 - TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS WILL NOT BE REMOVED UNTIL ALL STORMWATER DRAINAGE SYSTEM COMPONENTS ARE IN PLACE, CLEANED AND WORKING PROPERLY AND UNTIL PERMANENT VEGETATIVE COVER AND OTHER STABILIZATION MEASURES ARE ESTABLISHED.
- MAINTENANCE REQUIREMENTS OF PERMANENT MEASURES AFTER PROJECT COMPLETION.
 - POTENTIAL LONG-TERM EROSION AND SEDIMENTATION IMPACTS WILL BE CONTROLLED BY THE USE OF THE BMP'S ON-SITE. THE STORMWATER MANAGEMENT SYSTEM WAS DESIGNED TO CONTROL THE PEAK RATE OF RUNOFF AND THE OUTLETS OF THE STORMWATER COLLECTION SYSTEMS HAVE BEEN DESIGNED TO DISSIPATE AND DISPERSE THE RUNOFF AND PREVENT SCOURING OF THE RECEIVING AREA.
- OPERATION AND MAINTENANCE PLAN:
 - ALL STORMWATER COMPONENTS SHOULD BE CHECKED PERIODICALLY IN A MAINTENANCE LOG AND KEPT IN FULL WORKING ORDER. ULTIMATELY, THE REQUIRED FREQUENCY OF INSPECTION AND SERVICE WILL DEPEND ON RUNOFF QUANTITIES, POLLUTANT LOADING, AND CLOGGING DUE TO DEBRIS. AT A MINIMUM, WE RECOMMEND THAT ALL STORMWATER COMPONENTS BE INSPECTED AND SERVICED TWICE PER YEAR, ONCE BEFORE WINTER BEGINS AND ONCE DURING SPRING CLEANUP.
 - SWEEPING WILL BE COMPLETED AT LEAST SEMIANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL), OR MORE FREQUENTLY IF ACCUMULATED PARTICULATE MATTER IS OBSERVED.
 - CATCH BASIN SUMPS WILL BE INSPECTED SEMIANNUALLY AND CLEANED WHEN SEDIMENT IS WITHIN 12 INCHES OF THE OUTLET INVERT OR HALF THE SUMP DEPTH.
 - MANHOLES/JUNCTION BOXES SHALL BE INSPECTED AND REPAIRED ON AN ANNUAL BASIS.
 - DRAINAGE PIPING UNLESS SYSTEM PERFORMANCE INDICATES DEGRADATION OF PIPING, COMPREHENSIVE VIDEO INSPECTION OF STORM DRAINAGE PIPING SHOULD OCCUR ONCE EVERY TEN YEARS.
 - CONTROL STRUCTURES (ORIFICE, WEIR, ETC.) SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS AT THE COMPLETION OF CONSTRUCTION. ANY REPAIRS SHALL BE PERFORMED. FOR THE FIRST YEAR, CONTROL STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS, THEN TWICE PER YEAR AFTER THE SECOND YEAR (ONCE IN THE SPRING AND ONCE IN THE FALL, AFTER FALL CLEANUP OF LEAVES HAS OCCURRED).
 - GRASS SWALES WILL BE INSPECTED AT LEAST SEMIANNUALLY AND CLEANED OF SEDIMENT/DEBRIS AS NECESSARY.
 - HYDRODYNAMIC SEPARATORS SHALL BE COMPLETELY CLEANED OF ACCUMULATED DEBRIS AND SEDIMENTS AT THE COMPLETION OF CONSTRUCTION. FOR THE FIRST YEAR, THE HYDRODYNAMIC SEPARATOR SHALL BE INSPECTED ON A QUARTERLY BASIS, THEN TWICE PER YEAR AFTER THE SECOND YEAR.
 - DRAINAGE OUTFALLS/SPLASH PADS/SCOUR HOLES/LEVEL SPREADERS WILL BE INSPECTED ON A QUARTERLY BASIS FOR THE FIRST YEAR THEN TWICE PER YEAR AFTER THE SECOND YEAR. ANY EROSION SHALL BE REPAIRED, AND THE CAUSE OF EROSION SHALL BE IDENTIFIED AND CORRECTED.
 - DEWATERING BAGS SHALL BE INSPECTED CONTINUOUSLY DURING USE. CARE SHOULD BE TAKEN TO PROPERLY MONITOR PERFORMANCE TO ENSURE THAT PUMP RATES OR CONCENTRATIONS OF SEDIMENT ARE NOT EXCESSIVE. ONCE THE SEDIMENT TANK OR SEDIMENT BAGS HAVE REACHED THEIR MAXIMUM CAPACITY TO RETAIN SEDIMENTS, THESE UNITS SHALL BE TAKEN OFFLINE AND ANY RETAINED SEDIMENTS SHALL BE DISPOSED OF PROPERLY.
 - INFILTRATION BASINS REQUIRE PREVENTATIVE MAINTENANCE AFTER EVERY MAJOR STORM EVENT DURING THE FIRST THREE (3) MONTHS OF OPERATION AND AT LEAST TWICE PER YEAR THEREAFTER. INSPECT STRUCTURE AND PRETREATMENT BMP TO ENSURE PROPER OPERATION AFTER EVERY MAJOR STORM EVENT (GENERALLY EQUAL OR GREATER TO 3.0 INCHES IN 24 HOURS) FOR THE FIRST THREE MONTHS. MOW THE BUFFER AREA, SIDE SLOPES AND BASIN BOTTOM IF GRASSSED FLOOR, RAKE IF STONE OR SAND BOTTOM, REMOVE TRASH AND DEBRIS, REMOVE GRASS CLIPPINGS AND ACCUMULATED ORGANIC MATTER. ANY SEDIMENT REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, FEDERAL, AND OTHER APPLICABLE REQUIREMENTS.
 - INFILTRATION CHAMBERS REQUIRE PREVENTATIVE MAINTENANCE AFTER EVERY MAJOR STORM EVENT DURING THE FIRST THREE (3) MONTHS OF OPERATION AND AT LEAST TWICE PER YEAR THEREAFTER. INSPECT STRUCTURE AND PRETREATMENT BMP TO ENSURE PROPER OPERATION AFTER EVERY MAJOR STORM EVENT (GENERALLY EQUAL OR GREATER TO 3.0 INCHES IN 24 HOURS) FOR THE FIRST THREE MONTHS. THE OUTLET OF THE BASIN, IF ANY, SHALL BE INSPECTED FOR EROSION AND SEDIMENTATION, AND RIP-RAP SHALL BE PROMPTLY REPAIRED IN THE CASE OF EROSION. SEDIMENT COLLECTING IN THE BOTTOM OF THE BASIN SHALL BE INSPECTED TWICE ANNUALLY, AND REMOVAL SHALL COMMENCE ANY TIME THE SEDIMENT REACHES A DEPTH OF SIX INCHES ANYWHERE IN THE BASIN. ANY SEDIMENT REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, FEDERAL, AND OTHER APPLICABLE REQUIREMENTS.
 - RAIN GARDEN SHALL BE INSPECTED AND CLEARED OF TRASHED MONTHLY, MOWED 2 TO 12 TIMES PER YEAR, MULCHED ANNUALLY, FERTILIZED ANNUALLY, DEAD VEGETATION REMOVED ANNUALLY, PRUNED ANNUALLY, REPLACE ENTIRE MEDIA AND ALL VEGETATION AS NEEDED. ANY SEDIMENT REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, FEDERAL, AND OTHER APPLICABLE REQUIREMENTS.

EROSION CONTROL NARRATIVE

- PURPOSE
 - THE PROPOSED WORK WILL CONSIST OF CONSTRUCTION NECESSARY TO BUILD A MULTI-FAMILY DEVELOPMENT WITH ALL ASSOCIATED PARKING, LANDSCAPING, UTILITIES, AND ACCESSORY STRUCTURES.
- DISTURBANCE
 - THE PROPOSED PROJECT WILL DISTURB APPROXIMATELY 10.87 ACRES OF LAND.
- SITE SPECIFIC CONCERNS
 - PREVENTION OF POLLUTION AND SEDIMENT ENTERING DOWNSTREAM WATERCOURSE(S) BY MEANS OF INFILTRATION BASINS AND STORMWATER QUALITY UNITS BEFORE ENTERING THE WETLANDS.
- CONSTRUCTION PHASING SHALL BE COMPLETED IN TWO PHASES AS INDICATED IN THE RECOMMENDED CONSTRUCTION SEQUENCE
- CONSTRUCTION SCHEDULE (SUBJECT TO CHANGE DEPENDING ON MARKETS, FINANCING, PERMIT APPROVALS AND WEATHER CONDITIONS)
 - THE ANTICIPATED CONSTRUCTION START IS SPRING OF 2026, WITH COMPLETION ANTICIPATED 18 TO 24 MONTHS AFTER THE START DATE.
- 1.1.
- OTHER POSSIBLE LOCAL, STATE AND FEDERAL PERMITS REQUIRED PERMITS
 - CTDEEP CONSTRUCTION STORMWATER GENERAL PERMIT
 - TOWN OF LEDYARD PLANNING AND DEVELOPMENT APPROVALS
 - CTDPH SUBSURFACE SEWAGE DISPOSAL SYSTEM APPROVALS
 - OSTA MAJOR TRAFFIC GENERATOR CERTIFICATE
- CONSERVATION PRACTICES
 - CONSERVATION PRACTICES INCLUDE LIMITING THE SCOPE OF THE PROJECT TO MINIMIZE ACTIVITIES WHICH REQUIRE BARE SOILS TO BE EXPOSED. 10.87 ACRES OF LAND DISTURBANCE IS PROPOSED FOR THIS PROJECT.
- SUPPORT DOCUMENTS
 - DRAINAGE REPORT, GEOTECH REPORT, SEPTIC DESIGN PLANS
 - PERSON RESPONSIBLE FOR MAINTENANCE DURING CONSTRUCTION OF PROJECT TBD. CONTRACTOR OR PERSON TO BE SELECTED AND SHALL BE NAMED PRIOR TO PRECONSTRUCTION MEETING

- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED.
- PHASE 1: ANTICIPATED DURATION - 4 to 6 MONTHS
- PRECONSTRUCTION MEETING WITH ALL PARTIES
 - MARK CLEARING LIMIT LINE; TOWN OF LEDYARD STAFF TO INSPECT
 - INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (SEE SHEET C-601)
 - INSTALLATION OF PERIMETER EROSION CONTROL BARRIERS (STRAW BALES, SILT FENCE, COMPOST FILTER SOCK) WITHIN THE LIMIT OF DISTURBANCE AS INDICATED ON THE PLAN (SEE SHEET C-601)
 - INSTALLATION OF INLET PROTECTION IN STREET (SEE SHEET C-601)
 - DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
 - DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
 - CLEARING AND GRUBBING IN AREAS DESIGNATED AS BEING REMOVED AS NECESSARY TO INSTALL TEMPORARY SWALES AND SEDIMENT TRAPS (SEE SHEET C-601)
 - INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS (SEE SHEET C-601)
 - DEWATERING NEEDS ARE EXPECTED ON SITE. INSTALLATION OF DEWATERING BAGS PER PLAN (SEE SHEET C-601). THE USE OF THESE DEWATERING MEASURES IS DEPENDENT UPON SPECIFIC SITE CONDITIONS. IT SHOULD BE RECOGNIZED THAT ANY DEWATERING PLAN TYPICALLY NEEDS TO BE MODIFIED DUE TO UNFORESEEN SITE CONDITIONS OR ALTERNATE METHODS AVAILABLE TO THE CONTRACTOR.
 - INITIATE THE NECESSARY EARTHWORK TO REACH GRADES INDICATED ON THE PLANS. TEMPORARILY STABILIZE ANY AREAS WITH SEEDING OR MULCH AS DETAILED IN THESE PLANS WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK IN DISTURBED AREAS WHERE THE SUSPENSION OF WORK IS EXPECTED TO BE MORE THAN 30 DAYS BUT LESS THAN 1 YEAR.
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH SC150 BN EROSION CONTROL BLANKET ON SLOPES OF 3:1 OR GREATER AND TEMPORARY SEEDING (SEE SHEET C-601).
 - INSTALLATION OF RETAINING WALL.
 - INSTALLATION OF UTILITIES BUT NOT LIMITED TO STORMWATER TO BE INSTALLED IN A DOWNSTEAM TO UPSTREAM MANNER. (SEE SHEET C-602)
 - INSTALLATION OF INLET PROTECTION ON-SITE UTILITIES (SEE SHEET C-601)
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
 - REMOVAL OF THE TEMPORARY SEDIMENT TRAPS IN ACCORDANCE WITH THE 2024 CT EROSION AND SEDIMENT CONTROL GUIDELINES. THE TEMPORARY SEDIMENT TRAP MUST BE MODIFIED TO PREPARE IT FOR LONG-TERM USE INCLUDING: AT A MINIMUM, REMOVAL OF ANY ACCUMULATED SEDIMENTS, RESTORATION OF THE PRE-CONSTRUCTION INFILTRATION CAPACITY OF THE UNDERLYING SOILS, AND OTHER STRUCTURAL MODIFICATIONS IN ACCORDANCE WITH THE BMP-SPECIFIC DESIGN GUIDANCE IN THE CONNECTICUT STORMWATER QUALITY MANUAL, AS AMENDED.
 - PAVE PARKING LOT
 - LANDSCAPING PER LANDSCAPING PLAN
 - CLEAR SITE OF DEBRIS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER, AND ONCE THE SITE HAS BEEN INSPECTED BY THE TOWN OF LEDYARD STAFF.

- PHASE 2: ANTICIPATED DURATION - 12 TO 18 MONTHS
- RELOCATION OF STABILIZED CONSTRUCTION ENTRANCE (SEE SHEET C-602)
 - DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
 - DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
 - CLEARING AND GRUBBING IN AREAS DESIGNATED AS BEING REMOVED AS NECESSARY TO INSTALL TEMPORARY SWALES AND SEDIMENT TRAPS. CONTRACTOR TO ENSURE NO MORE THAN 4 ACRES OF DISTURBED AREA IS LEFT NOT STABILIZED AT ANY TIME (SEE SHEET C-602)
 - INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS (SEE SHEET C-602)
 - DEWATERING NEEDS ARE EXPECTED ON SITE. INSTALLATION OF DEWATERING BAGS PER PLAN (SEE SHEET C-601). THE USE OF THESE DEWATERING MEASURES IS DEPENDENT UPON SPECIFIC SITE CONDITIONS. IT SHOULD BE RECOGNIZED THAT ANY DEWATERING PLAN TYPICALLY NEEDS TO BE MODIFIED DUE TO UNFORESEEN SITE CONDITIONS OR ALTERNATE METHODS AVAILABLE TO THE CONTRACTOR.
 - INITIATE THE NECESSARY EARTHWORK TO REACH GRADES INDICATED ON THE PLANS. TEMPORARILY STABILIZE ANY AREAS WITH SEEDING OR MULCH AS DETAILED IN THESE PLANS WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK IN DISTURBED AREAS WHERE THE SUSPENSION OF WORK IS EXPECTED TO BE MORE THAN 30 DAYS BUT LESS THAN 1 YEAR.
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH SC150 BN EROSION CONTROL BLANKET ON SLOPES OF 3:1 OR GREATER AND TEMPORARY SEEDING (SEE SHEET C-601).
 - INSTALLATION OF BUILDING FOUNDATION AND CONSTRUCTION OF BUILDING A AND BUILDING B. BUILDING CONSTRUCTION MAY COMMENCE UPON ACCEPTANCE OF BUILDING PAD BY THE OWNER. CONCRETE WASHOUT MUST BE INSTALLED PRIOR TO ANY CONCRETE BEING POURED ON SITE
 - INSTALLATION OF RETAINING WALL.
 - INSTALLATION OF UTILITIES BUT NOT LIMITED TO STORMWATER, SANITARY, ELECTRIC, AND WATER. STORMWATER AND SANITARY TO BE INSTALLED IN A DOWNSTEAM TO UPSTREAM MANNER. REFER TO DRAINAGE AND UTILITY PLANS AS WELL AS SEPTIC PLANS PREPARED BY OTHERS).
 - REMOVAL OF TEMPORARY SEDIMENT TRAP TO BE REPLACED WITH PERMANENT STORMTRAP INFILTRATION SYSTEM. THE TEMPORARY SEDIMENT TRAP MUST BE MODIFIED TO PREPARE IT FOR LONG-TERM USE INCLUDING: AT A MINIMUM, REMOVAL OF ANY ACCUMULATED SEDIMENTS, RESTORATION OF THE PRE-CONSTRUCTION INFILTRATION CAPACITY OF THE UNDERLYING SOILS, AND OTHER STRUCTURAL MODIFICATIONS IN ACCORDANCE WITH THE BMP-SPECIFIC GUIDANCE IN THE CONNECTICUT STORMWATER QUALITY MANUAL, AS AMENDED.
 - INSTALLATION OF INLET PROTECTION ON-SITE UTILITIES (SEE SHEET C-602)
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
 - REMOVAL OF THE TEMPORARY SEDIMENT TRAP #3 IN ACCORDANCE WITH THE 2024 CT EROSION AND SEDIMENT CONTROL GUIDELINES.
 - PAVE PARKING LOT
 - LANDSCAPING PER LANDSCAPING PLAN
 - CLEAR SITE OF DEBRIS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER, AND ONCE THE SITE HAS BEEN INSPECTED BY THE TOWN OF LEDYARD STAFF.

RECOMMENDED CONSTRUCTION SEQUENCE



REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	05/20/2025	RESPONSE TO TOWN COMMENTS	CR/KS JGB



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PROJECT No.:	CTA220061.00
DRAWN BY:	CR/TJN/KMB
CHECKED BY:	JGB
DATE:	02/19/2025
CAD LID:	CTA220061.00-EROS-6A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

C.R. KLEWIN
LLC

PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
CONNECTICUT



65 LaSALLE ROAD, SUITE 401
WEST HARTFORD, CT 06107
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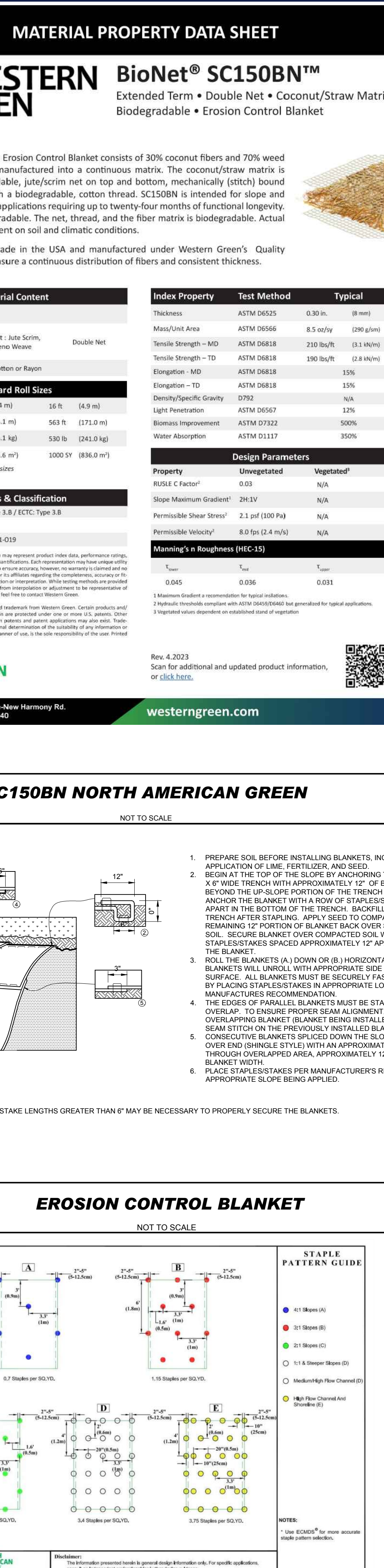
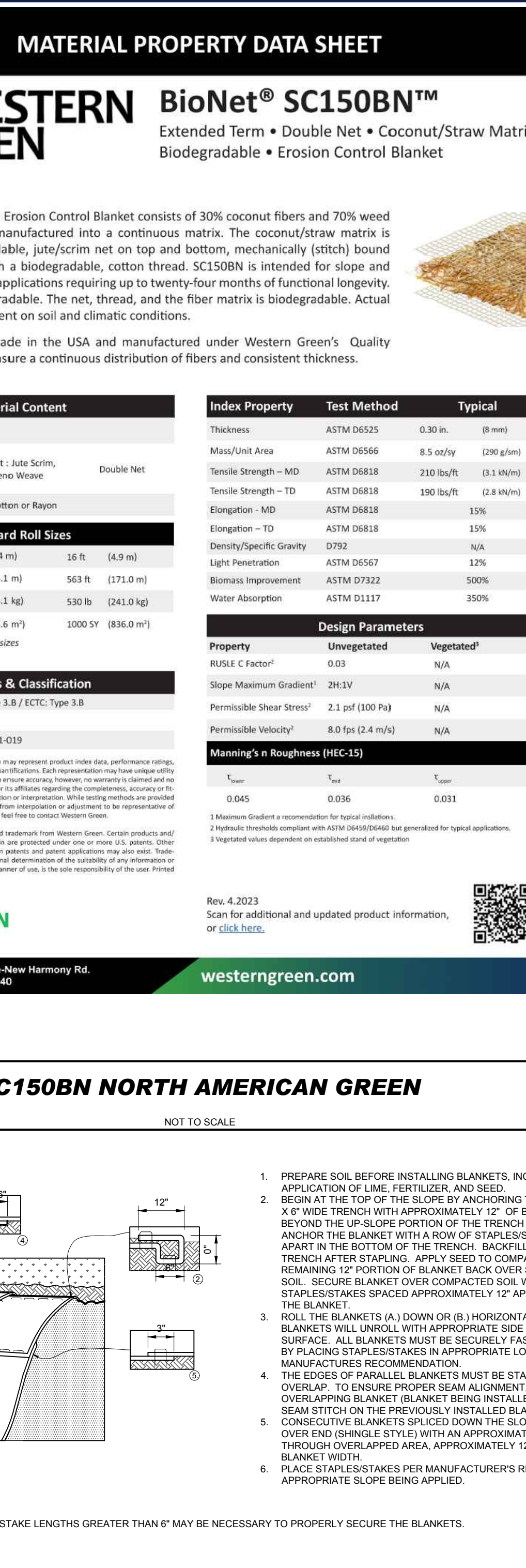
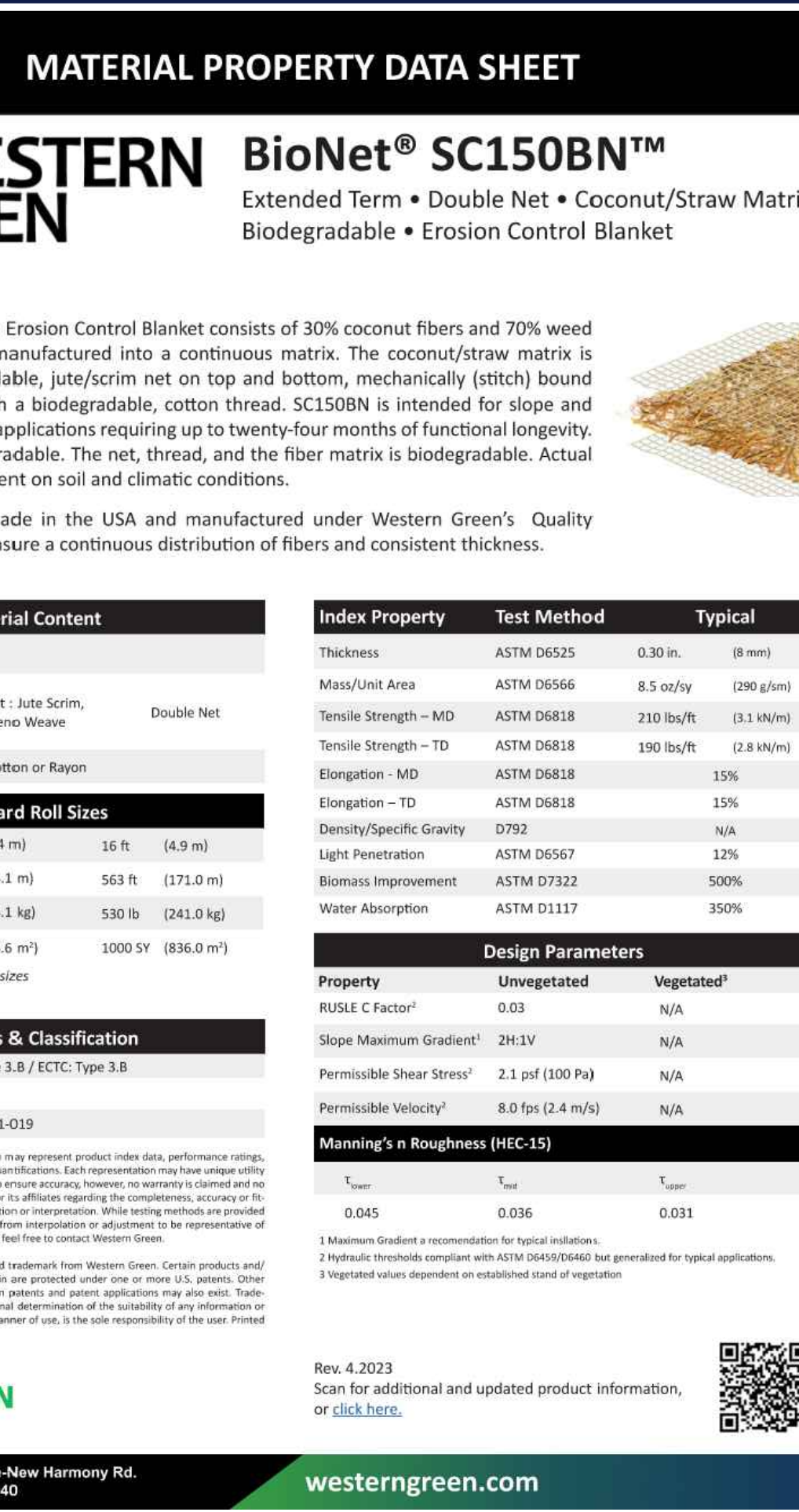
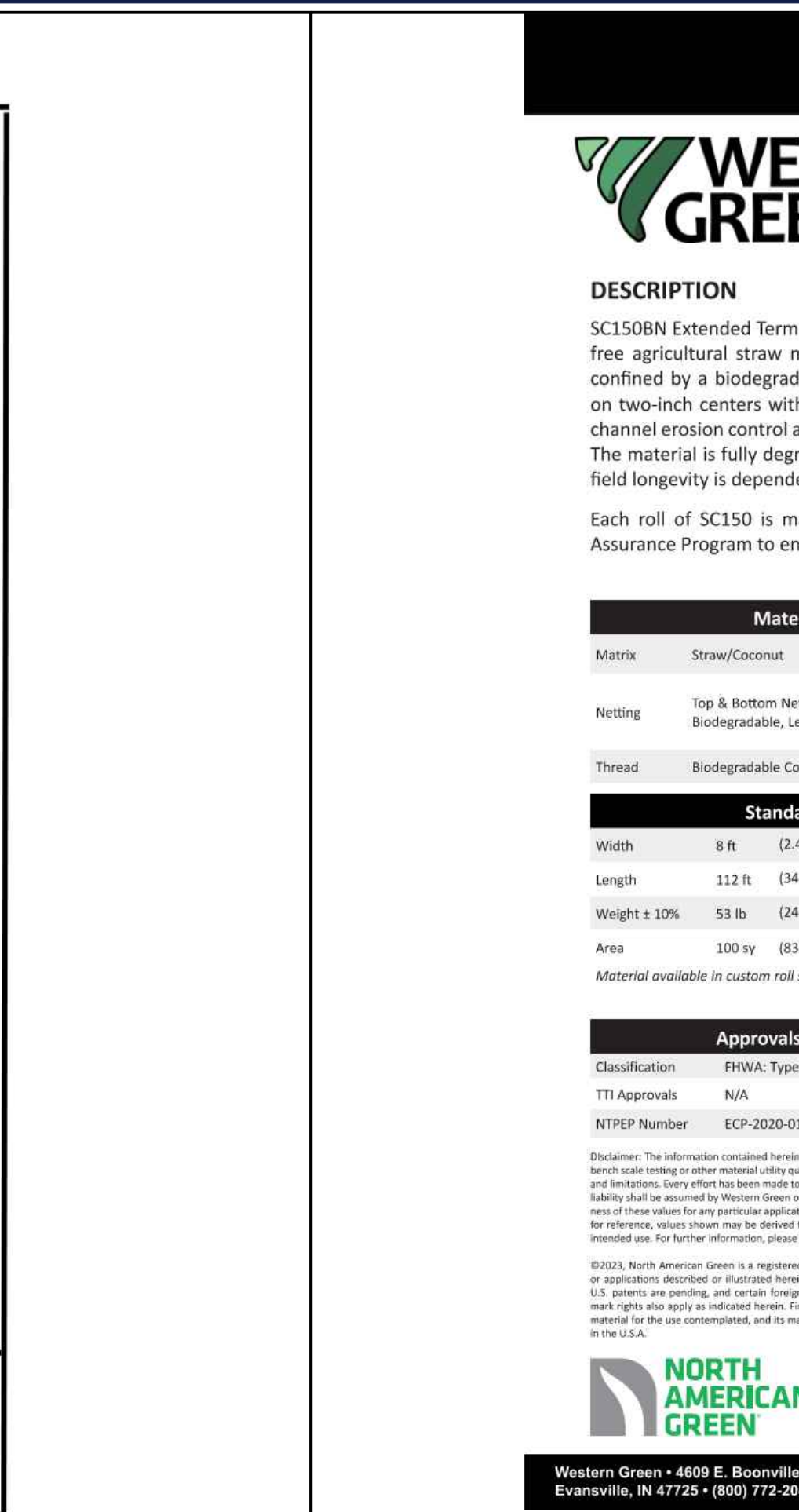
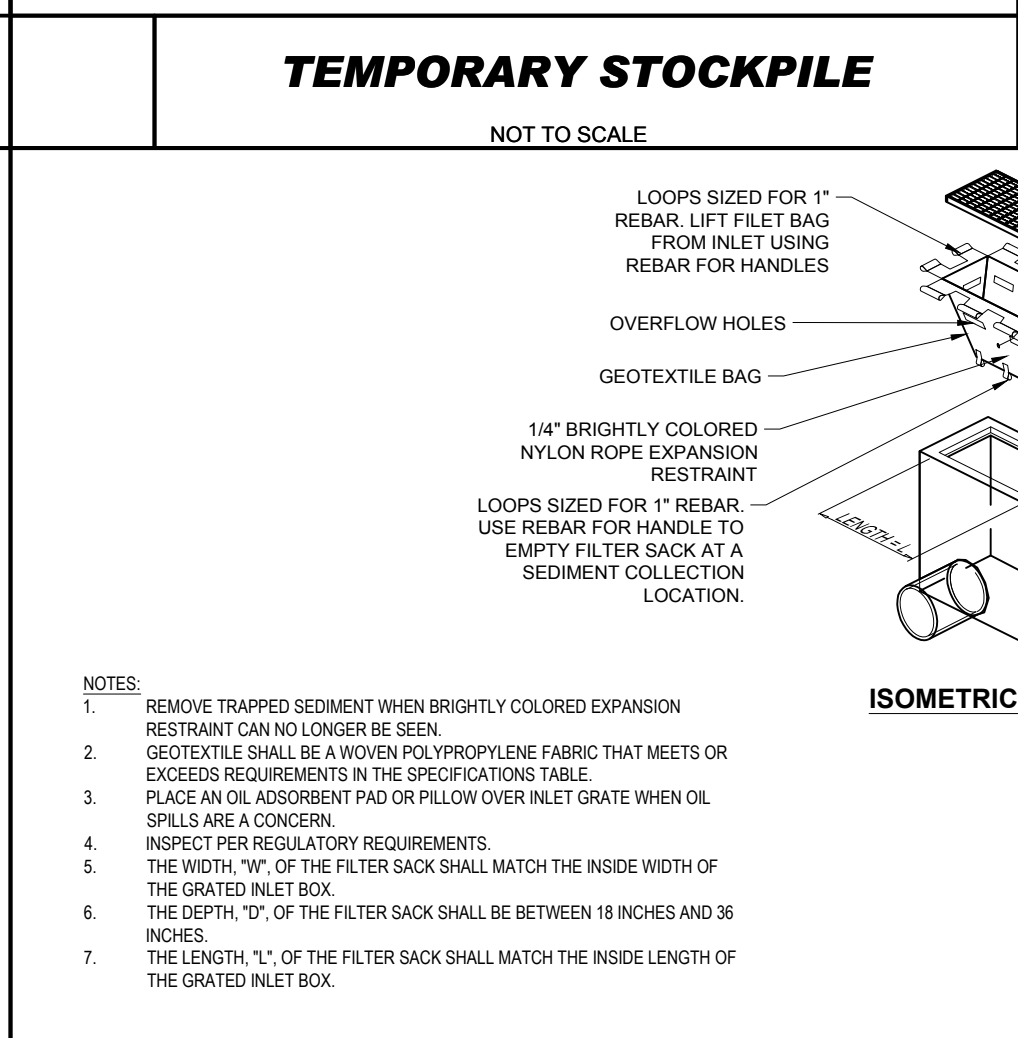
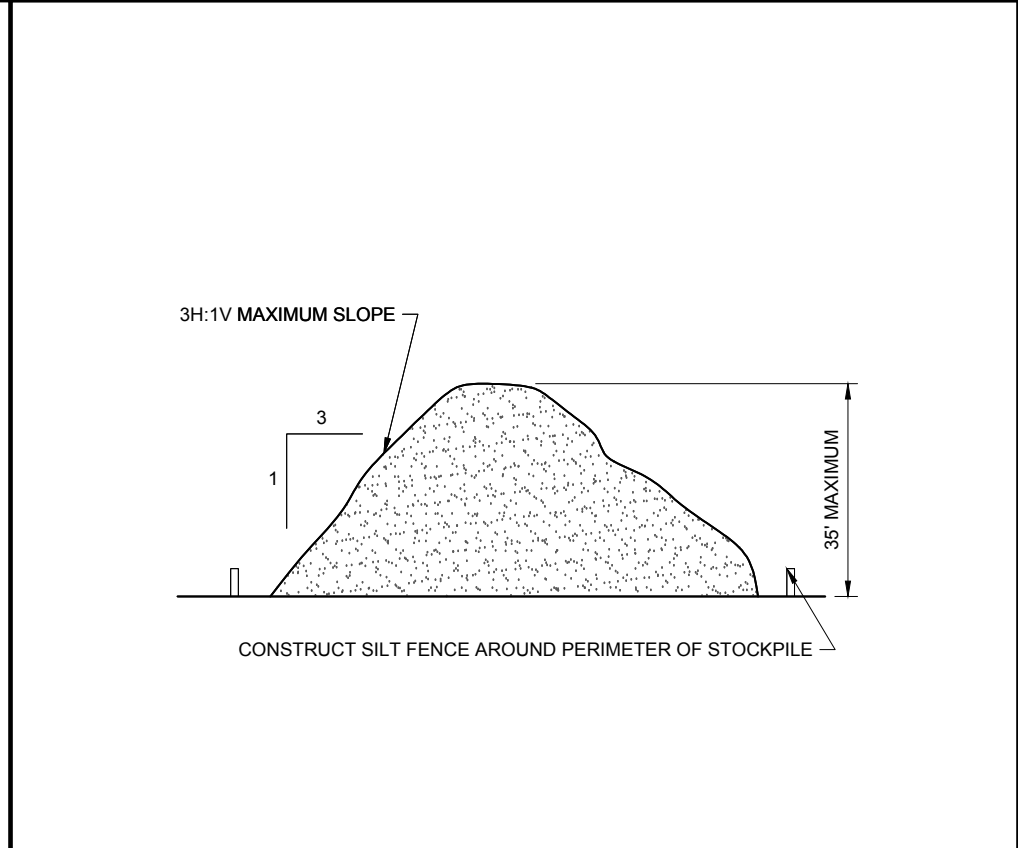
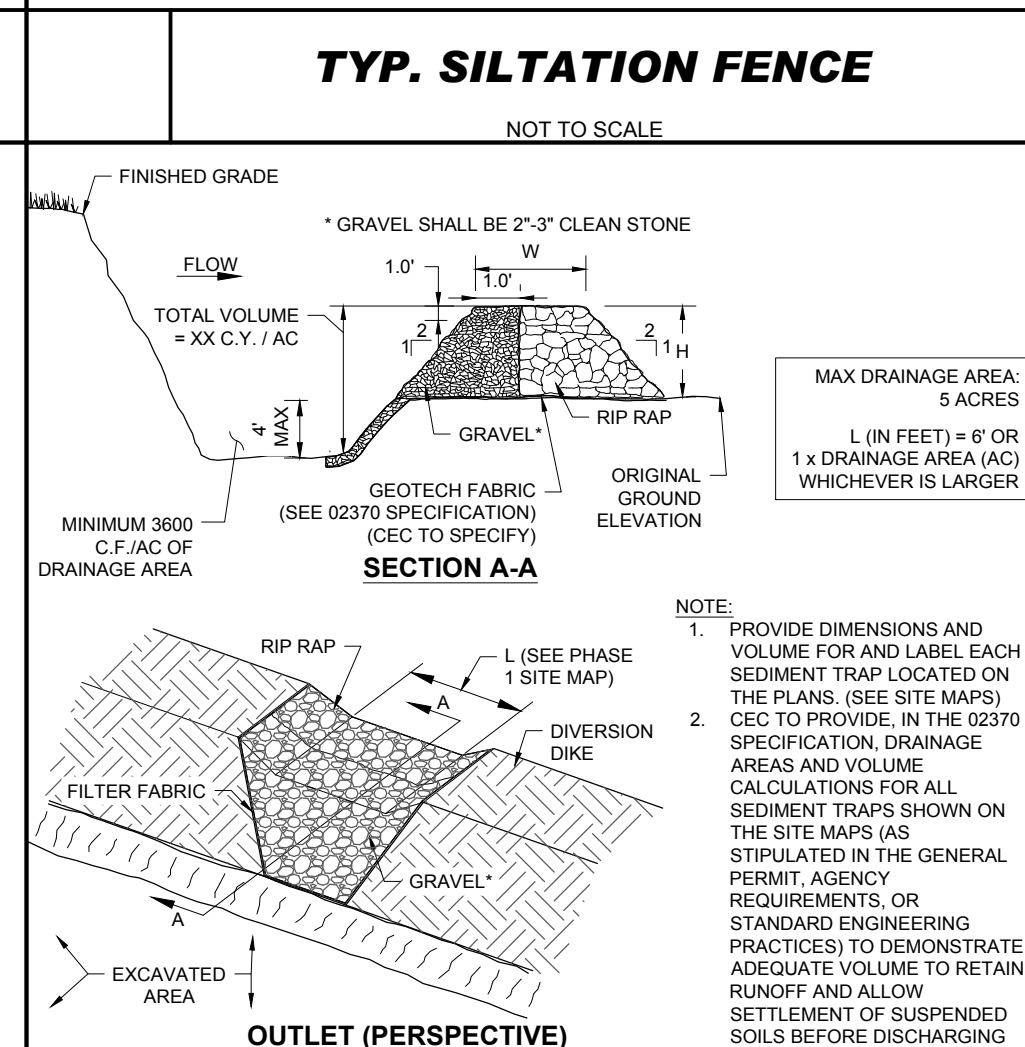
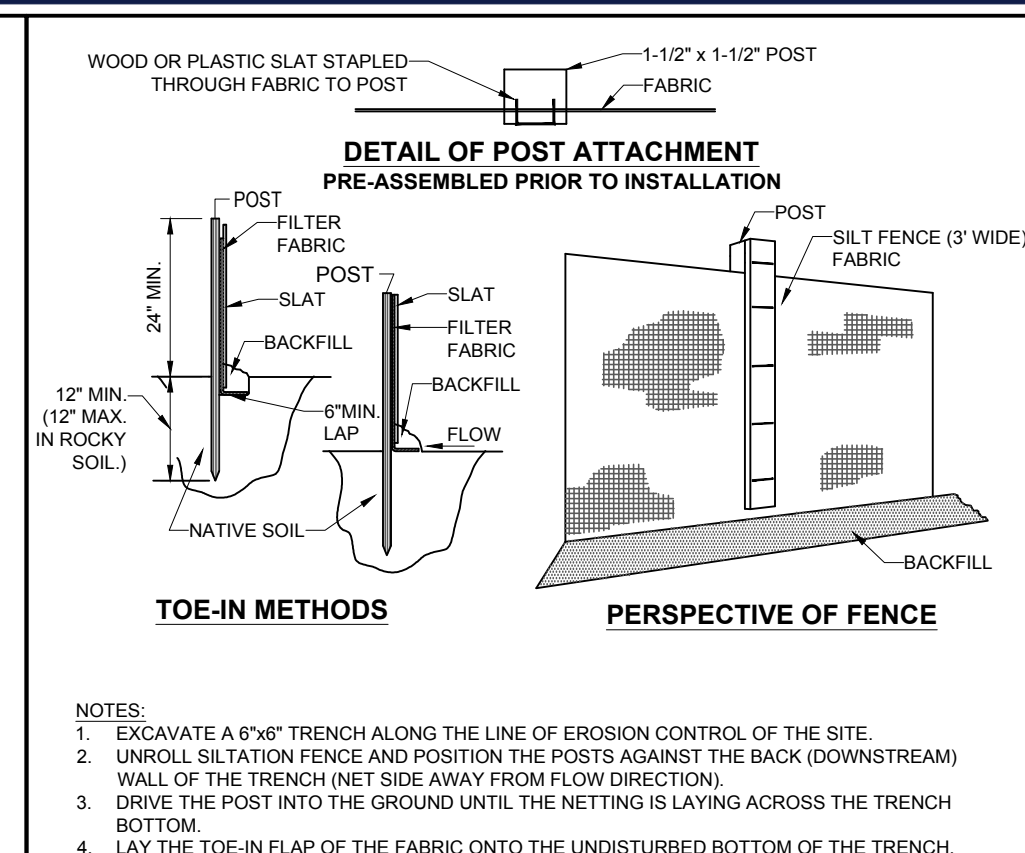


SHEET TITLE:
EROSION & SEDIMENT CONTROL NOTES & DETAILS

SHEET NUMBER:

C-603

REVISION 1 - 05/20/2025

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PROJECT:

***PROPOSED SITE
PLAN DOCUMENTS***

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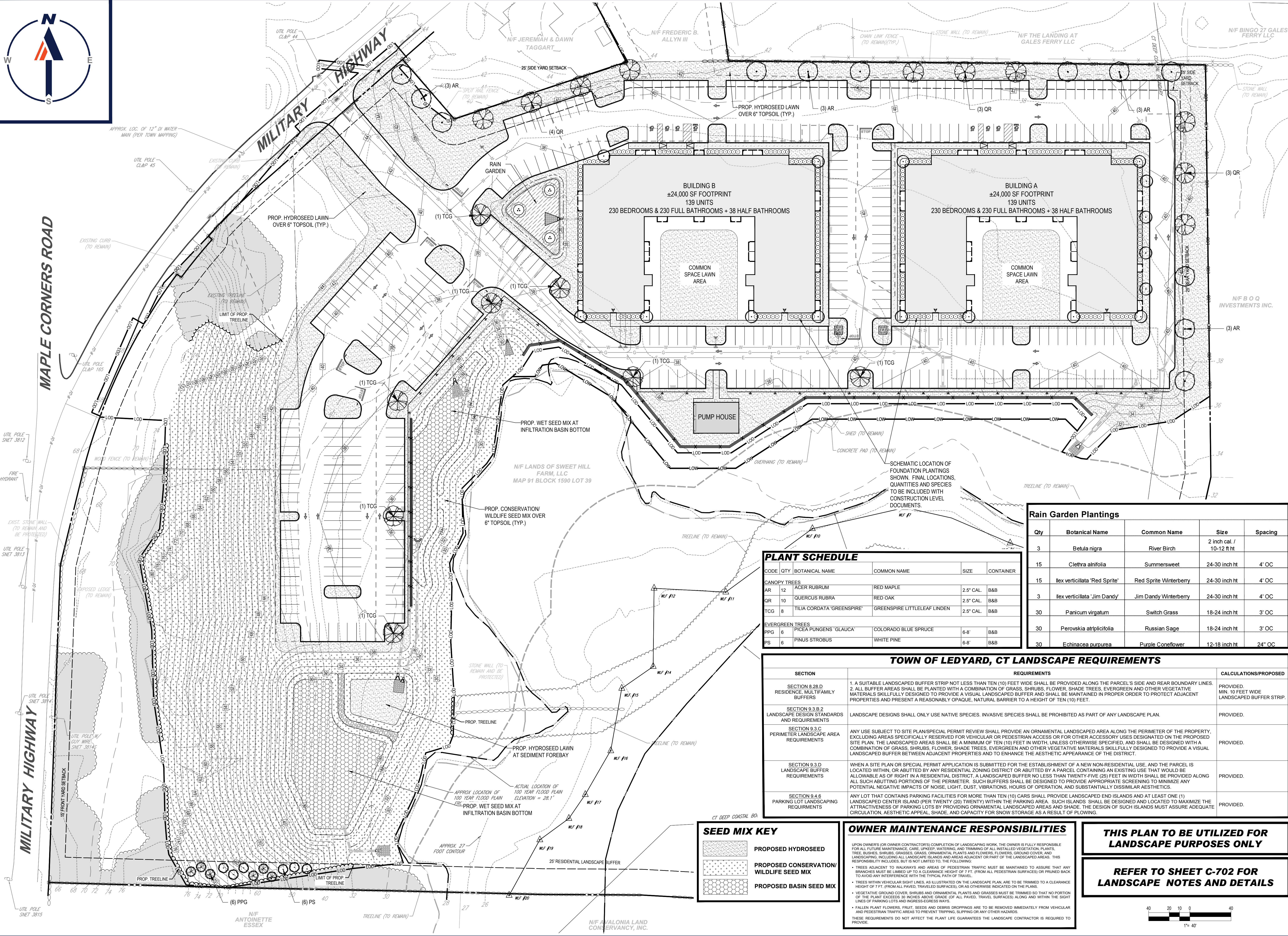
	SHEET TITLE: <i>EROSION & SEDIMENT CONTROL NOTES & DETAILS</i>
	SHEET NUMBER: C-604
	REVISION 1 - 05/20/2025



MILITARY HIGHWAY
MAPLE CORNERS ROAD

P:\2022\CTA22061.00\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CTA22061.00\LS-C701.dwg - LAYOUT: C-701.LAND

10/20



PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES					
AR	12	ACER RUBRUM	RED MAPLE	2.5" CAL.	B&B
QR	10	QUERCUS RUBRA	RED OAK	2.5" CAL.	B&B
TCG	8	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2.5" CAL.	B&B
EVERGREEN TREES					
PPG	6	PICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	6-8'	B&B
PS	6	PINUS STROBUS	WHITE PINE	6-8'	B&B

TOWN OF LEDYARD, CT LANDSCAPE REQUIREMENTS

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
SECTION 9.2.B.D RESIDENCE, MULTIFAMILY BUFFERS	1. A SUITABLE LANDSCAPED BUFFER STRIP NOT LESS THAN TEN (10) FEET WIDE SHALL BE PROVIDED ALONG THE PARCEL'S SIDE AND REAR BOUNDARY LINES. 2. ALL BUFFER AREAS SHALL BE PLANTED WITH A COMBINATION OF GRASS, SHRUBS, FLOWER, SHADE TREES, EVERGREEN AND OTHER VEGETATIVE MATERIALS SKILLFULLY DESIGNED TO PROVIDE A VISUAL LANDSCAPED BUFFER AND SHALL BE MAINTAINED IN PROPER ORDER TO PROTECT ADJACENT PROPERTIES AND PRESENT A REASONABLY OPAQUE, NATURAL BARRIER TO A HEIGHT OF TEN (10) FEET.	PROVIDED. MIN. 10 FEET WIDE LANDSCAPED BUFFER STRIP.
SECTION 9.3.B.2 LANDSCAPE DESIGN STANDARDS AND REQUIREMENTS	LANDSCAPE DESIGNS SHALL ONLY USE NATIVE SPECIES. INVASIVE SPECIES SHALL BE PROHIBITED AS PART OF ANY LANDSCAPE PLAN.	PROVIDED.
SECTION 9.3.C PERIMETER LANDSCAPE AREA REQUIREMENTS	ANY USE SUBJECT TO SITE PLAN/SPECIAL PERMIT REVIEW SHALL PROVIDE AN ORNAMENTAL LANDSCAPE AREA ALONG THE PERIMETER OF THE PROPERTY, EXCLUDING AREAS SPECIFICALLY RESERVED FOR VEHICULAR OR PEDESTRIAN ACCESS OR FOR OTHER ACCESSORY USES DESIGNATED ON THE PROPOSED SITE PLAN. THE LANDSCAPED AREAS SHALL BE A MINIMUM OF TEN (10) FEET IN WIDTH, UNLESS OTHERWISE SPECIFIED, AND SHALL BE DESIGNED WITH A COMBINATION OF GRASS, SHRUBS, FLOWER, SHADE TREES, EVERGREEN AND OTHER VEGETATIVE MATERIALS SKILLFULLY DESIGNED TO PROVIDE A VISUAL LANDSCAPED BUFFER BETWEEN ADJACENT PROPERTIES AND TO ENHANCE THE AESTHETIC APPEARANCE OF THE DISTRICT.	PROVIDED.
SECTION 9.3.D LANDSCAPE BUFFER REQUIREMENTS	WHEN A SITE PLAN OR SPECIAL PERMIT APPLICATION IS SUBMITTED FOR THE ESTABLISHMENT OF A NEW NON-RESIDENTIAL USE, AND THE PARCEL IS LOCATED WITHIN, OR ABUTTED BY ANY RESIDENTIAL ZONING DISTRICT OR ABUTTED BY A PARCEL CONTAINING AN EXISTING USE THAT WOULD BE ALLOWABLE AS OF RIGHT IN A RESIDENTIAL DISTRICT, A LANDSCAPED BUFFER NO LESS THAN TWENTY-FIVE (25) FEET IN WIDTH SHALL BE PROVIDED ALONG ALL SUCH ABUTTING PORTIONS OF THE PERIMETER. SUCH BUFFERS SHALL BE DESIGNED TO PROVIDE APPROPRIATE SCREENING TO MINIMIZE ANY POTENTIAL NEGATIVE IMPACTS OF NOISE, LIGHT, DUST, VIBRATIONS, HOURS OF OPERATION, AND SUBSTANTIALLY DISSIMILAR AESTHETICS.	PROVIDED.
SECTION 9.4.6 PARKING LOT LANDSCAPING REQUIREMENTS	ANY LOT THAT CONTAINS PARKING FACILITIES FOR MORE THAN TEN (10) CARS SHALL PROVIDE LANDSCAPED END ISLANDS AND AT LEAST ONE (1) LANDSCAPED CENTER ISLAND (PER TWENTY (20) TWENTY) WITHIN THE PARKING AREA. SUCH ISLANDS SHALL BE DESIGNED AND LOCATED TO MAXIMIZE THE ATTRACTIVENESS OF PARKING LOTS BY PROVIDING ORNAMENTAL LANDSCAPED AREAS AND SHADE. THE DESIGN OF SUCH ISLANDS MUST ASSURE ADEQUATE CIRCULATION, AESTHETIC APPEAL, SHADE, AND CAPACITY FOR SNOW STORAGE AS A RESULT OF PLOWING.	PROVIDED.

SEED MIX KEY

	PROPOSED HYDROSEED
	PROPOSED CONSERVATION/ WILDLIFE SEED MIX
	PROPOSED BASIN SEED MIX

OWNER MAINTENANCE RESPONSIBILITIES

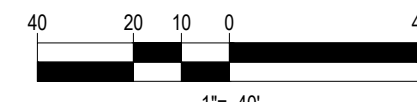
UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPRKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREES, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPED ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATING GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND FLOWERS MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.
- FALLING PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY

REFER TO SHEET C-702 FOR
LANDSCAPE NOTES AND DETAILS



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LANDSCAPE ARCHITECTURE
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	05/20/2025	RESPONSE TO TOWN COMMENTS	CR/KMS

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PROJECT No.: CTA22061.00
DRAWN BY: CR/TJN/KMB
DATE: 02/19/2025
CAD ID: CTA22061.00-LS-C701

PROPOSED SITE PLAN DOCUMENTS

FOR
C.R. KLEWIN LLC
PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
CONNECTICUT

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SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

C-701

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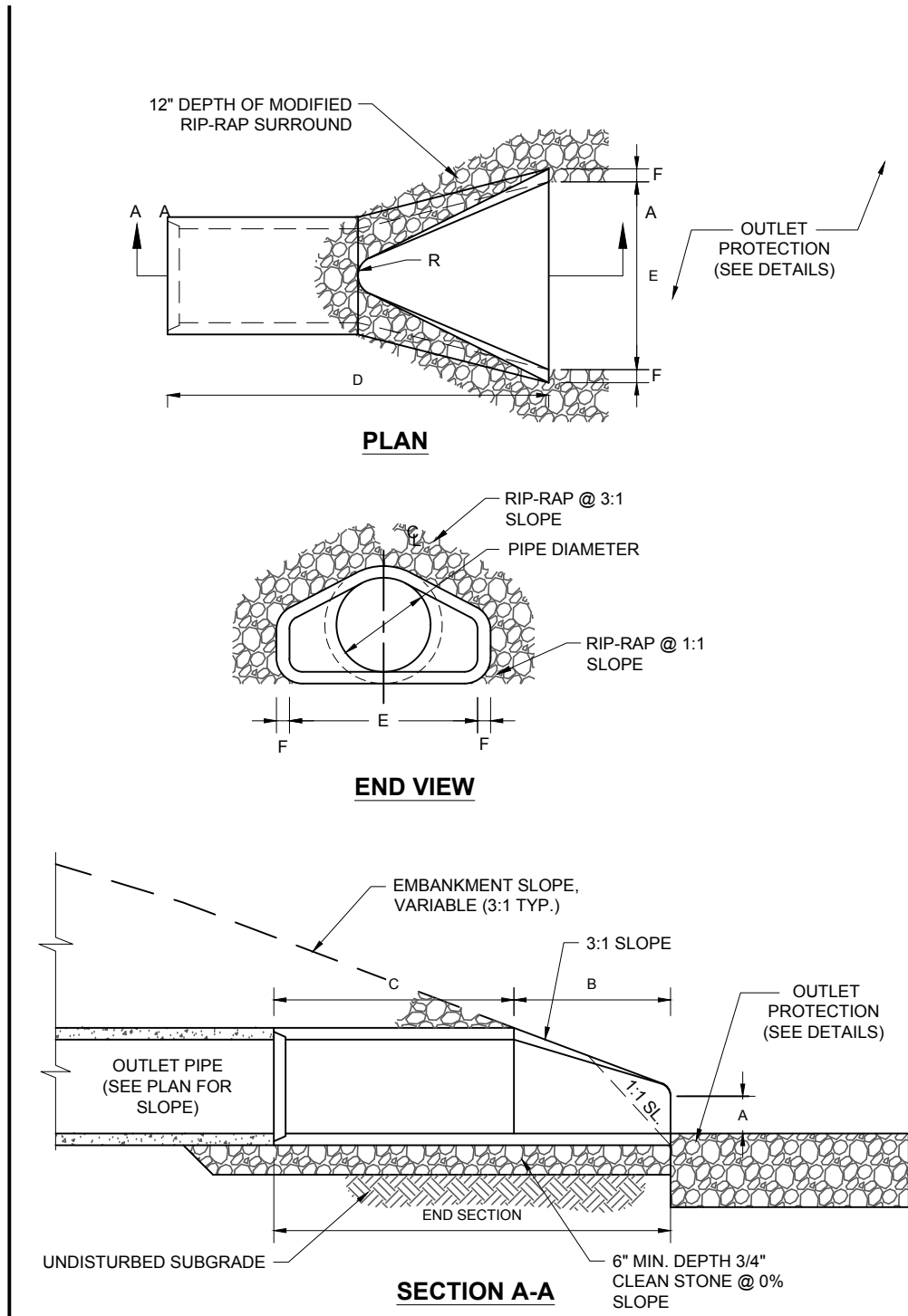
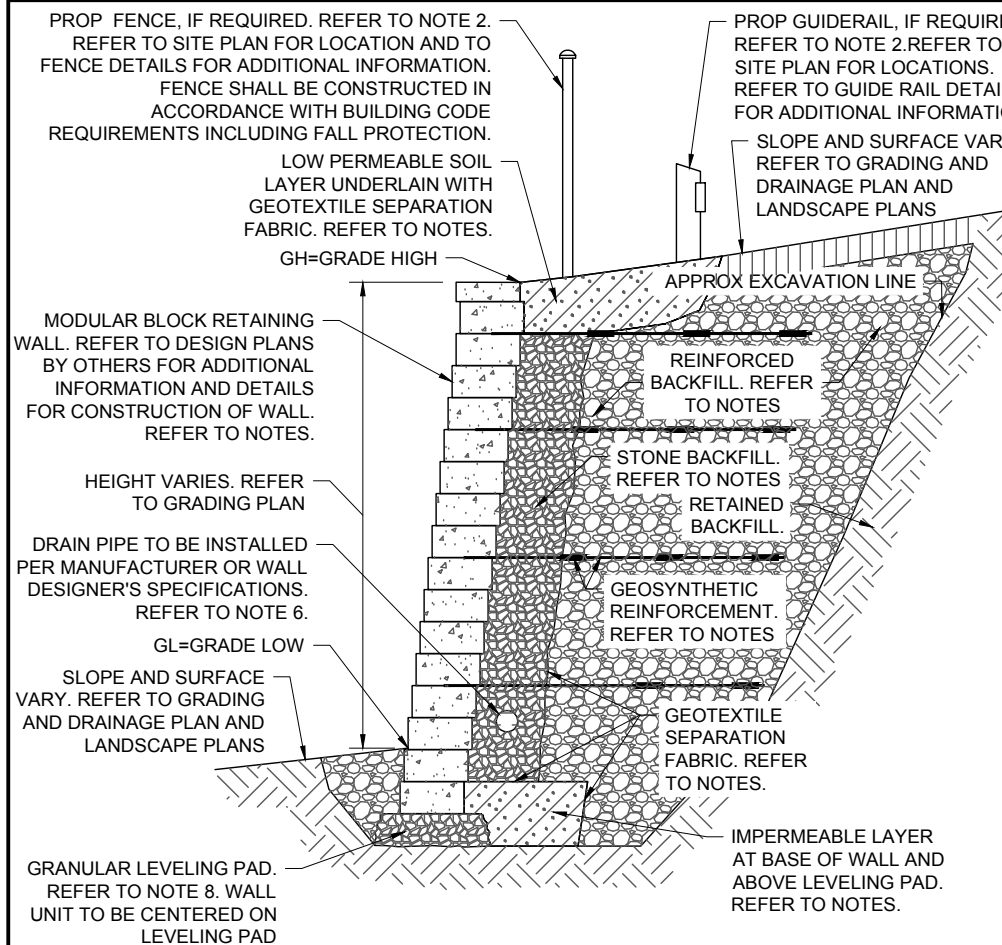


TABLE A - DIMENSIONS FOR END SECTION FOR CONCRETE PIPE						
DIA.	A	B	C	D	E	R
12"	4"	2'-0"	4'-0 7/8"	2'-0"	3"	9"
15"	6"	2'-3"	3'-10"	2'-6"	3"	11"
18"	9"	2'-3"	3'-10"	3'-0"	3"	12"
24"	8 1/2"	3'-7 1/2"	2'-6"	4'-0"	3"	14"
30"	12"	4'-6"	1'-3 3/4"	5'-0"	3 1/2"	15"
36"	15"	5'-3"	2'-10 3/4"	6'-0"	4"	20"
42"	21"	5'-3"	2'-11"	6'-6"	4 1/2"	22"
48"	24"	6'-0"	2'-2"	7'-0"	5"	22"

NOTE:
FOR PROPOSED 15" DIA. PIPE OR SMALLER, USE DIMENSIONS SPECIFIED FOR 18" DIA. PIPE

CONCRETE FLARED END SECTION

NOT TO SCALE



REINFORCED SEGMENTAL BLOCK RETAINING WALL

(NE-S110501 - 02/2024)

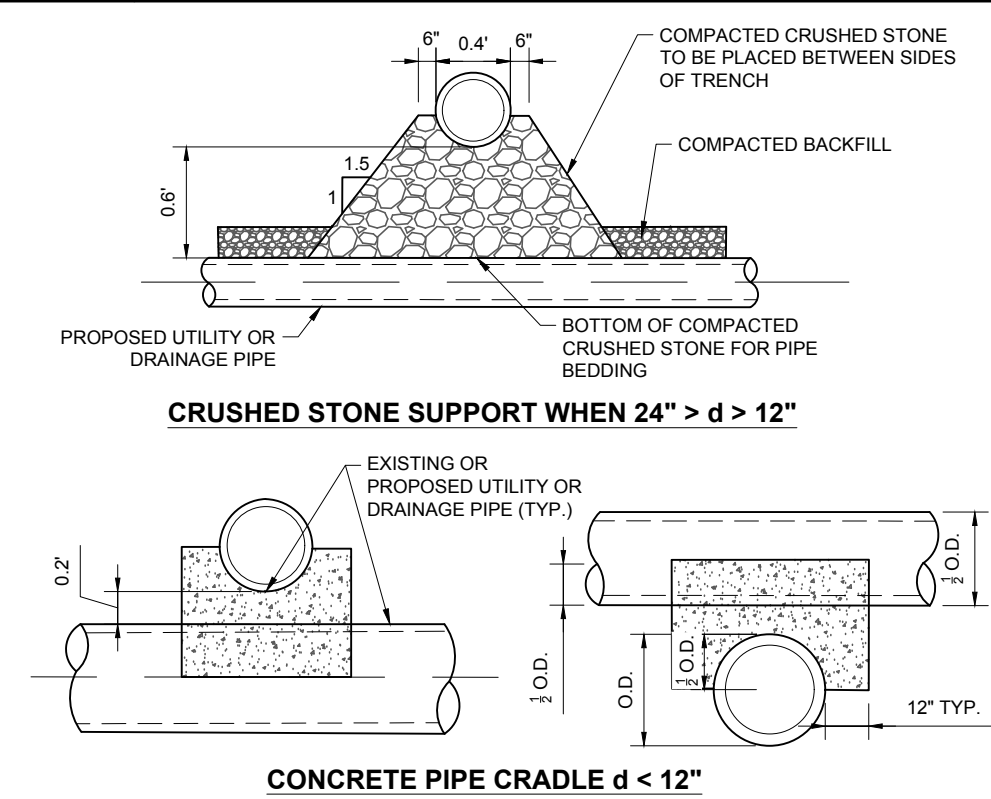
NOT TO SCALE

NOTE:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 30"-60" (750mm-900mm).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

HDPE STORM DRAINAGE TRENCH

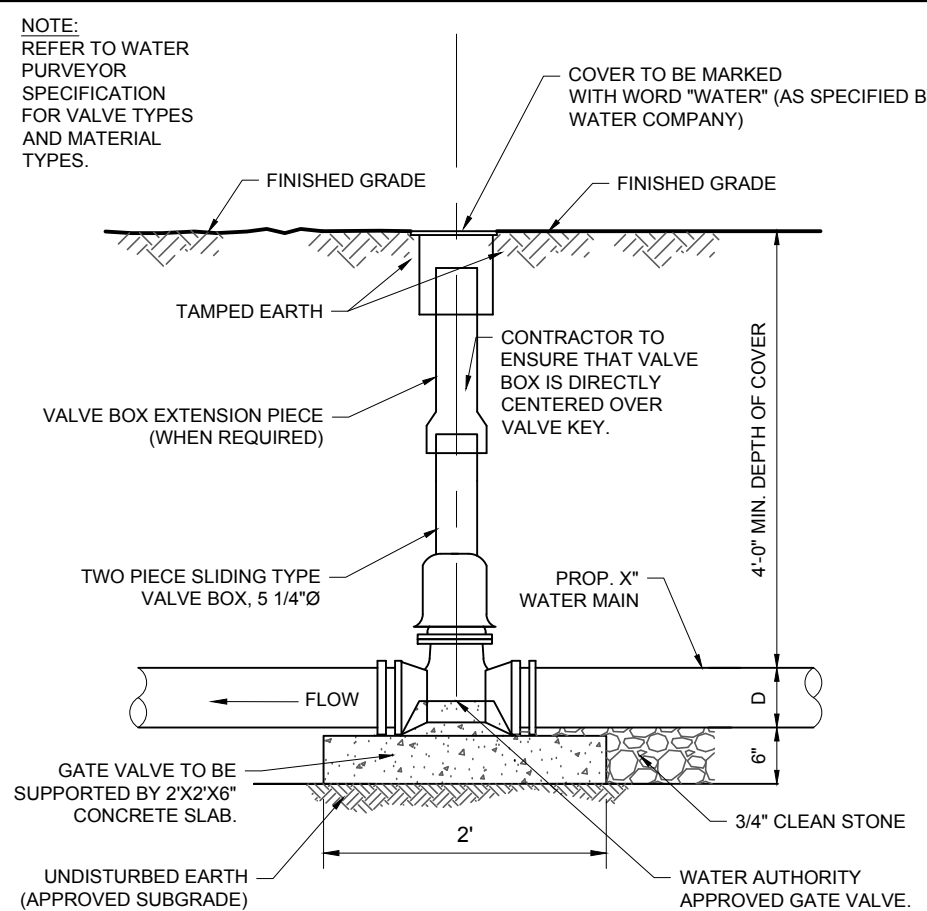
NOT TO SCALE



- CRUSHED STONE SUPPORT WHEN 24" > d < 12"
- CONCRETE PIPE CRADLE d < 12"
- NOTES:
1. d= DISTANCE BETWEEN UTILITY AND DRAINAGE PIPES.
2. SUPPORTS SHALL BE INSTALLED WHERE SPECIFIED ON THE PLANS AND WHERE d < 24".

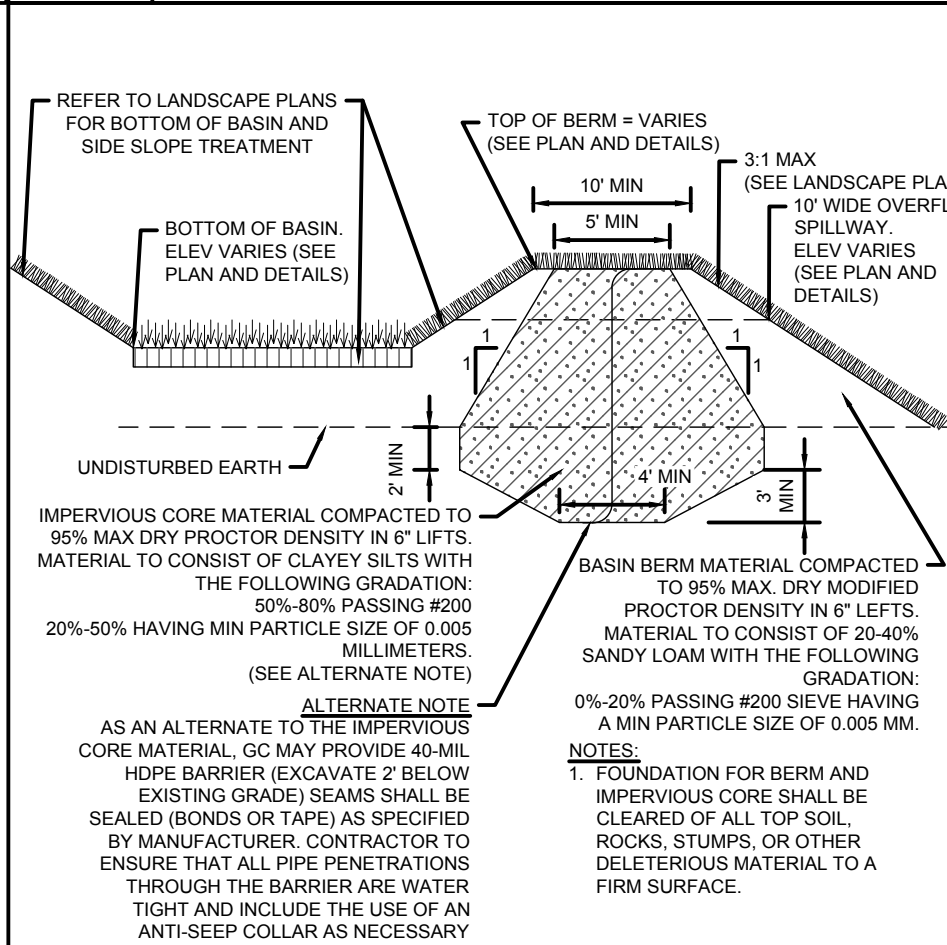
UNDERGROUND UTILITY CONDUIT DETAIL

NOT TO SCALE (U039903-01/2013)



GATE VALVE AND BOX DETAIL

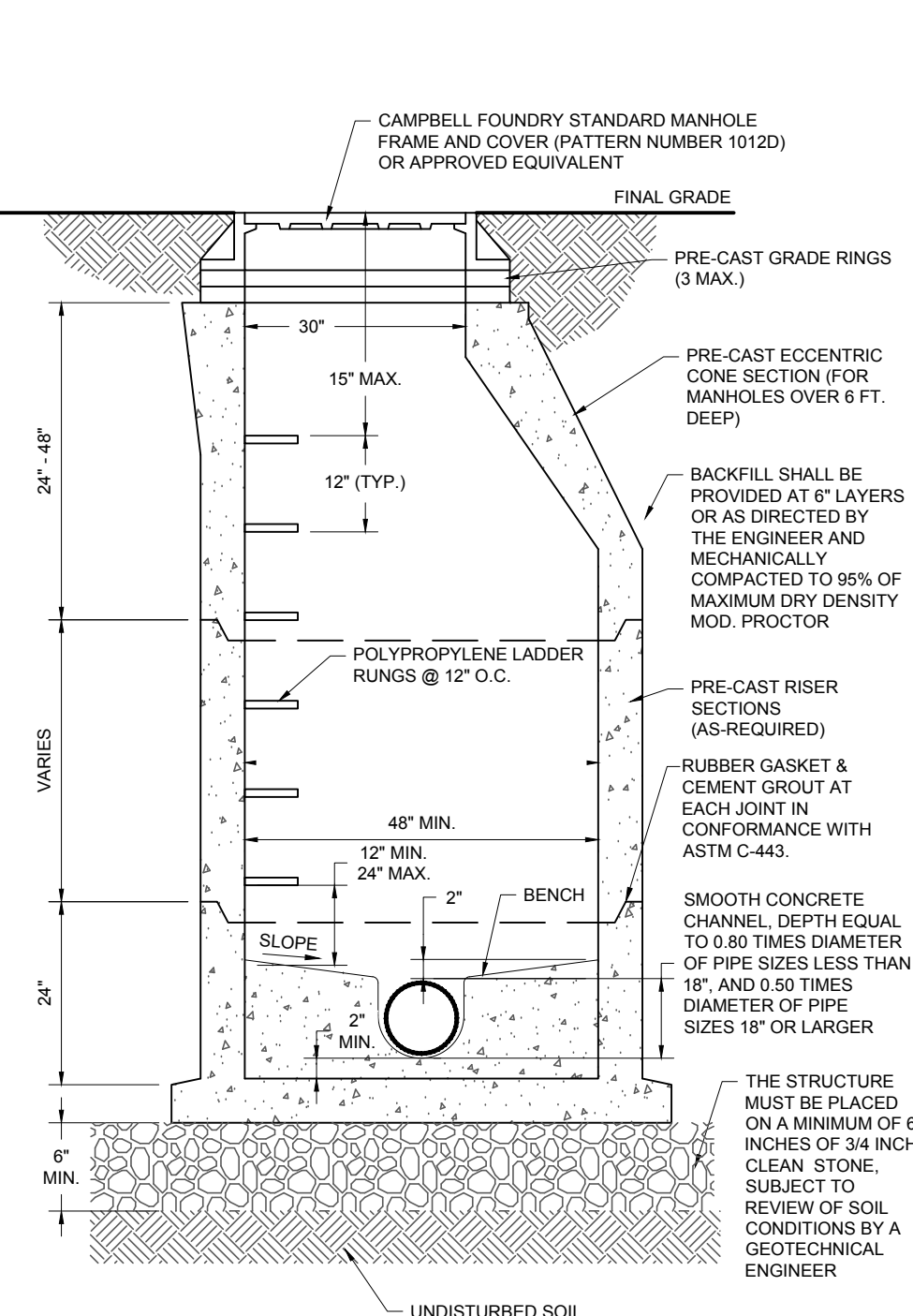
NOT TO SCALE (U049904-01/2013)



BASIN BERM AND IMPERVIOUS CORE

(NE-G019901 - 11/2024)

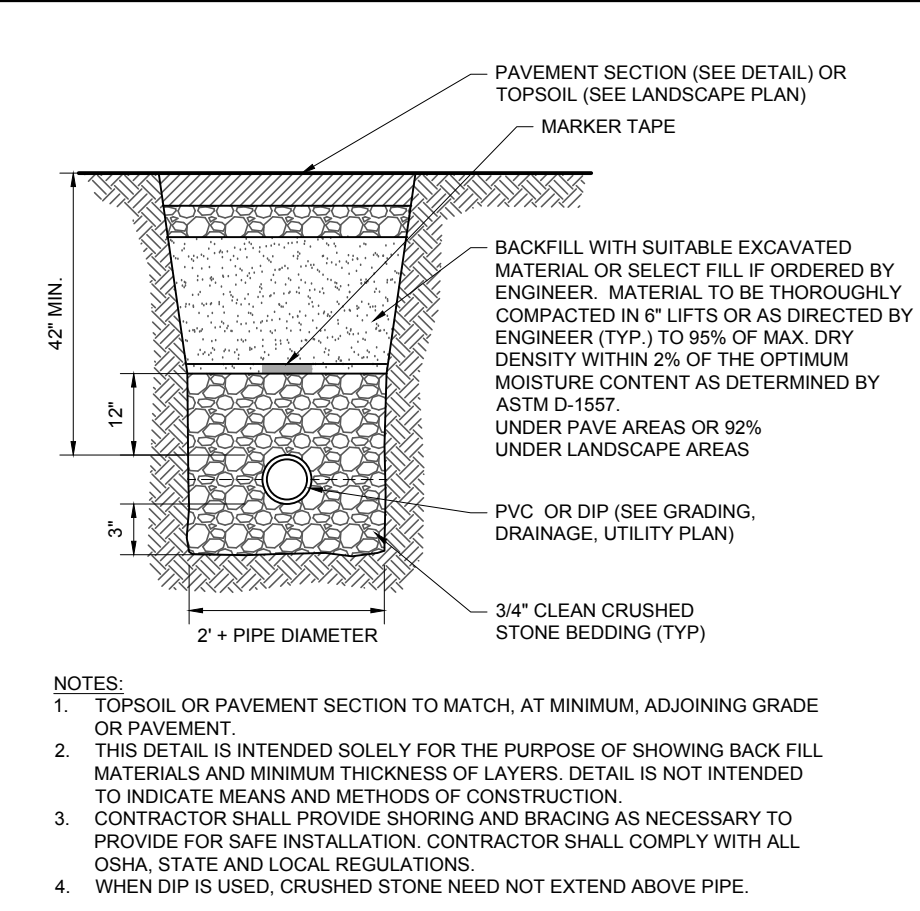
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- NOTES:
- THE STORM MANHOLE CONCRETE STRUCTURE MUST BE PRECAST CONCRETE TO MEET A MINIMUM OF HS-20 LOADING. ALL UNITS SHALL BE CONSTRUCTED AND REINFORCED IN ACCORDANCE WITH THE APPROPRIATE ASTM, ACI, AND AASHTO STANDARDS. ALL PRECAST SECTIONS SHALL BE JOINED USING A GASKET AND CEMENT GROUT TO PRODUCE A LEAK-PROOF JOINT.
 - THE INLET FRAME AND GRATE COVER SHALL BE CAMPBELL FOUNDRY PATTERN NO. 1012D, OR APPROVED EQUAL.
 - ALL PIPES SHALL EXTEND NO MORE THAN 1" INTO THE STRUCTURE.
 - SUITABLE EXCAVATED SOIL MAY BE USED AS BACKFILL IN NON-STRUCTURALLY SUPPORTING AREAS OR AS DIRECTED BY THE MUNICIPAL ENGINEER. AREAS SUPPORTING ANY STRUCTURE SHALL BE BACKFILLED USING DENSE GRADED AGGREGATE OR AS DIRECTED BY THE ENGINEER.
 - THE INSIDE DIAMETER IS A MINIMUM DIMENSION. INSIDE DIAMETER TO BE ADJUSTED AS NECESSARY TO ACCOMMODATE STORM PIPE SIZES AND ALIGNMENT.

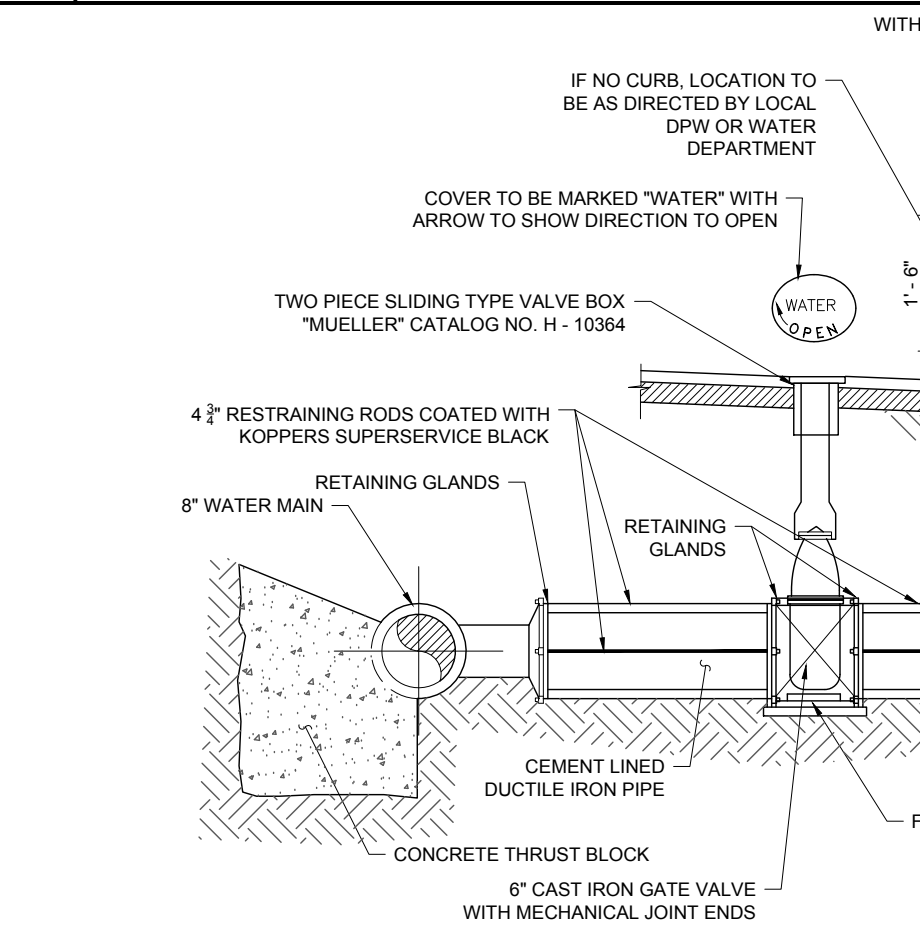
STORM MANHOLE DETAIL

NOT TO SCALE (G020407-04/2019)



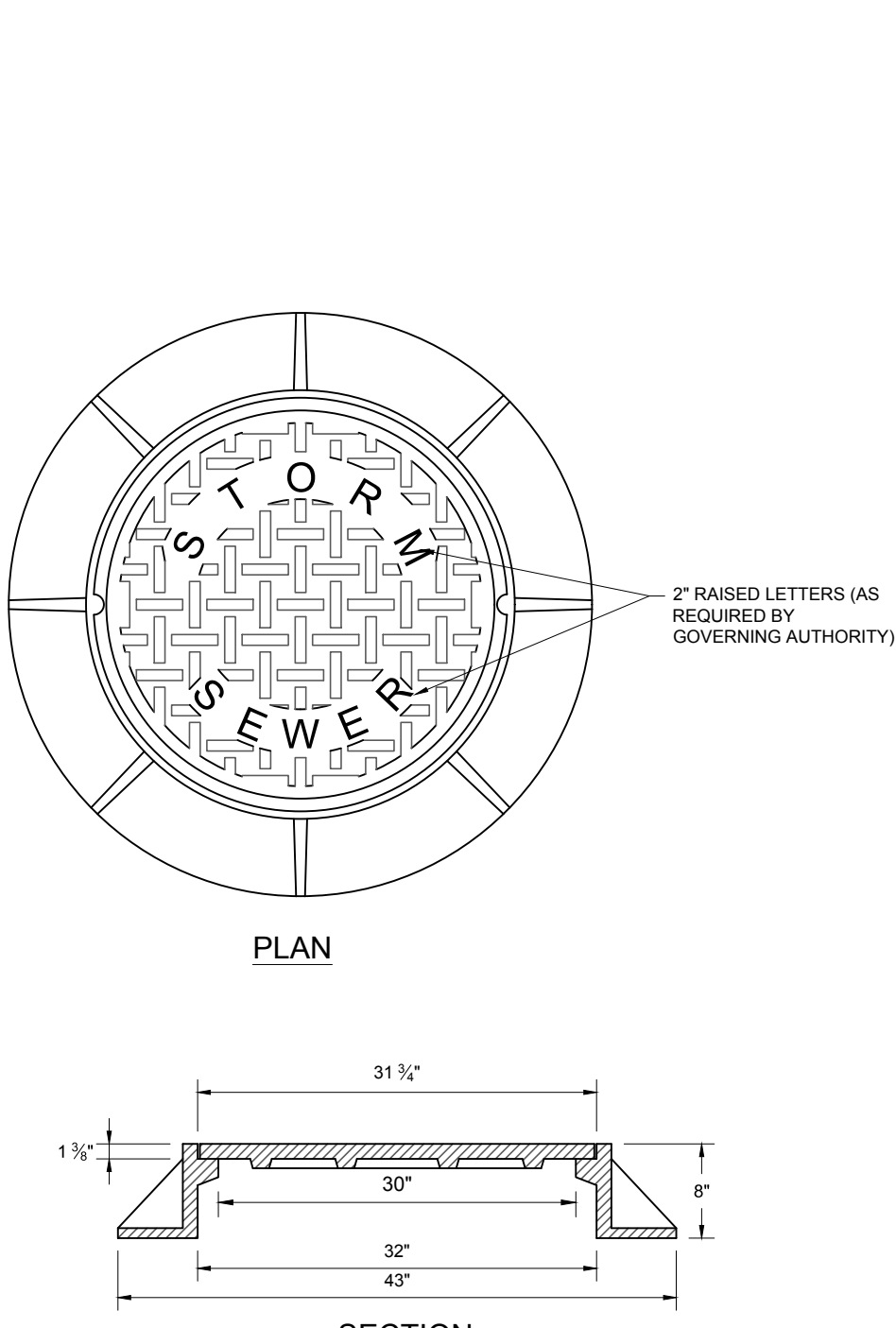
WATER PIPE INSTALLATION DETAIL

NOT TO SCALE (U049910 - 04/2019)



HYDRANT AND VALVE INSTALLATION

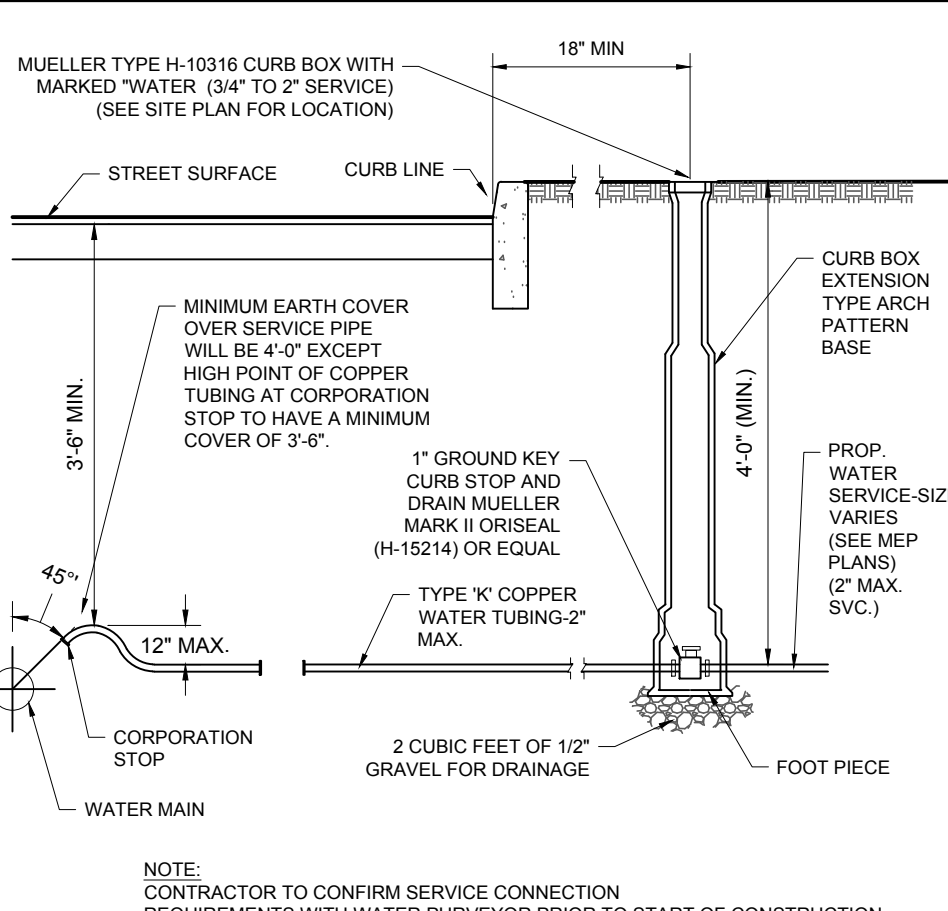
NOT TO SCALE



- NOTES:
- STANDARD MANHOLE FRAMES & COVERS SHALL BE USED ON ALL MANHOLES NOT LOCATED WITHIN EASEMENTS UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR SEWER AUTHORITY.
 - STANDARD MANHOLE FRAME & COVER SHALL BE CAMPBELL FOUNDRY PATTERN #1012B, OR APPROVED EQUAL, WITH NON-PENETRATING PICK HOLES.

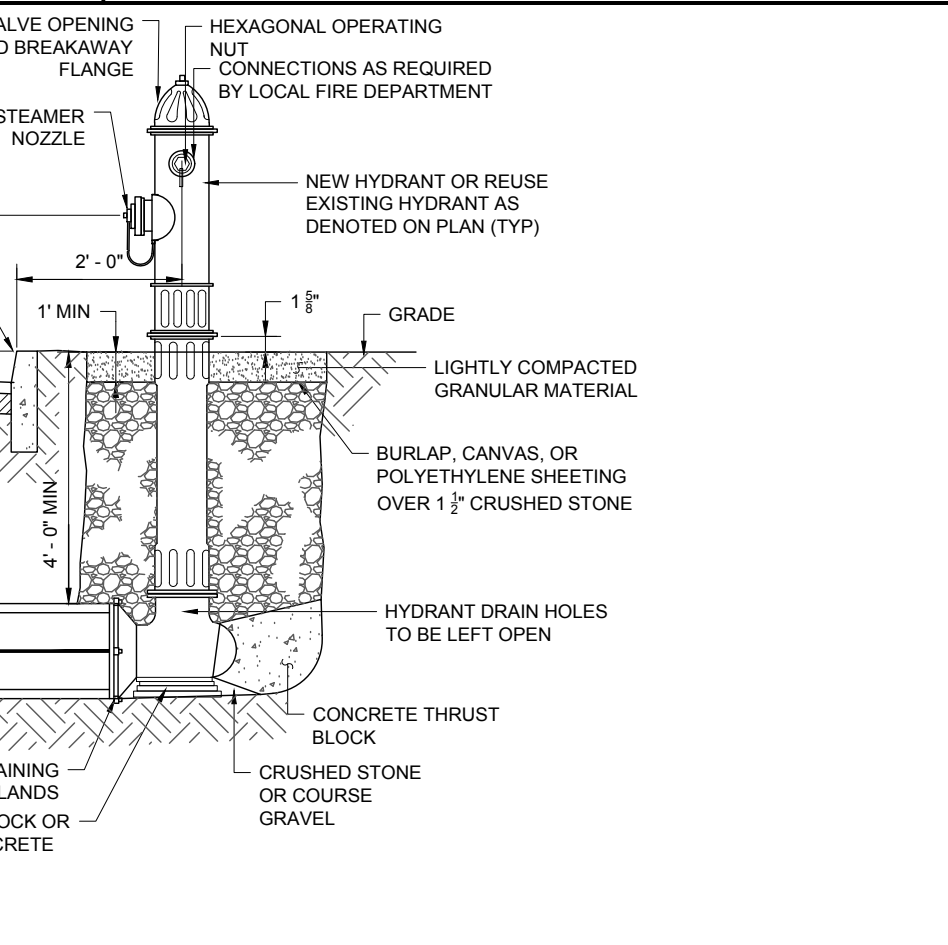
STORM MANHOLE FRAME & COVER DETAIL

NOT TO SCALE (G020410-01/2013)



1" TO 2" WATER SERVICE CONNECTION DETAIL

NOT TO SCALE (U049902-01/2013)



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REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	05/20/2025	RESPONSE TO TOWN COMMENTS	CR/KS JGB



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PROJECT No.: CTA220061.00
DRAWN BY: CR/TJN/KMB
CHECKED BY: JGB
DATE: 02/19/2025
CAD I.D.: CTA220061.00-DET-6A

PROPOSED SITE PLAN DOCUMENTS

FOR

C.R. KLEWIN
LLC

PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
CONNECTICUT

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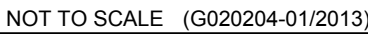
SHEET TITLE:

DETAIL SHEET

SHEET NUMBER:

C-902

REVISION 1 - 05/20/2025



SHEET TITLE

SHEET NUMBER

C-903

REVISION 1 - 05/20/2025

DESIGN NOTES:

1. DESIGN LOADING:
 - a. LOAD RATING = AASHTO HS-20
 - b. MINIMUM COVER = 0.50', MAXIMUM COVER = 5.00'. CONTACT STORMTRAP FOR ADDITIONAL COVER OPTIONS.
 - c. WATER TABLE AT OR BELOW OUTLET PIPE INVERT ELEVATION.
 - d. NO LATERAL SURCHARGE FROM ADJACENT STRUCTURES SUCH AS VEGETATION, BUILDINGS, WALLS, OR FOUNDATIONS.
2. ENGINEER OF RECORD TO CONFIRM THE DESIGN LOADINGS MEET PROJECT REQUIREMENTS. CONTACT STORMTRAP FOR ALTERNATIVE DESIGN LOAD OPTIONS.

GENERAL NOTES:

1. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS, WEIGHTS, AND ACCESSORIES, PLEASE CONTACT YOUR STORMTRAP REPRESENTATIVE.
2. CONCRETE COMPONENTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C478.
3. CONTRACTOR TO INSTALL THE STRUCTURE IN ACCORDANCE WITH ASTM C1821.
4. CONTRACTOR TO PROVIDE ALL LABOR AND EQUIPMENT REQUIRED TO OFFLOAD AND INSTALL UNIT.
5. CONTRACTOR TO PROVIDE AND INSTALL ALL PIPES, FRAMES, COVERS, HATCHES, AND RISERS UNLESS SPECIFIED OTHERWISE.
6. CONTRACTOR TO ADD JOINT SEALANT (PROVIDED BY STORMTRAP) BETWEEN ALL STRUCTURE SECTIONS.

DRAWINGS ARE FOR REFERENCE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.



NOT TO SCALE (S-081)

DESIGN NOTES:

1. DESIGN LOADING:
 - a. LOAD RATING = AASHTO HS-20
 - b. MINIMUM COVER = 0.50', MAXIMUM COVER = 5.00'. CONTACT STORMTRAP FOR ADDITIONAL COVER OPTIONS.
 - c. WATER TABLE AT OR BELOW OUTLET PIPE INVERT ELEVATION.
 - d. NO LATERAL SURCHARGE FROM ADJACENT STRUCTURES SUCH AS VEGETATION, BUILDINGS, WALLS, OR FOUNDATIONS.
2. ENGINEER OF RECORD TO CONFIRM THE DESIGN LOADINGS MEET PROJECT REQUIREMENTS. CONTACT STORMTRAP FOR ALTERNATIVE DESIGN LOAD OPTIONS.

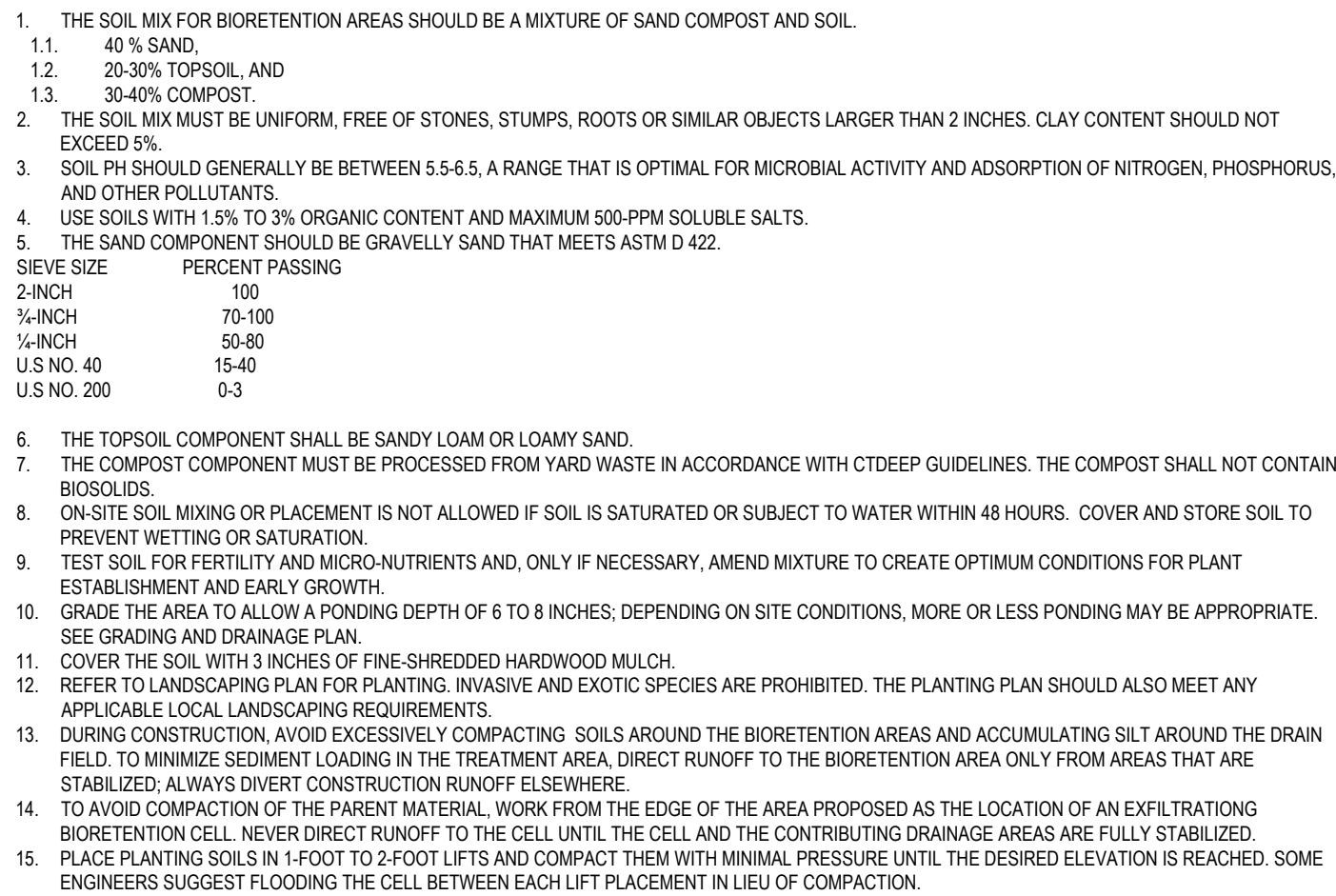
GENERAL NOTES:

1. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS, WEIGHTS, AND ACCESSORIES, PLEASE CONTACT YOUR STORMTRAP REPRESENTATIVE.
2. CONCRETE COMPONENTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C478.
3. CONTRACTOR TO INSTALL THE STRUCTURE IN ACCORDANCE WITH ASTM C1821.
4. CONTRACTOR TO PROVIDE ALL LABOR AND EQUIPMENT REQUIRED TO OFFLOAD AND INSTALL UNIT.
5. CONTRACTOR TO PROVIDE AND INSTALL ALL PIPES, FRAMES, COVERS, HATCHES, AND RISERS UNLESS SPECIFIED OTHERWISE.
6. CONTRACTOR TO ADD JOINT SEALANT (PROVIDED BY STORMTRAP) BETWEEN ALL STRUCTURE SECTIONS.

DRAWINGS ARE FOR REFERENCE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.



NOT TO SCALE (S-081)



NOT TO SCALE

REVISIONS



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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	CTA220061.00
DRAWN BY:	CR/TJN/KMB
CHECKED BY:	JGB
DATE:	02/19/2025
CAD I.D.:	CTA220061.00-DETL-6A

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

- FOR -

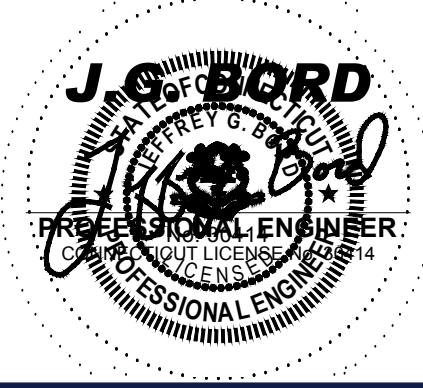
**C.R. KLEWIN
LLC**

**PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
CONNECTICUT**

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WEST HARTFORD, CT 06107**
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SHEET TITLE:

DETAIL SHEET

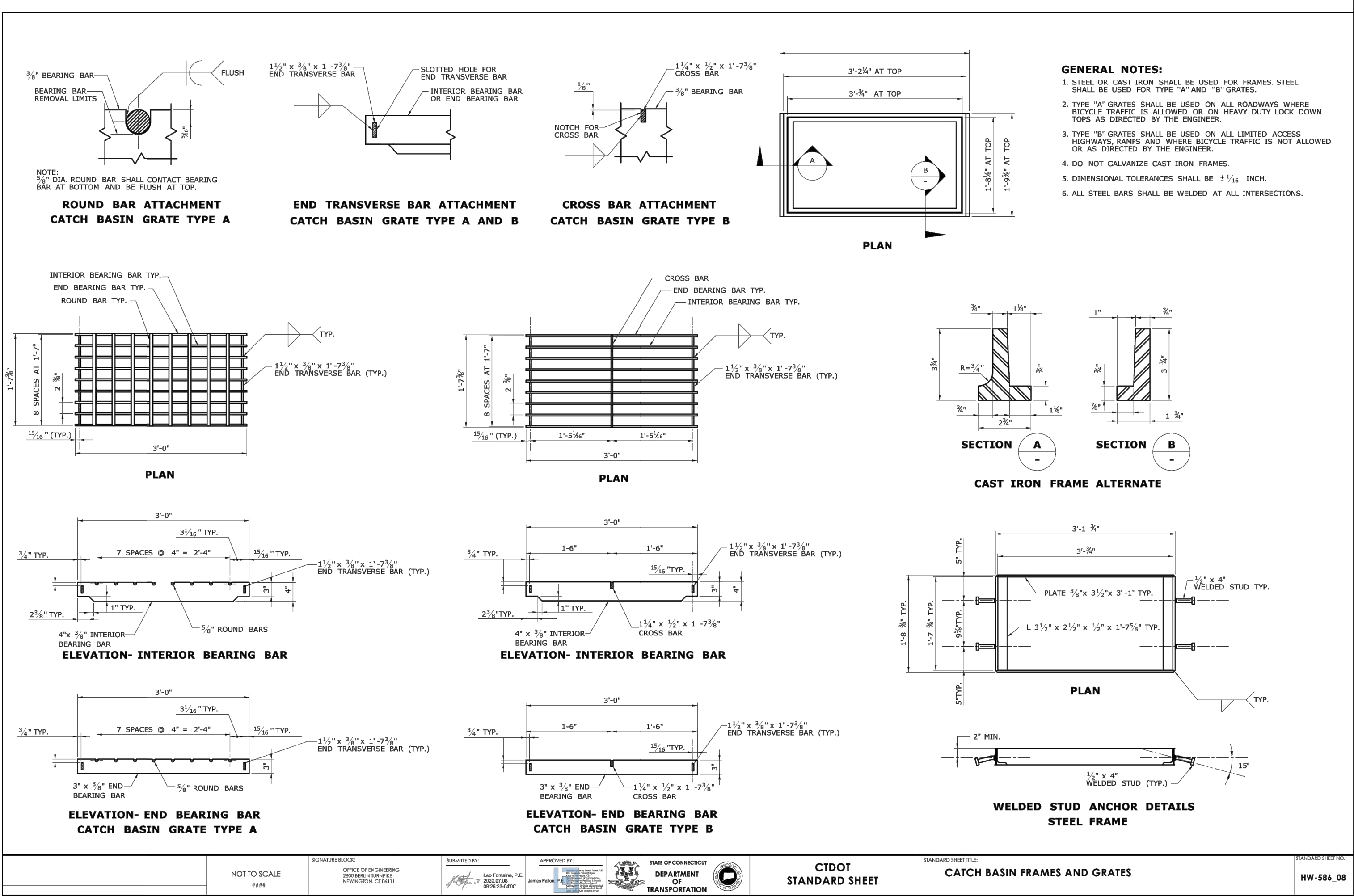
SHEET NUMBER:

C-904

REVISION 1 - 05/20/2025

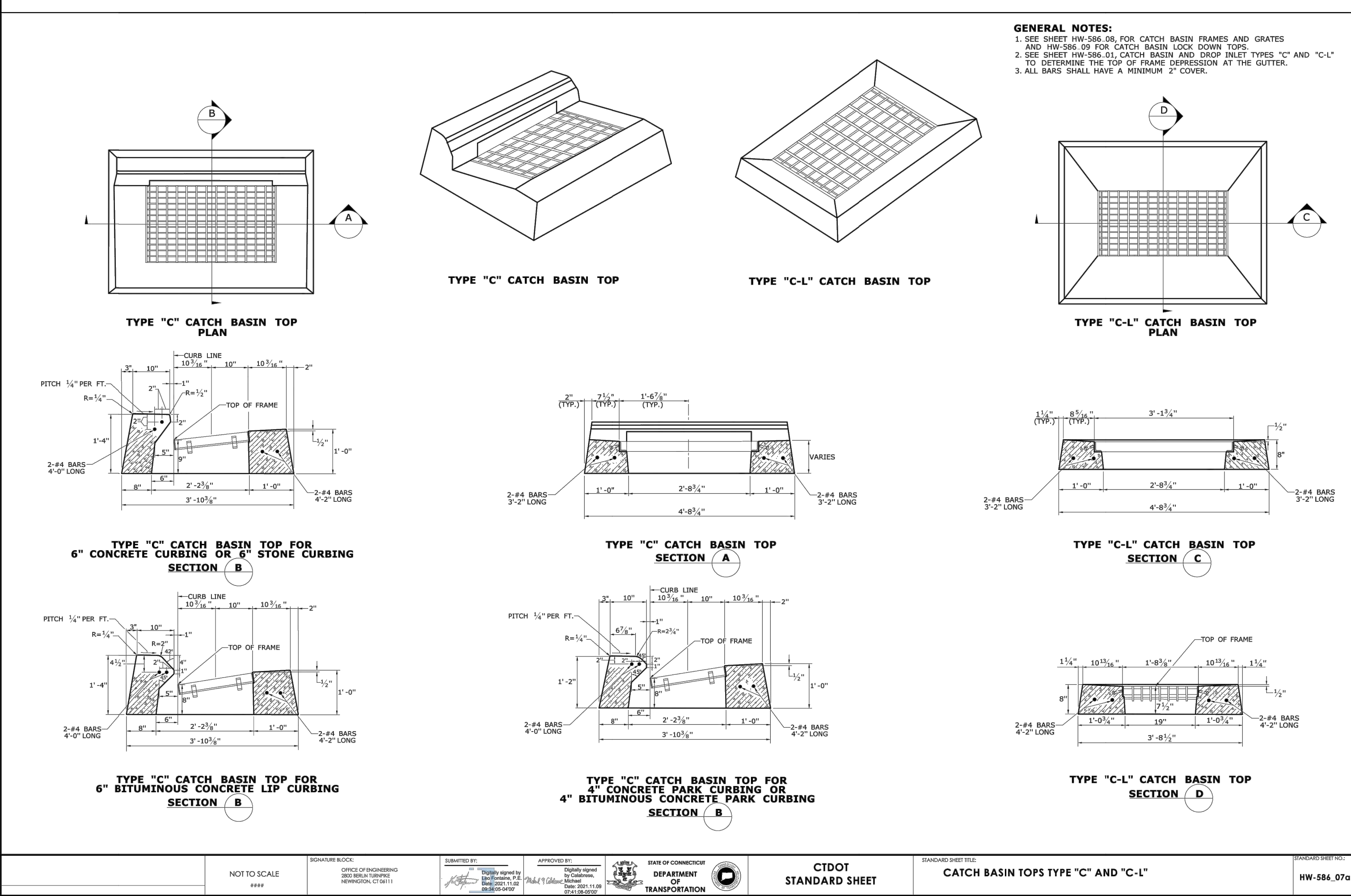
P:\0222\CTA220081\00CAD\DRAWINGS\PLAN SET\CIVIL SITE PLAN\CTA220081-00-DET-5A-----LAYOUT: C-905

KG



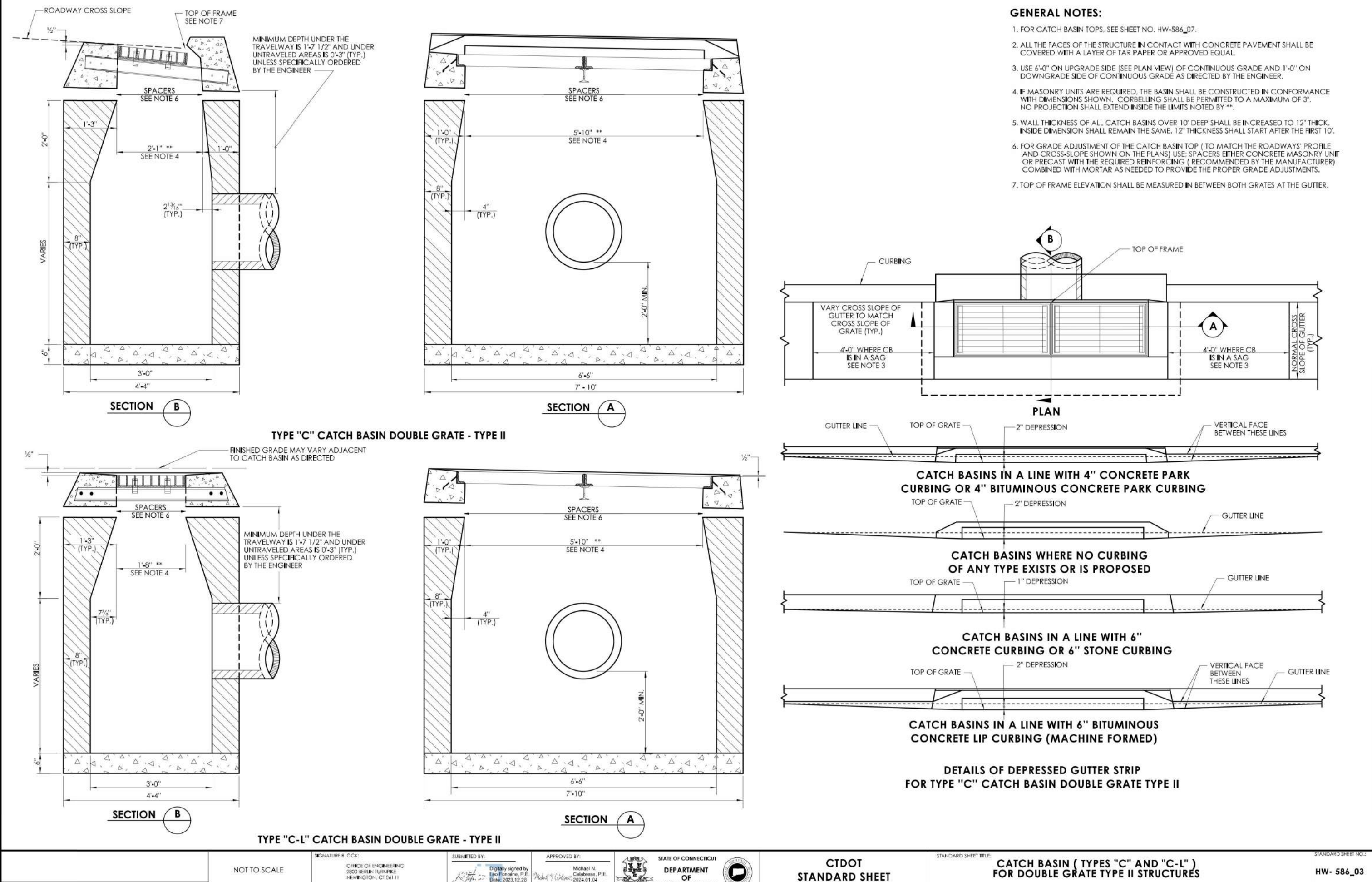
CTDOT CATCH BASIN FRAMES AND GRATES DETAIL

NOT TO SCALE (S-081)



CTDOT CATCH BASIN TOPS TYPE 'C' AND 'C-L'

NOT TO SCALE (S-081)



CTDOT CATCH BASIN TYPE 'C' AND 'C-L' TYPE II

NOT TO SCALE (S-081)

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REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	05/20/2025	RESPONSE TO TOWN COMMENTS	CR/KS	JGB

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PROJECT No.:	CTA220061.00
DRAWN BY:	CR/TJ/NK/MB
CHECKED BY:	JGB
DATE:	02/19/2025
CAD ID:	CTA220061.00-DET-6A

PROPOSED SITE PLAN DOCUMENTS

FOR

C.R. KLEWIN LLC

PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY,
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
CONNECTICUT

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J.C. BORD

PROFESSIONAL ENGINEER
LICENSE NO. 14014
EXPIRATION DATE 12/31/2024

SHEET TITLE:

DETAIL SHEET

SHEET NUMBER:

C-905

REVISION 1 - 05/20/2025

[illegible]

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

WHITESTONE BORING LOG 1

WHITESTONE										RECORD OF SUBSURFACE EXPLORATION										Boring No.: B-2 Page <u>1</u> of <u>1</u>			
Project: Proposed Residential Development Location: 27 - 29 Military Highway, Galia Ferry, New London County, Connecticut										WAI Project No.: GM2329566.009 Client: C.R. Kneiss LLC													
Surface Elevation: = 35.0 feet Above NAVD88 Termination Depth: 5.0 feet bgs Proposed Location: Building 4 Drill / Test Method: HSA / SPT (Autohammer)										Date Started: 5/24/2023 Date Completed: 5/24/2023 Logged By: OR Contractor: MS Equipment: Mobile B-53										Water Depth / Elevation (feet bgs) (ft NAVD88) During: --- : -- : -- At Completion: --- : -- : -- 24 Hours: --- : -- : --		Cave-In Depth / Elevation (feet bgs) (ft NAVD88) At Completion: --- : -- : -- 24 Hours: --- : -- : --	
SAMPLE INFORMATION										DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)										REMARKS	
Depth (feet)		No	Type	Blows Per 6"		Rec. (in)	N			(feet)													
0-2		S-1	X	3 - 2 - 1 - 2		12	3			0.0	TS 1-1/2" Topsoil												
											GLACIO-FLUVIAL DEPOSIT Brown, Very Loose, Silty Sand (SM)												
2-4		S-2	X	4 - 10 - 21 - 52		16	31			2.5	All Above, Loose (SM)												
											GLACIAL TILL Very Brown, Densest, Silty Sand with Gravel (SM)												
										5.0												Auger Grinding 1 to 5 bgs	
												Boring Log B-1 Terminated upon Auger Refusal at Depth of 5 bgs.											
										10.0													
										15.0													
										20.0													
										25.0													

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

WHITESTONE BORING LOG 2

WHITESTONE		RECORD OF SUBSURFACE EXPLORATION		Boring No.: 03_					
				Page 1 of 1					
Project: Proposed Residential Development		WAI Project No.: GM230596.000							
Location: 27 - 29 Military Highway, Gates Ferry, New London County, Connecticut		Client: C.R. Klewin LLC							
Surface Elevation:	= 39.0 feet Above NAVD88	Date Started: 5/24/2023	Water Depth [Elevation]	Cave-In Depth [Elevation]					
Termination Depth:	22.0 feet bgs	Date Completed: 5/24/2023	(feet bgs) (ft NAVD88)	(feet bgs) (ft NAVD88)					
Proposed Location:	Building 3	Logged By: CR	During: 14.0 (25.0) ✓						
Drill / Test Method:	HSA / SPT (Autohammer)	Contractor: MC	At Completion: -- -- -- ✓	At Completion: -- -- -- ✓					
		Equipment: Mobile B-53	24 Hours: -- -- -- ▼	24 Hours: -- -- -- ✓					
SAMPLE INFORMATION		DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)		REMARKS			
Depth (feet)	No.	Type	Blows Per 6"	Ret. (lbs)	N	(feet)			
0.0									
				TS		0' Topsoil			
0 - 2	S-1	X	9 - 16 - 13 - 23	10	29	EXISTING FILL	Gray-Brown, Medium Dense, Well-Graded Sand with Silt and Gravel (FLL)	Cobbles	
2 - 4	S-2		23 - 29 - 20 - 15	11	49		As Above, Dense (FLL)		
5 - 7	S-3	X	23 - 24 - 22 - 13	6	46	GLACIO- FLUVIAL DEPOSIT	As Above, Brown (FLL)	Cobbles	
7 - 9	S-4		14 - 12 - 13 - 11	4	25		Gray-Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (FLL)		
10 - 12	S-5	X	5 - 6 - 6 - 9	15	12	GLACIO- FLUVIAL DEPOSIT	As Above, Brown (SP-SM)		
15 - 17	S-6	X	8 - 8 - 5 - 5	12	13	GLACIO- FLUVIAL DEPOSIT	As Above (SP-SM)		
20 - 22	S-7	X	8 - 5 - 7 - 14	11	12	GLACIO- FLUVIAL DEPOSIT	As Above (SP-SM)		
25.0							Spring Log B-3 Terminated at Depth of 22 feet below ground surface.		
25.0									

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Porchard

WHITESTONE BORING LOG 3

WHITESTONE										Boring No.: B-4 Page: <u>1</u> of <u>1</u>									
RECORD OF SUBSURFACE EXPLORATION																			
Project: <u>Proposed Residential Development</u>										WAI Project No.: <u>GM2320996.000</u>									
Location: <u>27 - 29 Military Highway, Galts Ferry, New London County, Connecticut</u>										Client: <u>C.R. Klewin LLC</u>									
Surface Elevation: <u>± 38.0</u> feet Above NAVD88					Date Started: <u>5/24/2023</u>					Water Depth Elevation (feet bgs) (ft NAVD88)					Cave-In Depth Elevation (feet bgs) (ft NAVD88)				
Termination Depth: <u>22.0</u> feet bgs					Date Completed: <u>5/24/2023</u>					During: <u>10.0</u> <u>26.0</u>					At Completion: <u>---</u> <u>---</u>				
Proposed Location: <u>Building 3</u>					Logged By: <u>CRH</u>					Contractor: <u>MS</u>					24 Hours: <u>---</u> <u>---</u>				
Drill / Test Method: <u>HSA / SPT (Autohammer)</u>					Equipment: <u>Mobile B-53</u>					At Completion: <u>---</u> <u>---</u>					24 Hours: <u>---</u> <u>---</u>				

SAMPLE INFORMATION						DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	No.	Type	Blows Per 6"	Ret. (lbs)	N				
						0.0			
							3.12	12" Topsoil	
0 - 2	S-1	X	7 - 7 - 7 - 11	5	14			Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (SP-SM)	
2 - 4	S-2	X	10 - 11 - 12 - 14	16	23			As Above (SP-SM)	
						5.0			
5 - 7	S-3	X	13 - 19 - 14 - 13	13	33			As Above, Dense (SP-SM)	Cobbles
7 - 9	S-4	X	8 - 12 - 12 - 12	22	24			As Above, Medium Dense (SP-SM)	Cobbles
						10.0			
10 - 12	S-5	X	10 - 9 - 9 - 9	17	18		GLACIO-FLUVIAL DEPOSIT	Brown, Medium Dense, Poorly Graded Sand with Silt (SP-SM)	
						15.0			
15 - 17	S-6	X	7 - 7 - 4 - 6	16	11			As Above (SP-SM)	
						20.0			
20 - 22	S-7	X	9 - 11 - 14 - 24	16	25			Brown, Medium Dense, Poorly Graded Sand with Silt and Gravel (SP-SM)	
						25.0		Boring Log B-4 Terminated at Depth of 22 feet below ground surface.	


NOTES: bgs = below ground surface, mal = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

WHITESTONE BORING LOG 4

<div style="display: inline-block; vertical-align: middle;"> <div style="text-align: center;"> WHITESTONE <small>INCORPORATED</small> </div> </div>		RECORD OF SUBSURFACE EXPLORATION		Boring No.: B-5 Page <u>1</u> of <u>1</u>																	
		Proposed Residential Development Location: 27 - 29 Military Highway, Gates Ferry, New London County, Connecticut		WAI Project No.: GM2320566.009 Client: C.R. Kelnish LLC																	
Surface Elevation: ± 33.0 feet Above NAVD88 Termination Depth: 22.0 feet bgs Proposed Location: Building 2 Drill / Test Method: HSA / SPT (Autohammer)		Date Started: 5/23/2023 Date Completed: 5/23/2023 Logged By: CRH Contractor: MSB Equipment: Mobile B-53		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> <th colspan="2">Cave-In Depth Elevation</th> </tr> <tr> <th colspan="2">(feet bgs) (ft NAVD88)</th> <th colspan="2">(feet bgs) (ft NAVD88)</th> </tr> <tr> <td colspan="2"> During: 6.0 27.0 </td> <td colspan="2"> At Completion: — — </td> </tr> <tr> <td colspan="2"> 24 Hours: — — </td> <td colspan="2"> 24 Hours: — — </td> </tr> </table>		Water Depth Elevation		Cave-In Depth Elevation		(feet bgs) (ft NAVD88)		(feet bgs) (ft NAVD88)		During: 6.0 27.0		At Completion: — —		24 Hours: — —		24 Hours: — —	
Water Depth Elevation		Cave-In Depth Elevation																			
(feet bgs) (ft NAVD88)		(feet bgs) (ft NAVD88)																			
During: 6.0 27.0		At Completion: — —																			
24 Hours: — —		24 Hours: — —																			
SAMPLE INFORMATION			DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS															
Depth (feet)	No.	Type	Blows Per 6"	Rec. (in)	N (feet)																
0-2	S-1		3 - 5 - 5 - 6	10	10		Brown, Loose to Medium Dense, Poorly Graded Sand with Sil (SP-SM)														
2-4	S-2		7 - 10 - 10 - 9	12	20																
5-7	S-3		3 - 4 - 6 - 6	16	10		As Above, Loose to Medium Dense (SM)														
7-9	S-4		4 - 3 - 4 - 6	15	7		As Above, Loose (SM)														
10-12	S-5		2 - 4 - 5 - 6	18	9		GLACIO-FLUVIAL DEPOSIT As Above (SM)														
15-17	S-6		2 - 2 - 2 - 3	20	4																
20-22	S-7		7 - 7 - 9 - 12	18	16		As Above, Medium Dense (SM)														
						Boring Log B-5 Terminated at Depth of 22 feet below ground surface.															

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched
Klein Residential Galea Ferry CT 062320566 Boring Logs 5-23 and 24-23 6/27/2023

WHITESTONE BORING LOG 5



WHITESTONE

RECORD OF SUBSURFACE EXPLORATION

Boring No.: B-4
 Page 2 of 2

Project: Proposed Residential Development Location: 27 - 29 Military Highway, Galles Ferry, New London County, Connecticut					WAI Project No.: GM2020666 000 Client: C.R. Klewin LLC																						
Surface Elevation: ± 34.0 feet Above NAVD83 Termination Depth: 32.0 feet bgs Proposed Location: Building 2 Drill / Test Method: HSA / SPT (Autohammer)					Date Started: 5/23/2023 Date Completed: 5/23/2023 Logged By: CR Contractor: MC Equipment: Mobile B-53					Water Depth (Elevation) (feet bgs) (ft NAVD83) During: 7.0 (7.0) ✓ At Completion: — — 24 Hours: — —					Cave-In Depth (Elevation) (feet bgs) (ft NAVD83) At Completion: — — 24 Hours: — —												
SAMPLE INFORMATION										DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)										REMARKS					
Depth (feet)		No		Type		Blows Per 6"		Rev. (s)		N		(feet)															
25 - 27		S-5		X		3 - 5 - 8 - 10		18		13							Gray-Brown, Medium Dense, Poorly Graded Sand with Silt (SP-SM)										
30 - 32		S-9		X		9 - 9 - 13 - 15		20		22							As Above, Brown (SP-SM)										
																Boring Log B-6 Terminated at Depth of 32 feet below ground surface.											

NOTES: bgs = below ground surface, mal = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched


WHITESTONE BORING LOG 6[illegible]

[illegible]

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

	<h1 style="margin: 0;">WHITESTONE</h1>		<h2 style="margin: 0;">SUBSURFACE EXPLORATION</h2>		Boring No.: B-8 Page <u>1</u> of <u>1</u>			
	Location: Proposed Residential Development 47 - 29 Military Highway, Ocala Park, New London County, Connecticut				WAI Project No.: GM2320566.000 Client: C.R. Kline LLC			
Surface Elevation: 38.0 feet Above NAVD83 Termination Depth: 22.0 feet bgs Proposed Location: Building 1 Drill / Test Method: HSA / SPT (No Auto Hammer)			<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 33%;"> Date Started: 5/23/2023 Date Completed: 5/23/2023 Logged By: OR Contractor: MS Equipment: Mobile B-53 </td> <td style="width: 33%;"> Water Depth Elevation (feet bgs) (ft NAVD83) During: 10.0 28.0 At Completion: --- --- 24 Hours: --- --- </td> <td style="width: 33%;"> Cave-In Depth Elevation (feet bgs) (ft NAVD83) At Completion: --- --- 24 Hours: --- --- </td> </tr> </table>			Date Started: 5/23/2023 Date Completed: 5/23/2023 Logged By: OR Contractor: MS Equipment: Mobile B-53	Water Depth Elevation (feet bgs) (ft NAVD83) During: 10.0 28.0 At Completion: --- --- 24 Hours: --- ---	Cave-In Depth Elevation (feet bgs) (ft NAVD83) At Completion: --- --- 24 Hours: --- ---
Date Started: 5/23/2023 Date Completed: 5/23/2023 Logged By: OR Contractor: MS Equipment: Mobile B-53	Water Depth Elevation (feet bgs) (ft NAVD83) During: 10.0 28.0 At Completion: --- --- 24 Hours: --- ---	Cave-In Depth Elevation (feet bgs) (ft NAVD83) At Completion: --- --- 24 Hours: --- ---						
SAMPLE INFORMATION			DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS		
Depth (feet)	No.	Type	Blows Per 6"	Rec. (in)	N			
0-2	S-1	X	3 - 3 - 5 - 7	14	8	TS 6" Topsoil Brown, Loose, Poorly Graded Sand (SP)		
2-4	S-2		9 - 11 - 12 - 11	12	23	As Above, Medium Dense (SP)		
5-7	S-3	X	7 - 7 - 7 - 8	12	14	As Above (SP)		
7-9	S-4		10 - 8 - 8 - 8	18	16	As Above, Gray-Brown (SP)		
10-12	S-5	X	7 - 9 - 10 - 10	13	9	GLACIO-FLUVIAL DEPOSIT As Above, Loose (SP)		
15-17	S-6		4 - 5 - 5 - 5	11	10	As Above, Loose to Medium Dense (SP)		
20-22	S-7	X	5 - 4 - 5 - 7	11	8	As Above, Loose (SP)		
Boring Log B-8 Terminated at Depth of 22 feet below ground surface.								
25.0								

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched



WHITESTONE

RECORD OF

SUBSURFACE EXPLORATION

Boring No.: 00

Page 1 of 1

Project: Proposed Residential Development

Location: 27 - 29 Military Highway, Gates Ferry, New London County, Connecticut

WAI Project No.: GMD2025666-000

Client: C.R. Klewin LLC

Surface Elevation: 34.0 feet Above NAVD08

Termination Depth: 8.7 feet bgs

Proposed Location: Building 4

Drill / Test Method: HSA / SPT (Autohammer)

Date Started: 5/24/2023

Date Completed: 5/24/2023

Logged By: CR

Contractor: MS

Equipment: Mobile B-53

Water Depth | Elevation (feet bgs) | (ft NAVD08)

During: 7.0 (27.0) ☒

At Completion: ☐ ☐ ☐

24 Hours: ☐ ☐ ☐

Cave-in Depth | Elevation (feet bgs) | (ft NAVD08)

At Completion: ☐ ☐ ☐

24 Hours: ☐ ☐ ☐

SAMPLE INFORMATION						DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS	
Depth (feet)	No	Type	Blows Per 6"	Req. (bl)	N	(feet)				
0 - 2	S-1		4 - 5 - 6 - 5	7	11	0.0		TS	<div> <div>0" Topsoil</div> <div>1" Brown, Medium Dense, Poorly Graded Sand with Silt (SP-SM)</div> <div>2" Brown, Silty Sand with Gravel (SM)</div> <div>5.0' As Above (SM)</div> <div>As Above, Very Dense (SM)</div> </div>	<div> <div>Auger Grinding 4 to 5 fgs</div> <div>Cobbles</div> </div>
2 - 4	S-2		7 - 10 - 23 - 26	13	33	2.0				
						5.0				
5 - 7	S-3		25 - 22 - 24 - 25	16	46					
7 - 8.7	S-4		41 - 31 - 35	40	66	7.7				
						10.0		Boring Log B-9 Terminated upon Auger Refusal at Depth of 8.7 fgs		
						15.0				
						20.0				
						25.0				

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

[illegible]

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

Project:			WAI Project No.:			
Proposed Residential Development			GM2220566.009			
Location:			Client:			
27 - 29 Military Highway, Gates Ferry, New London County, Connecticut			C-R, Klewin LLC			
Surface Elevation: ± 27.0 feet NAVD88			Date Started: 5/22/2023		Water Depth Elevation (feet bgs) (ft NAVD88)	
Termination Depth: 5.5 feet bgs			Date Completed: 5/22/2023		Cave-In Depth Elevation (feet bgs) (ft NAVD88)	
Proposed Location: SWM Area			Logged By: RK		During: 2.7 24.3 7	
Excavating Method: Compact Excavator			Contractor: MM		At Completion: — — 1	
Test Method: Visual Observation			Rig Type: Takeuchi TB250		24 Hours: — — 1	

SAMPLE INFORMATION		DEPTH	STRATA	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (ft.)	Number	Type			
			TOPSOIL	0' Topsoil	
			SUBSOIL	14" Subsoil, Roots	Infiltration Test @ 1.5 fgs
			GLACIO-FLUVIAL DEPOSIT	Brown, Poorly Graded Sand with Silt (SP-SM)	ESHWG 2.3 fgs
			Test Pit TP-2 Terminated at Depth of 5.5 Feet Below Ground Surface.		

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

Project: Proposed Residential Development			WAI Project No.: GM2320566-009		
Location: 27 - 29 Military Highway, Gales Ferry, New London County, Connecticut			Client: C.R. Kiewit LLC		
Surface Elevation: ± 32.0 feet NAVD88		Date Started: 5/22/2023		Water Depth Elevation (feet bgs) (ft NAVD88)	
Termination Depth: 7.5 feet bgs		Date Completed: 5/22/2023		Cave-In Depth Elevation (feet bgs) (ft NAVD88)	
Proposed Location: SWM Area		Logged By: RK		During: 6.0 26.0 7	
Excavating Method: Compact Excavator		Contractor: MMI		At Completion: --- --- 10	
Test Method: Visual Observation		Rig Type: Telescope TB290		24 Hours: --- --- 10	
SAMPLE INFORMATION			DESCRIPTION OF MATERIALS (Classification)		
Depth (ft.)	Number	Type	DEPTH		REMARKS
			0.0	TOPSOIL	
			5.0	GLACIO-FLUVIAL DEPOSIT	
			10.0		
			15.0		
				Brown to Gray, Poorly Graded Sand with Silt (SP-SM)	Infiltration Test @ 3 bps
				Gray, Silty Sand (SM)	BSHGW 5.5 bps
				Test Pit TP-3 Terminated at Depth of 7.5 Feet Below Ground Surface.	

NOTES: bgs = below ground surface, msl = mean sea level, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

REVISIONS

REV	DATE	COMMENT	DRAWN CHECKED
1	05/20/2025	RESPONSE TO TOWN COMMENTS	CR/ JG



Know what's **below**.
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REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	CTA220061.
DRAWN BY:	CR/TJN/KM
CHECKED BY:	JG
DATE:	02/19/20
CAD I.D.:	CTA220061.00-DETL-

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

- FOR -

**C.R. KLEWIN
LLC**

**PROPOSED
RESIDENTIAL DEVELOPMENT
19, 29 & 39 MILITARY HIGHWAY
GALES FERRY,
LEDYARD,
NEW LONDON COUNTY,
CONNECTICUT**

BOHLER//

**65 LaSALLE ROAD, SUITE 401
WEST HARTFORD, CT 06107**
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SHEET TITLE

DETAIL SHEET

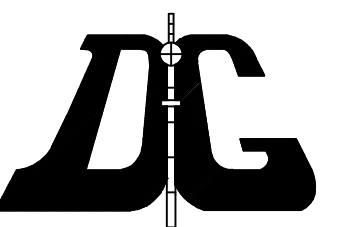
SHEET NUMBER

C-908

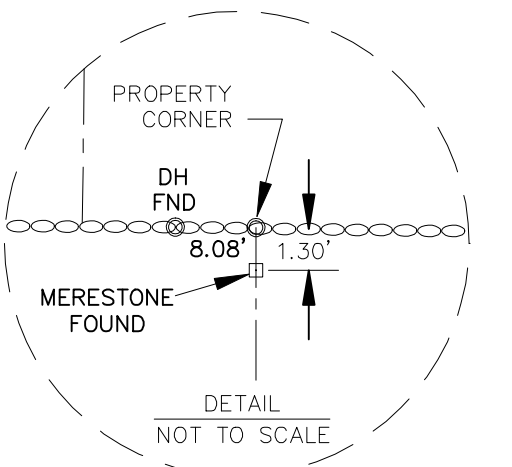
REVISION 1 - 05/20/2025

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JOB# 21-086.DWG FBK#326

THE STONE WALLS AND/OR FENCES SHOWN AS BOUNDARIES
MAY HAVE IRREGULARITIES OF COURSE BETWEEN PRINCIPAL
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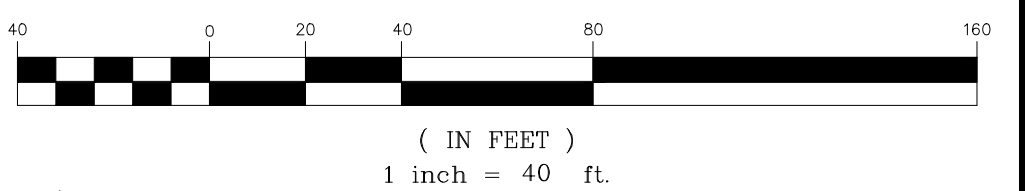


LEGEND	
	STONE WALL
	PROPERTY LINE
	STREET LINE
	EXISTING CONTOUR
	CONNECTICUT HIGHWAY DEPARTMENT MONUMENT FOUND
	CONNECTICUT HIGHWAY DEPARTMENT NOT RECOVERED
	DRILL HOLE SET
	DRILL HOLE FOUND
	CATCH BASIN
	UTILITY POLE
	LIGHT POLE
	HYDRANT

I HAVE REVIEWED THE INLAND WETLAND BOUNDARY I DELINEATED
AND I AM OF THE OPINION THAT THE WETLAND BOUNDARY IS SHOWN
CORRECTLY ON THIS MAP.

SOIL SCIENTIST

GRAPHIC SCALE



N/F
ROBERT C. BARRETT
&
ELIZABETH J. BARRETT
&
DEBRA GLENNON BARRETT, TRUSTEE

TOTAL AREA= 18.95 ACRES

**PLAN SHOWING
PROPERTY OF
SWEET HILL FARM LLC
29 & 39 MILITARY HIGHWAY
LEDYARD, CONNECTICUT
SCALE: 1"=40'
DECEMBER 2021**

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1
THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - MINIMUM
STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE
CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A BOUNDARY SURVEY BASED
ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND
TOPOGRAPHIC ACCURACY T-2.
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

TITLE: LAND SURVEYOR CT No. 14208

DATE: DECEMBER 23, 2021

MAP REFERENCES:

1. CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF LEDYARD GROTON-NORWICH ROAD FROM THE GROTON TOWN LINE NORTHERLY ABOUT 11,000 FEET ROUTE No.12. SCALE 1"=40' DATE 12-11-34 NUMBER 71-03 SHEET 4 OF 4.
2. CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF LEDYARD GROTON-NORWICH ROAD FROM THE GROTON TOWN LINE NORTHERLY ABOUT 11,000 FEET ROUTE No.12. SCALE 1"=40' DATE 12-29-39 NUMBER 71-03 SHEET 3 OF 4.
3. PLOT PLAN AND MISCELLANEOUS GALES FERRY SCHOOL FOR TOWN OF LEDYARD CONN. DEC. 20, 1954 SCALE AS NOTED.
4. PLAN SHOWING LAND AND BUILDINGS PROPERTY OF LYN M. LAWSON SMITH ROUTE 12 LEDYARD, CONNECTICUT SCALE 1"=20' JANUARY 1976.
5. PLAT OF LAND FOR CLARENCE M. CRANDALL, JR MILITARY HIGHWAY, GALES FERRY, LEDYARD, CT SCALE 1"=50'. OCT 1977 ROBERT C. BOCHER, L.S..
6. SURVEY PLAN PREPARED FOR PETER BARGMANN 39 MILITARY HIGHWAY NIANTIC CONNECTICUT 16 JAN 2006 SCALE 1"=50'.
7. PLAN SHOWING PROPERTY OF THE TOWN OF LEDYARD 7 HURLBUTT ROAD, MILITARY HIGHWAY AND CONNECTICUT ROUTE 12 LEDYARD, CONNECTICUT SCALE: 1"=40' NOVEMBER 2006.
8. PLAN SHOWING PROPERTY OF THE TOWN OF LEDYARD HURLBUTT ROAD MILITARY HIGHWAY AND CONNECTICUT ROUTE 12 LEDYARD, CONNECTICUT SCALE: 1"=40' AUGUST 2007.

